



A Bureau Veritas Group Company

FACILITY CONDITION ASSESSMENT

TOWN OF BOURNE

24 Perry Avenue

Bourne, Massachusetts 02532



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24 Perry Avenue

Bourne, Massachusetts 02532

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Solutions

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1. Executive Summary

Portfolio Overview and Assessment Details

General Information	
Property Type/s	Municipal campus and School campus
Main Addresses	Various – See report sections
Sites Developed	Various – See report sections
Number of Buildings	32
Current Occupants	The Town of Bourne and Bourne Public Schools
Percent Utilization	All sites 100% (with noted exception) Fire Station #1 – Buzzards Bay: 20%
Date(s) of Visit	November – December, 2019
Management Point of Contact	Town of Bourne, Sean Feeney, Facilities Director 617.571.6587 phone sfeeney@townofbourne.com email
On-site Point of Contact (POC)	Rick Nelson, Kendall Aflague, Sean Feeney and Rider Cavallo.
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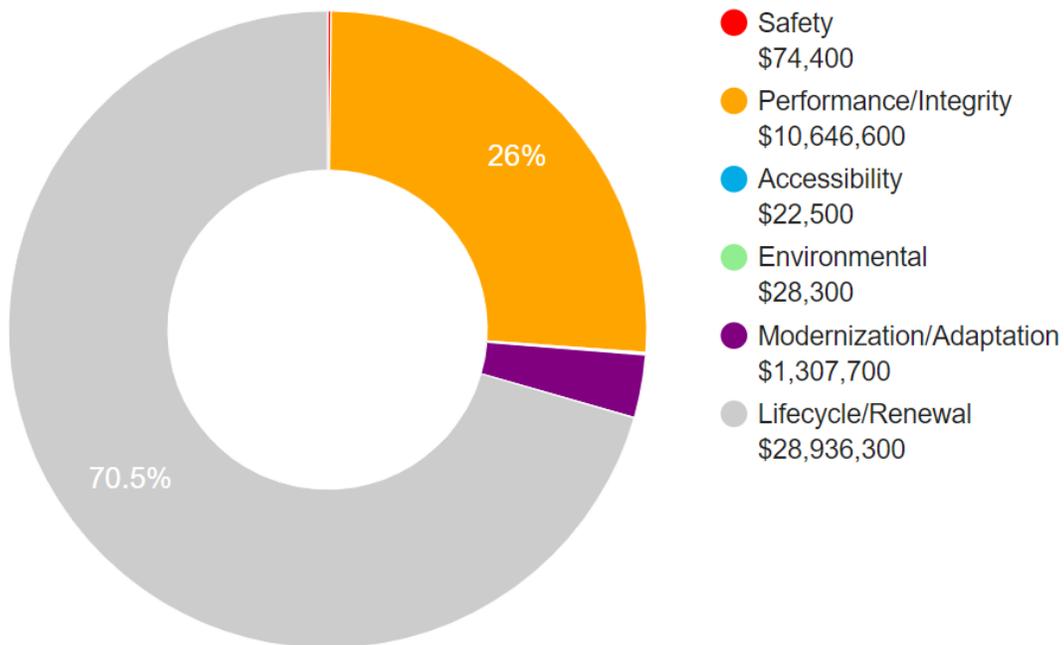
Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance.

Plan Type Descriptions

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other handicap accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in in order to meet current standards, facility usage, or client/occupant needs.
Lifecycle/Renewal	■	Any component or system that is not currently deficient or problematic but for which future replacement or repair is anticipated and budgeted.

Plan Type Distribution (by Cost)



10-YEAR TOTAL: \$41,015,800

Portfolio-Level Findings and Deficiencies

Historical Summary

The buildings in this portfolio were constructed between 1844 and 2019. There are five buildings on the historical register. The Town Hall was built in 1914 and there have been four additions to the building over the years with last constructed in 1957. The interiors were renovated in 1999. The Town Hall DNR Garage was constructed in 1937. There are two one room schoolhouses. The Cataumet School was constructed in 1894. The Bournedale School was constructed in 1897. The schools have been renovated and are used by local organizations for meetings and other events. The Jonathon Bourne Library was built in 1896 and expanded in 1956. The Bourne Archives building was constructed in 1896. The Police Station and Fire Station #1 were constructed in 1933. Fire Station #2 was completed in 1920 and is now used for storage. The structures located in the parks consist of the Buzzards Bay Park Gazebo built in 1980 and the Concession Building located in Monument Beach Field built in 1970. The DNR Marine building at Taylors Point was built in 1995 and the Marine building at Monument Beach was built in 1950. The Community Center was built in 2002 and the DPW building and salt shed were constructed in 2015. There are two sewer pump stations. The Buzzards Bay Station was built in 1992 and Hideaway Village was built in 1993. The Maintenance Building at the ISWM was completed in 1968. New roof framing was added in the 1980s.

Architectural

Evidence of structural settlement and water intrusion observed at Fire Station #4, as significant areas of cracked concrete floors noted in the garage bays and cracking concrete beams supporting this floor below, as well as moisture issues noted on the interior CMU basement walls along the perimeter of the building.

Evidence of water intrusion due to roof leaks and corresponding damage to interior finishes was also noted at both Bourne High School and Bourne Middle School. Both buildings require complete roof replacement before addressing the damaged interior finishes.

Issues with the building envelope, such as deteriorated sealants, deterioration of painted finishes, and/or weathered wood shingles noted at all buildings. Additionally, interior and exterior efflorescence staining noted at the school wastewater plant building. Some additional studies, as well as budgetary costs for repairs, have been provided to address the aforementioned issues.

The Town Hall is masonry with a wood framed roof structure and brick veneer. The windows have been updated and the new addition has vinyl siding. The roof membrane is asphalt shingles at the sloped section and EPDM at the flat portion. The interior finishes consist of VCT and carpet flooring, painted wall board and ACT ceilings. The basement is used for storage and there are eight vaults in the building – five in the basement and three on the first floor.

The Town Hall DNR Garage is a wood framed structure with cedar siding and wood windows and doors with residential style overhead doors. One half of the building is unfinished, and the other half has painted gypsum board walls and ceilings. The floors are unfinished.

The Cataumet and The Bournedale Schools are wood framed with painted cedar siding, wood windows, wood doors and asphalt roof shingles at Bournedale and slate roofing at Cataumet. Each building has an open cupola at the top. The interiors consist of wood flooring, wood paneling and painted plaster walls and ceilings.

The Jonathon Bourne Library and the Bourne Archives buildings are masonry structures with wood framed roof. The siding at the library is brick veneer, the roof is covered with asphalt shingles and the door canopies are copper covered. The Archives brick is yellow, and the roof is red slate from the original construction with stained glass windows and decorative brick accents at the cornices and corners. A portion of the windows are wood framed and stained glass windows have been recently renovated. The interiors are carpet, wood flooring, and vinyl tile in the library. There is wood paneling throughout. The walls and ceilings are painted gypsum board or plaster.

The Police Station and Fire Station #1 are masonry structures with brick veneer at the first floor. Second stories were added to each building and the exterior is stucco. The flat roof at the Police station is BUR at the upper level and EPDM over the garage. The town is building a new police station and this building will be vacant until another use is determined.

Fire Station #1 is brick veneer with a flat roof at the back and a sloped roof with asphalt shingles at the front. The exterior brick veneer is in poor condition and there are several inches of standing water at the lower roof which is causing damage at the interior.

Fire Station #2 is a masonry structure with wood framed roof with asphalt shingles. It is used for storage since the cesspool system has failed. The apparatus bays are too small for modern firefighting equipment.

The Buzzards Bay Park Gazebo is a simple open-air octagon painted wood framed structure on a concrete slab. The sloped roof is covered with asphalt shingles topped by a cupola and sea bass wind vane. The concession stand at Monument Beach Field is a concrete and wood framed with cedar siding at the upper floor. There is no kitchen equipment at the lower level and the second-floor interior is unfinished.

The DNR Marine building at Taylors Point is concrete and wood framed with vinyl siding. The building contains locker rooms, restrooms, office and a small shop/cafe. The windows overlooking the marina are vinyl. There is storage and a laundry room at the lower level.

The Marine building at Monument Beach is painted CMU with vinyl windows. It contains locker rooms, restrooms and a bait shop. The hip roof is covered with asphalt shingles.

The Community Center is a steel framed building with painted cement board with asphalt roof at the sloped roof and single ply TPO at the flat roof. It contains a commercial kitchen for the council on aging, a meeting room and gymnasium with supporting locker rooms. It is used for an emergency shelter if needed.

The DPW building is a steel engineered building with metal siding and metal roofing. The offices, break room, locker rooms and restrooms are finished with VCT, carpet and ceramic tile flooring, painted dry wall and ceramic tile at the walls and acoustic ceiling tiles. The main vehicle storage, repair shops and vehicle wash are painted exposed structure with coated concrete flooring.

The salt shed is a braced wood framed structure with a metal roof and the interior is unfinished.

The Buzzards Bay Sewer Pump Station is a cast-in-place concrete structure and is painted on the inside.

Hideaway Village Sewer consists of two wood and metal framed sheds containing pump equipment and electrical panels.

The Maintenance Building at the ISWM is a concrete structure with a wood framed roof. The exterior is painted concrete and T-111 panels at the gable ends. The roof is asphalt shingles.

Due to the condition of the Concessions Building and based on statements from the on-site POC, budgetary costs are included for the replacement of the wooden structure, reusing the existing CMU and cast-in-place concrete foundation. The Storage Building requires covering for the exposed ventilation holes in the roof, repainting of the exterior of the building and repairs to the concrete pavement area in front of the garage door entrance.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The school buildings, fire station and wastewater plant buildings utilize natural gas heating sources. The schools and fire station buildings have central systems with boilers feeding terminal units, while only the middle school is equipped with a central chiller for cooling. There is no heating or cooling provided at the concession building. Generally, the HVAC systems are in fair overall condition; however, the high school and fire station utilize antiquated HVAC components and infrastructure, requiring replacements/upgrades. Additionally, the gas-fired furnace at the wastewater plant shows significant areas of corrosion, requiring early replacement.

The electrical systems and components are mostly original for the majority of the facilities and are anticipated for lifecycle replacements within the older facilities. Interior light upgrades with LED fixtures were recently completed at the middle and high schools, while some other facilities have a variety of T-8, T-12, CFL, and incandescent fixtures.

The plumbing systems at most of the facilities are connected to public water and sewer, except for the sewer system for Bourne elementary, middle and high school's sewer systems, which are served by septic tanks and a wastewater treatment plant located adjacent to the middle school. In general, the plumbing systems are adequate to serve the facilities, with equipment and fixtures updated as needed; however, some older fixtures still exist at some of the facilities and replacement with newer water saving devices is recommended.

Some of the older facilities lack fire suppression systems, and although each building is likely 'grandfathered' a full fire sprinkler system retrofit for each is highly recommended. Additionally, some facilities lack complete fire alarm systems with addressable panels and are also recommended.

The elevator machinery and controls are antiquated at Bourne high school and a full modernization program is recommended.

In addition, lifecycle replacement of the majority of the MEPF equipment is anticipated over the reserve term.

The Town Hall DNR Garage, the DPW salt shed, the Buzzards Bay Park Gazebo, the Sewer pumps stations, the Monument Beach Field Concession stand, and the Monument Beach and Taylor Point marine buildings have limited mechanical equipment. The structures all have power and the Marine buildings and the concession stand at Monument Beach are provided with water heaters.

The Cataumet and Bournedale Schools have power. The Cataumet School is heated by a gas furnace and there is no plumbing. The Bournedale School has a small electric water heater and a ductless mini split system for heating and cooling. There is a restroom and a kitchen sink that has limited use. There is some fire suppression at these buildings which is provided by fire extinguishers but no exit signs or fire alarm system.

Fire Station #2 has a boiler and water heater, but that equipment is in minimal use. The plumbing fixtures cannot be used as the cesspool has failed. There is a small electric panel and an emergency generator.

Conditioned air is provided to the Town Hall by a forced hot air system consisting of gas fired boilers, condensing units and air handlers. There is a 400-amp electric service and an emergency generator. Domestic hot water is provided by a gas fired water heater located in the basement. The building is protected by a fire sprinkler and fire alarm system.

The Town Hall is serviced by a hydraulic elevator for all three levels. Conditioned air is provided to the Community Center by a system consisting of gas fired boilers, condensing units and air handlers. There is a 600-amp electric service and an emergency generator. The interior and exterior lighting is provided by LED fixtures. Domestic hot water is provided by a gas fired water heater located in the Boiler room, in the basement. The building is protected by a fire sprinkler and fire alarm system. There is a dry fire sprinkler system located in the soffit of the main lobby.

Conditioned air is provided to the DPW building by a system consisting of gas fired boilers, condensing units, roof top packaged units and air handlers for the office and employee break area. The vehicle bays are heated by waste oil boiler and suspended unit heaters. There is a smoke purge system and large roof mounted exhaust fans for the equipment bays. There is an 800-amp electric service and an emergency generator. Domestic hot water is provided by a gas fired water heaters. The building is protected by a fire sprinkler and fire alarm system. There is a dry sprinkler system located in the exterior canopy.

Conditioned air is provided to the Police Station by a system consisting of a gas fired boiler, condensing units to provide cooling on the first floor, thru-wall air conditioners on the second floor and hydronic baseboard throughout. There is a 400-amp electric service and an emergency generator. Domestic hot water is provided by a gas fired water heater. The building is protected a fire alarm system but is not protected by a fire suppression system.

Conditioned air is provided to Fire Station #1 by a split system heat pump with condensing units for the second floor and suspended unit heaters in the apparatus room. There is a 200-amp electric service and an emergency generator. Domestic hot water is provided by a gas fired water heater. The building is protected by a fire alarm system.

Conditioned air is provided to the Bourne Archives by a split system consisting of gas fired boilers and ductless mini-split condensing units. There is a 200-amp electric service. Domestic hot water is provided by an electric water heater located in the basement. The building is protected by a fire alarm system.

Conditioned air is provided to the Jonathon Bourne Library by a forced hot air system consisting of gas fired boilers, chiller and unit ventilators/air handlers located along the perimeter walls. There is a 400-amp electric service. Domestic hot water is provided by a gas fired water heater located in the basement. The building is protected by a fire alarm system.

Heat is provided to the ISWM by a waste-oil boiler and suspended unit heaters. There are three 225-amp panels for electric service. Domestic hot water is provided by a gas fired water heater. The building is protected by a fire extinguishers. There are no exit lights, smoke or carbon monoxide detectors, exhaust fans or fire alarm system.

The Concessions and Storage buildings have basic residential-style electrical systems, the Concessions building system is in poor condition and all system components will need to be replaced when the building is rebuilt.

The electrical system in the Fire Station #3 is original but due to the age of the building only minor replacements will be required.

Fire Station #3 is equipped with a natural gas Emergency backup generator which is reportedly tested on a monthly basis and, due to frequent power outages in the area, used regularly outside of the scheduled tests. Fire Station #3 has a single gas-fired hot water heater which provide hot water to the restrooms, showers and kitchen.

The Storage building houses some of the well equipment for Clark Field but does not include any significant plumbing or mechanical equipment for the building itself. The kitchen in the Concessions building is equipped with an electric, under counter water heater which was recently replaced and can be reused when the building is rebuilt.

Site

Some of the asphalt pavement exhibits significant areas of failure and deterioration, such as alligator cracking and localized depressions at Fire Station #4. Additionally, the rear parking area has gravel parking area that exhibits localized depressions and worn/barren gravel lot and recommend installing asphalt pavement.

The asphalt pavement at the Wastewater Plant, Middle and High School sites exhibited significant cracking throughout and crack sealing is recommended to halt further deterioration of the pavement. The Middle School basketball court also exhibited extensive cracking and due to the level of cracking complete resurfacing of the area is recommended. Replacement of the site furnishings including lighting, picnic tables, and benches will be required during the reserve period.

The Town Hall shares a site with the Town Hall DNR Garage. There is a large parking area at the back of the site for both buildings and a horseshoe driveway in the front with visitor's parking surrounding the historic Soldier's Monument.

The Cataumet and Bournedale Schools sit on undeveloped sites without paved parking or sidewalks. There is a storage building at Cataumet.

The Jonathon Bourne Library has a horseshoe driveway in front and parking lot at the side entrance. There is a patio and landscaping at the opposite side of the building outside the children's room.

The Bourne Archives building is on an undeveloped site and has circular driveway with visitor parking in front. There is donated tank from World War 2 on the grounds.

The Police Station has a visitors parking lot at the front of the building, an employee's parking lot across the street to the southeast and equipment and vehicle storage at the rear.

Fire Station #1 is in the AE flood zone, so the emergency generator had to be constructed on a platform. The parking lot is located at the rear and sides of the building. There are façade issues which may be related to foundation settlement from a high-water table.

The Sewer Pump Station – Buzzards Bay shares the site with Fire Station #1.

The Buzzards Bay Park Gazebo is located at the center of the waterfront park.

The Concession Building is located at the edge of the baseball field at Monument Beach Field.

The DNR Marine building at Taylors Point and the Marine building at Monument Beach are located in the center of a large parking lot serving the marina, docks and piers.

The marine building at Monument Beach has a private septic system consisting of Denitrification tanks and pumps.

The Community Center has a parking lot at the front and sides of the building. Playing fields, playground equipment and lighted basketball courts are located behind the building.

The DPW building and salt shed and share a fenced complex that stores vehicles, equipment and has a fuel pump.

The Hideaway Village Sewer Pump Station is enclosed by a perimeter fence and consists of a set of two small sheds and an emergency generator fueled by propane. There is a propane tank on site.

The Maintenance Building is located within the Integrated Solid Waste Management (ISWM) site. There is no site development or amenities surrounding the building.

Recommended Additional Studies

The superstructure on some of the facilities is exposed in some locations, which allows for limited observation. There is significant evidence of deflection and movement, as cracked concrete floors noted in the garage bays and cracking concrete beams supporting this floor below in Fire Station #4. A Professional Engineer with specific expertise in structural design and construction in this geographical area must be retained to evaluate the structure and to provide remedial recommendations consistent with local regulatory and code requirements. Although the estimated cost of repair cannot be accurately determined without the recommended study, a budgetary cost allowance to repair the affected elements is also included.

The basement exhibits evidence of water penetrating through the perimeter foundation walls in Fire Station #4. A Professional Engineer with specific expertise in structural design and construction in this geographical area must be retained to evaluate the structure and to provide remedial recommendations consistent with local regulatory and code requirements. Although the estimated cost of repair cannot be accurately determined without the recommended study, a budgetary cost allowance for probable repair of the affected elements, including adjacent excavation and exterior waterproofing of the foundation walls, is also included.

The superstructure is exposed in most locations of the School Wastewater Plant building. However, there are significant areas of efflorescence and excessive moisture conditions on the interior and exterior CMU walls. A Professional Engineer with specific expertise in structural design and construction in this geographical area must be retained to evaluate the structure and to provide remedial recommendations consistent with local regulatory and code requirements. Although the estimated cost of repair cannot be accurately determined without the recommended study, a budgetary cost allowance to repair the affected elements is also included.

The Bourne High School building has a central heating system, as well as various packaged units, unit ventilators, and split systems for cooling of the building; however, not all areas of the building are equipped with cooling. Additionally, there is an outdated pneumatic system supplied by air compressor that controls the heating system in the building. In order to provide heating and cooling of the building, with proper amounts of fresh air, consideration should be given to installing a centralized heating and cooling system with an updated EMS system. Based on the property age and condition of the HVAC system, it is recommended a professional mechanical engineer be retained to analyze the existing building conditions, provide system installation and recommendations and, estimate the size, scope and cost of upgrades of the HVAC system. The cost of any HVAC upgrades cannot be accurately determined without the recommended study; however, costs are included for replacement of the existing HVAC system equipment.

A follow-up study is recommended for Asbestos-Containing Materials at the property, as well as remediation of all suspect asbestos materials. The services of a Professional Engineer with specific expertise in Asbestos-Containing Materials in this geographical area must be retained to evaluate the structure and provide remedial recommendations consistent with local regulatory and code requirements. A cost allowance to replace the pipe covering is also included.

Some areas of the facilities were identified as having major or moderate accessibility issues. EMG recommends a study be performed to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

An envelope study is recommended at Fire Station #1 – Buzzards Bay.

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate each building's Facility Condition Index (FCI), which provides a theoretical objective indication of a building's overall condition. By definition, the FCI is defined as the ratio of the cost of current needs divided by current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description	
0 – 5%	In new or well-maintained condition, with little or no visual evidence of wear or deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI's have been developed to provide owners the intelligence needed to plan and budget for the "keep-up costs" for their facilities. As such the 3-year, 5-year, and 10-year FCI's are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI's ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone values. The table below summarizes the individual findings for this FCA:

Facility (year built)	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Bourne / Bourne Archives Bldg (1896)	\$153	3,432	\$524,581	0.0%	0.0%	2.4%	23.2%
Bourne / Bournedale School House (1897)	\$226	875	\$197,374	0.0%	0.3%	0.3%	8.1%
Bourne / Buzzards Bay Park - Gazebo (1980)	\$208	240	\$49,997	0.0%	0.0%	3.2%	14.6%
Bourne / Cataumet School House (1894)	\$226	875	\$197,374	0.0%	0.0%	1.0%	7.9%
Bourne / Clark Field - Storage Bldg (1970)	\$155	500	\$77,400	1.6%	11.6%	11.7%	12.0%
Bourne / Community Center (2002)	\$187	27,958	\$5,215,285	0.2%	1.2%	12.3%	38.1%
Bourne / DNR - Marine Bldg - Monument Beach (1950)	\$243	1,452	\$352,807	0.0%	0.0%	18.3%	26.6%
Bourne / DNR - Marine Bldg - Taylors Point (1990)	\$243	2,024	\$491,792	0.0%	0.0%	11.2%	31.1%
Bourne / DPW Facility (2015)	\$102	41,280	\$4,190,333	0.0%	0.0%	2.9%	8.1%
Bourne / DPW Salt Shed (1933)	\$124	3,840	\$476,429	0.0%	0.0%	0.0%	0.0%
Bourne / Fire Station #1 - Buzzards Bay (1933)	\$216	7,818	\$1,689,548	3.3%	10.1%	28.0%	39.3%
Bourne / Fire Station #2 - Monument Beach (1920)	\$216	2,792	\$603,379	3.0%	8.4%	23.7%	43.6%
Bourne / Fire Station #3 - Sagamore (2005)	\$214	16,320	\$3,494,928	0.0%	7.7%	11.6%	26.4%
Bourne / Fire Station #4 - Pocasset (1947)	\$216	3,596	\$777,132	23.9%	29.6%	56.8%	65.3%

Bourne / Jonathan Bourne Library (1920)	\$210	17,880	\$3,747,827	1.9%	2.0%	4.7%	18.7%
Bourne / Keith Field - Concession Bldg (1970)	\$102	500	\$51,000	0.0%	105.4%	106.5%	109.4%
Bourne / Monument Beach Field - Concession Bldg (1970)	\$103	500	\$51,500	0.0%	0.0%	12.6%	26.1%
Bourne / Pocasset Field - Concession Bldg (1970)	\$102	500	\$51,000	22.6%	40.0%	67.1%	141.2%
Bourne / Police Station - 175 Main St (1933)	\$190	500	\$95,060	0.0%	193.7%	536.2%	971.6%
Bourne / Town Hall (1844)	\$228	18,752	\$4,267,205	0.4%	1.5%	5.3%	28.8%
Bourne / Town Hall - DNR Garage (1920)	\$188	3,000	\$564,660	0.0%	0.8%	0.8%	11.6%
BPS / BPS - Bourne High School (1963)	\$198	159,517	\$31,585,961	0.5%	30.0%	30.5%	41.4%
BPS / BPS - Bourne Intermediate School (2019)	\$202	72,680	\$14,683,540	0.0%	0.0%	0.0%	1.2%
BPS / BPS - Bourne Middle School (2000)	\$216	156,574	\$33,804,327	0.0%	2.2%	3.2%	17.6%
BPS / BPS - Bournedale Elementary (2007)	\$204	68,348	\$13,946,409	0.0%	0.4%	1.8%	15.2%
BPS / BPS - School Administrative Bldg (1920)	\$243	3,835	\$931,828	0.0%	0.0%	0.6%	12.3%
BPS / BPS - School Wastewater Plant (2000)	\$124	4,180	\$518,613	19.1%	41.4%	45.8%	106.9%
BPS / BPS - Storage Garage (2000)	\$124	1,248	\$154,839	0.0%	0.0%	0.9%	25.4%
BPS / BPS - Storage Maintenance (2005)	\$124	2,000	\$248,140	0.0%	0.0%	2.7%	31.0%
ISWM / ISWM - Maintenance Bldg (1968)	\$124	13,000	\$1,612,000	13.7%	15.0%	24.3%	25.4%
Sewer / Sewer Pump Station-B. Bay (1992)	\$124	1,200	\$148,884	0.0%	0.0%	0.0%	22.3%
Sewer / Sewer Pump Station-Hid VII (1993)	\$165	216	\$35,709	0.0%	0.0%	8.1%	8.3%

Immediate Needs

Facility/Building	Total Items	Total Cost
Bourne	46	\$370,179
BPS	36	\$257,590
ISWM	3	\$220,930
Total	85	\$848,699

Bourne

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1624218	Bourne / Town Hall - DNR Garage	Workshop	D5092	Exit Sign Light Fixture, LED, Replace	NA	Safety	\$220
1580509	Bourne / Town Hall	Sprinkler room	D5037	Fire Alarm Control Panel, Addressable, Replace	Poor	Performance/Integrity	\$15,000
1541699	Bourne / Pocasset Field - Concession Bldg	Roof drainage	B3016	Gutters & Downspouts, Aluminum w/ Fittings, Replace	Failed	Modernization/Adaptation	\$630
1541687	Bourne / Pocasset Field - Concession Bldg	Install a backflow prevent	D2021	Backflow Preventer, Domestic, 1", Replace	Failed	Modernization/Adaptation	\$1,400
1577388	Bourne / Pocasset Field - Concession Bldg	Throughout building	D5037	Fire Alarm System, Standard Addressable, Install	NA	Safety	\$2,000
1550980	Bourne / Pocasset Field - Concession Bldg	ADA Study	Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$7,500
1645597	Bourne / Jonathan Bourne Librarv	Throughout building	C3025	Interior Floor Finish, Carpet Commercial Standard, Replace	Poor	Performance/Integrity	\$71,250

1580619	Bourne / Fire Station #4 - Pocasset	Basement	A2023	Basement Wall, Insulation & Waterproofing of Exterior Face, Install	Poor	Performance/Integrity	\$8,740
1541857	Bourne / Fire Station #4 - Pocasset	Garage bays (Apparatus bay) and basement areas	B1012	Structural Flooring/Decking, Concrete, Repair	Poor	Performance/Integrity	\$30,000
1541858	Bourne / Fire Station #4 - Pocasset	Front of building	B1015	Exterior Retaining Wall Rails, Metal, Replace	Failed	Performance/Integrity	\$1,320
1541884	Bourne / Fire Station #4 - Pocasset	Building Exterior (wood trim components)	B2011	Exterior Wall, any Painted Surface, Prep & Paint	Poor	Performance/Integrity	\$3,900
1541854	Bourne / Fire Station #4 - Pocasset	Rooftop chimney	B2011	Exterior Wall, Brick or Brick Veneer, Repair	Poor	Performance/Integrity	\$3,300
1541847	Bourne / Fire Station #4 - Pocasset	Building Exterior	B2011	Exterior Wall, Wood Shakes/Shingles, Replace	Poor	Performance/Integrity	\$18,000
1581120	Bourne / Fire Station #4 - Pocasset	Building Exterior	B2011	Wood Trim, Exterior Building Envelope Penetrations, Potential LBP Hazardous Materials Handling/Disposal, Replace	Poor	Performance/Integrity	\$9,750
1541879	Bourne / Fire Station #4 - Pocasset	Building exterior	B2032	Exterior Door, Wood Solid-Core w/ Glazing Decorative High-End, Replace	Poor	Performance/Integrity	\$6,300
1541862	Bourne / Fire Station #4 - Pocasset	Rear exterior door	B2032	Exterior Door, Steel, With Vision Panels, Replace	Poor	Performance/Integrity	\$900
1541852	Bourne / Fire Station #4 - Pocasset	Roof drainage	B3016	Gutters & Downspouts, Aluminum w/ Fittings, Install	Failed	Modernization/Adaptation	\$1,260
1541845	Bourne / Fire Station #4 - Pocasset	Interior stairs	C2011	Interior Stairs, Wood, Replace	Poor	Performance/Integrity	\$4,000
1541863	Bourne / Fire Station #4 - Pocasset	Garage Bay stairs to addition (Apparatus bay)	C2011	Interior Stair/Ramp Rails, Metal, Install	Failed	Safety	\$330

1541868	Bourne / Fire Station #4 - Pocasset	Interior walls	C3012	Interior Wall Finish, any surface, Prep & Paint	Poor	Performance/Integrity	\$5,700
1581119	Bourne / Fire Station #4 - Pocasset	Garage Bay (Apparatus bay)	C3012	Interior Wall Finish, Wood Paneling, Replace	Poor	Performance/Integrity	\$6,480
1541883	Bourne / Fire Station #4 - Pocasset	Interior floors (garage bays)	C3021	Interior Floor Finish, any surface w/ Paint or Sealant, Prep & Paint	Poor	Performance/Integrity	\$2,400
1541890	Bourne / Fire Station #4 - Pocasset	Interior ceilings	C3031	Interior Ceiling Finish, any flat surface, Prep & Paint	Poor	Performance/Integrity	\$6,200
1541846	Bourne / Fire Station #4 - Pocasset	Interior ceilings	C3032	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	Poor	Performance/Integrity	\$350
1541867	Bourne / Fire Station #4 - Pocasset	First floor common area bathroom	D2011	Toilet, Residential Water Closet, Replace	Poor	Performance/Integrity	\$700
1541875	Bourne / Fire Station #4 - Pocasset	First floor common area bathroom	D2017	Shower, Fiberglass, Replace	Poor	Performance/Integrity	\$1,600
1541880	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	D2023	Heating System Circulation Pump, 0.5 HP, Replace	Poor	Performance/Integrity	\$7,800
1541840	Bourne / Fire Station #4 - Pocasset	Front of building	D5022	Light Fixture, any type w/ LED Replacement, 100 W, Replace	Failed	Performance/Integrity	\$190
1582314	Bourne / Fire Station #4 - Pocasset	Throughout building	D5037	Fire Alarm System, Standard Addressable, Install	Failed	Safety	\$14,384
1581721	Bourne / Fire Station #4 - Pocasset	Install Defibrillator (AED)	E1028	Defibrillator (AED), Cabinet Mounted, Install	Failed	Safety	\$1,500
1541849	Bourne / Fire Station #4 - Pocasset	Throughout asphalt pavement areas (north and east elevations)	G2022	Parking Lots, Asphalt Pavement, Mill & Overlay	Poor	Performance/Integrity	\$13,265
1541856	Bourne / Fire Station #4 - Pocasset	Install at gravel lot (rear elevation)	G2022	Parking Lots, Asphalt Pavement, Full Depth (includes sub-base), Install	Poor	Modernization/Adaptation	\$6,500

1580918	Bourne / Fire Station #4 - Pocasset	Front of building	G2042	Retaining Wall, Cast-in-place Concrete (per SF Face), Replace	Failed	Performance/Integrity	\$6,500
1580618	Bourne / Fire Station #4 - Pocasset	Water intrusion study	P000X	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	Poor	Performance/Integrity	\$7,000
1580620	Bourne / Fire Station #4 - Pocasset	Structural study	P000X	Engineer, Structural, Superstructure, Evaluate/Report	Poor	Performance/Integrity	\$10,000
1551398	Bourne / Fire Station #4 - Pocasset	ADA Study	Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$7,500
1649374	Bourne / Fire Station #2 - Monument Beach	Bathroom	D2011	Toilet, Residential Water Closet, Replace	NA	Environmental	\$700
1649376	Bourne / Fire Station #2 - Monument Beach	Bathroom	D2014	Sink/Lavatory, Wall-Hung, Enameled Steel, Replace	NA	Environmental	\$1,700
1649375	Bourne / Fire Station #2 - Monument Beach	Bathroom	D2017	Shower, Fiberglass, Replace	NA	Environmental	\$1,600
1649377	Bourne / Fire Station #2 - Monument Beach	Bathroom	D2029	Plumbing System, Supply & Sanitary, Low Density (excl fixtures), Replace	NA	Environmental	\$13,960
1595194	Bourne / Fire Station #1 - Buzzards Bay	Building Exterior	B2011	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair	Poor	Performance/Integrity	\$49,500
1602947	Bourne / Fire Station #1 - Buzzards Bay	Building exterior	P000X	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	NA	Performance/Integrity	\$7,000
1580610	Bourne / Community Center	Boiler room	D5012	Variable Frequency Drive (VFD), 5 HP Motor, Replace	Failed	Performance/Integrity	\$5,300

1580552	Bourne / Community Center	Boiler room	D5012	Variable Frequency Drive (VFD), 5 HP Motor, Replace	Failed	Performance/Integrity	\$5,300
1580752	Bourne / Clark Field - Storage Bldg	Roof	D3042	Exhaust Vent Cover, Replace	NA	Modernization/Adaptation	\$1,000
1580755	Bourne / Clark Field - Storage Bldg	Building Exterior	D5022	Light Fixture, any type w/ LED Replacement, 400 W, Replace	Failed	Performance/Integrity	\$250
Total (46 items)							\$370,179

BPS

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1623704	BPS / BPS - School Wastewater Plant	Install	E1028	Defibrillator (AED), Cabinet Mounted, Install	NA	Safety	\$1,500
1593844	BPS / BPS - School Wastewater Plant	Parking area (west side of building)	G2022	Parking Lots, Curb & Gutter, Granite, Replace	Poor	Performance/Integrity	\$390
1531397	BPS / BPS - School Wastewater Plant	Building interior and exterior	P000X	Mold/Biological Growth, Remediation, Clean and Seal	Poor	Performance/Integrity	\$90,000
1537441	BPS / BPS - School Wastewater Plant	Masonry study; interior and exterior walls	P000X	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	Poor	Performance/Integrity	\$7,000
1531485	BPS / BPS - Bourne Middle School	Drinking faucet in classroom 218	D2018	Drinking Fountain, Interior, Replace	Failed	Performance/Integrity	\$1,900
1531406	BPS / BPS - Bourne Middle School	Penthouse Mechanical room	D2021	Backflow Preventer, Domestic, 3", Install	NA	Modernization/Adaptation	\$5,200
1531480	BPS / BPS - Bourne Middle School	Site adjacent to building (south elevation)	D3032	Ductless Split System, Single Zone, 2 Ton, Replace	Poor	Performance/Integrity	\$4,800

1577601	BPS / BPS - Bourne High School	Building Exterior	B2011	Exterior Wall, Concrete, Repair	Poor	Performance/Integrity	\$14,500
1537503	BPS / BPS - Bourne High School	Science/Lab classrooms	D2014	Sink/Lavatory, Vanity Top, Solid Surface and Sink, Replace	Poor	Performance/Integrity	\$52,800
1537586	BPS / BPS - Bourne High School	Science/Lab classrooms	D2019	Emergency Eye Wash & Shower Station, Replace	Failed	Performance/Integrity	\$18,400
1595814	BPS / BPS - Bourne High School	Kitchen	D2034	Grease Trap/Interceptor, Undercounter, Install	NA	Modernization/Adaptation	\$1,800
1537564 	BPS / BPS - Bourne High School	Roof	<u>D3042</u>	Exhaust Fan, Centrifugal, 1,500 CFM (16" Damper), Replace	Poor	Performance/Integrity	\$2,400
1537643	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Centrifugal, 1,500 CFM (16" Damper), Replace	Poor	Performance/Integrity	\$2,400
1537544	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 250 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537563	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 400 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537507	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 250 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537614	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 250 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537631	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 250 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537633	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 400 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537581	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 250 CFM, Replace	Poor	Performance/Integrity	\$1,200

1537569	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 400 CFM, Replace	Poor	Performance/Integrity	\$1,200
1537620	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537553	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537619	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537529 	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537530	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 600 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537628	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537506	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537545	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537616	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	Poor	Performance/Integrity	\$1,400
1537561	BPS / BPS - Bourne High School	Roof	D3042	Exhaust Fan, Centrifugal, 1,000 CFM (12" Damper), Replace	Poor	Performance/Integrity	\$1,400
1537594	BPS / BPS - Bourne High School	C-Wing Boiler room	D3044	Distribution Pump, Heating Water, 7.5 HP, Replace	Poor	Performance/Integrity	\$6,500
1537566	BPS / BPS - Bourne High School	Replace T-12 with LED in mechanical/boiler rooms, elevator cabs and stairs leading to C- Wing boiler room	D5029	Lighting System, Interior, Medium Density & Standard Fixtures, Replace	Poor	Modernization/Adaptation	\$6,400

1537583	BPS / BPS - Bourne High School	ACM Study	P000X	Engineer, Environmental, Sample for ACMs, Evaluate/Report	Poor	Safety	\$3,500
1595102	BPS / BPS - Bourne High School	HVAC Study	P000X	Engineer, Mechanical/HVAC, General, Mechanical/HVAC Design	Poor	Modernization/Adaptation	\$7,000
1577609	BPS / BPS - Bourne High School	Throughout building	Z105X	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	NA	Accessibility	\$7,500
Total (36 items)							\$257,590

ISWM

ID	Location	Location Description	UF Code	Description	Condition	Plan Type	Cost
1595345	ISWM / ISWM - Maintenance Bldg	Building Exterior	B2011	Exterior Wall, Concrete, 1-2 Stories, Repair	Poor	Performance/Integrity	\$144,130

Key Findings



Interior Stair/Ramp Rails in Failed condition.

Metal
Fire Station #4 - Pocasset Garage Bay stairs to addition (Apparatus bay)

Uniformat Code: C2011
Recommendation: **Install in 2019**

Priority Score: **96.0**

Plan Type: Safety

Cost Estimate: \$300

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The stairs at the garage bays were missing and recommend installing new handrails as a life safety issue. - AssetCALC ID: 1541863



Exterior Retaining Wall Rails in Failed condition.

Metal
Fire Station #4 - Pocasset Front of building

Uniformat Code: B1015
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,300

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The front low-level concrete retaining wall shows evidence of movement and the top-mounted metal guardrail is bent and leaning. The damaged portions of the retaining wall and guardrail must be replaced. - AssetCALC ID: 1541858



Wood Trim in Poor condition.

Exterior Building Envelope Penetrations,
Potential LBP Hazardous Materials
Handling/Disposal
Fire Station #4 - Pocasset Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$9,800

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The exterior wood fascia, windows and trim finishes have significant areas of deteriorated wood and painted finishes, on all sides of the building. Based on the age of the building, the exterior painted wood trim components may contain suspect lead-based paint. A cost allowance for proper removal and replacement of the wood components is included. - AssetCALC ID: 1581120



Structural Flooring/Decking in Poor condition.

Concrete
Fire Station #4 - Pocasset Garage bays
(Apparatus bay) and basement areas

Uniformat Code: B1012
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$30,000

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The superstructure is exposed in some locations, which allows for limited observation. There is significant evidence of deflection and movement, as cracked concrete floors noted in the garage bays and cracking concrete beams supporting this floor below in Fire Station #4. A Professional Engineer with specific expertise in structural design and construction in this geographical area must be retained to evaluate the structure and to provide remedial recommendations consistent with local regulatory and code requirements - AssetCALC ID: 1541857



Exterior Wall in Poor condition.

Brick or Brick Veneer
Fire Station #4 - Pocasset Rooftop chimney

Uniformat Code: B2011
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$3,300

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The brick masonry rooftop chimney has isolated areas of cracking and loose units. The damaged brick masonry must be repaired. - AssetCALC ID: 1541854



Exterior Wall in Poor condition.

Wood Shakes/Shingles
Fire Station #4 - Pocasset Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$18,000

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The wood shingle siding has significant areas of dry-rotted, weathered and warped shingles on all sides of the building. The damaged materials must be replaced. In addition to these repairs, the exterior walls will require staining/painting. - AssetCALC ID: 1541847



Exterior Wall in Poor condition.

Brick or Brick Veneer, 1-2 Stories
Fire Station #1 - Buzzards Bay Building Exterior

Uniformat Code: B2011
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$49,500

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The exterior walls at the east side of the building is damaged. The mortar is missing, the brick is settling and the lintels above the windows are rusted. There are cracked bricks at the openings and at the façade. - AssetCALC ID: 1595194



Roof Structure in Poor condition.

Pitched, Wood Rafters
Keith Field - Concession Bldg. Roof

Uniformat Code: B1022
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$10,500

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Entire upper structure should be replaced. - AssetCALC ID: 1580736



Roof in Poor condition.

Single-Ply TPO/PVC Membrane
Police Station - 175 Main St Roof

Uniformat Code: B3011
Recommendation: **Replace in 2020**

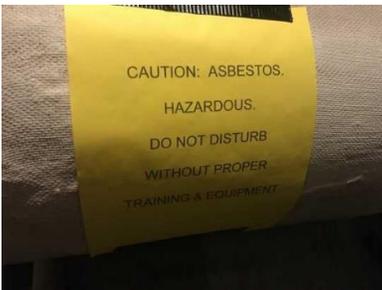
Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$45,100

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The roof membrane is aged and has been repaired numerous times. Replacement is recommended. There are numerous interior leaks at the walls, windows and roof edge. - AssetCALC ID: 1595230



Pipe Insulation in Poor condition.

Fiberglass, Heating Water/Steam
BPS - Bourne High School Various mechanical rooms, the tunnel, above 2nd floor corridor ceiling, and in locker rooms

Uniformat Code: D2021
Recommendation: **Replace in 2020**

Priority Score: **96.0**

Plan Type: Safety

Cost Estimate: \$45,300

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Suspect asbestos noted in the form of pipe covering and hard 12' ceiling tiles at Bourne High School. The areas noted include various mechanical rooms, tunnel, above the 2nd floor corridor ceiling, locker rooms and the ceiling finishes throughout most of the original building. A follow-up study is recommended for Asbestos-Containing Materials at the property, as well as remediation of all suspect asbestos materials. The services of a Professional Engineer with specific expertise in Asbestos-Containing Materials in this geographical area must be retained to evaluate the structure and provide remedial recommendations consistent with local regulatory and code requirements. - AssetCALC ID: 1595044



Recommended Follow-up Study: Environmental, Sample for ACMs

Environmental, Sample for ACMs
BPS - Bourne High School ACM Study

Uniformat Code: P000X
Recommendation: **Evaluate/Report in 2019**

Priority Score: **91.0**

Plan Type: Safety

Cost Estimate: \$3,500

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Suspect asbestos noted in the form of pipe covering and hard 12" ceiling tiles at Bourne High School. The areas noted include various mechanical rooms, tunnel, above the 2nd floor corridor ceiling, locker rooms and ceiling finishes throughout most of the original building. A follow-up study is recommended for Asbestos-Containing Materials at the property, as well as remediation of all suspect asbestos materials. The services of a Professional Engineer with specific expertise in Asbestos-Containing Materials in this geographical area must be retained to evaluate the structure and provide remedial recommendations consistent with local regulatory and code requirements. A cost allowance to replace the pipe covering is also included. -
 AssetCALC ID: 1537583



Exterior Wall in Poor condition.

Concrete
 BPS - Bourne High School Building Exterior
 Unifomat Code: B2011
 Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
 Performance/Integrity

Cost Estimate: \$14,500

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Small areas of damage around base of exterior walls requires repair - AssetCALC ID: 1577601



Roof in Poor condition.

Built-Up
 BPS - Bourne High School Roof
 Unifomat Code: B3011
 Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
 Performance/Integrity

Cost Estimate: \$1,519,700

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Roof has leaks throughout, damage to interior finishes will need to be repaired once roof is replaced -
 AssetCALC ID: 1577588



Roof in Poor condition.

Asphalt Shingle 20-Year
 BPS - Bourne Middle School Roof
 Unifomat Code: B3011
 Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
 Performance/Integrity

Cost Estimate: \$318,300

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Roof leaks extensively, ceiling tiles stained and active leaks observed during site visit - AssetCALC ID: 1562823



Roof in Poor condition.

Single-Ply EPDM Membrane
BPS - Bourne High School Roof

Uniformat Code: B3011
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$15,400

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Roof leaks throughout, scheduled for replacement 2020 - AssetCALC ID: 1577644



Exterior Wall in Poor condition.

Joint Caulking 1/2" to 1"
BPS - School Wastewater Plant Building exterior

Uniformat Code: B2011
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,200

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There are significant areas of brittle, deteriorated and missing sealant on all sides of the building. The damaged sealant must be replaced. - AssetCALC ID: 1531401



Roof in Poor condition.

Built-Up
BPS - Bourne Middle School Roof

Uniformat Code: B3011
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$213,500

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Roof leaks extensively, ceiling tiles stained and active leak observed during site visit - AssetCALC ID: 1562786



Exterior Wall in Poor condition.

Joint Caulking 1/2" to 1"
BPS - Bourne Middle School Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$13,800

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There are significant areas of brittle, deteriorated and missing sealant on all sides of the building. The damaged sealant must be replaced. - AssetCALC ID: 1562800



Exterior Wall in Poor condition.

Joint Caulking 1/2" to 1"
BPS - Bourne High School Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2020**

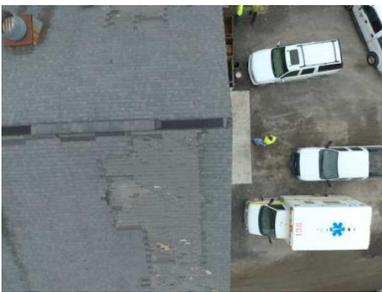
Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$19,300

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There are significant areas of brittle, deteriorated and missing sealant on all sides of the building. The damaged sealant must be replaced. - AssetCALC ID: 1577593



Roof in Poor condition.

Asphalt Shingle 20-Year
ISWM - Maintenance Bldg. Roof

Uniformat Code: B3011
Recommendation: **Replace in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$60,800

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There is constant leaking at the perimeter. Based upon the drone pictures there are missing shingles. A new roof is recommended. - AssetCALC ID: 1595354



Exterior Wall in Poor condition.

Concrete, 1-2 Stories
ISWM - Maintenance Bldg. Building Exterior

Uniformat Code: B2011
Recommendation: **Repair in 2019**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$144,100

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Exterior walls are stained and damaged due to settlement cracks at each elevation. - AssetCALC ID: 1595345



Exterior Wall in Poor condition.

Textured Plywood (T1-11)
ISWM - Maintenance Bldg. Building Exterior

Uniformat Code: B2011
Recommendation: **Replace in 2020**

Priority Score: **90.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$2,300

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The wood siding at each end of building is damaged. The wood is rotted and stained from leaking at the compromised roof edge and contributing to damage to the interior. - AssetCALC ID: 1595349



Exterior Door in Poor condition.

Steel
ISWM - Maintenance Bldg. Building Exterior

Uniformat Code: B2032
Recommendation: **Replace in 2020**

Priority Score: **88.0**

Plan Type:
Performance/Integrity

Cost Estimate: \$1,200

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The exterior doors are in poor condition. The finishes are worn and stained and the doors and frames are dented. Doors are less than 36" wide. Replacement is recommended. - AssetCALC ID: 1595351



Air Handler (AHU) in Poor condition.

Interior, 1,201 to 2,400 CFM
ISWM - Maintenance Bldg. Mezzanine

Uniformat Code: D3041
Recommendation: **Replace in 2020**

Priority Score: **86.0**

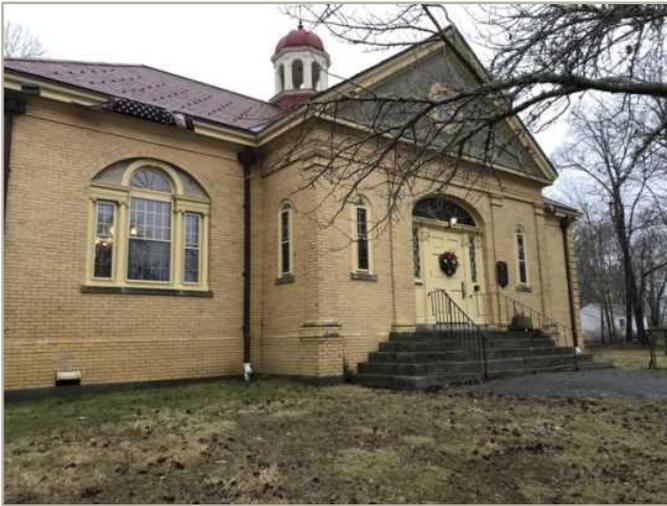
Plan Type:
Performance/Integrity

Cost Estimate: \$15,000

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The air handler is no longer in service. - AssetCALC ID: 1595352

2. Bourne Archives Building



Bourne Archives Building: Systems Summary

Address	30 Keene Street, Bourne, Massachusetts 02532	
Constructed/ Renovated	1896/2017	
Building Size	3,432 SF	
Number of Stories	2	
Site Area	0.72 acres (estimated)	
Parking Spaces	20 total spaces all in open lots; 1 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with wood windows	Fair
Roof	Primary: Hip construction with slate covering Secondary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Painted gypsum board & wood paneling Floors: Carpet Ceilings: Painted gypsum board	Good
Elevators	None	--

Bourne Archives Building: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Electric water heater Toilets, and sinks in all restrooms	Fair
HVAC	Central system with boilers with hydronic baseboard radiators and cabinets Individual package split-system Supplemental components: ductless split-systems	Fair
Fire Suppression	Fire extinguishers	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots	Fair
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is well maintained and in good shape for its age. It is highly ornate. The brick and the slate are rare colors and replacement and repairs are difficult since the materials are not available. There are no lighted exit signs in the building.	

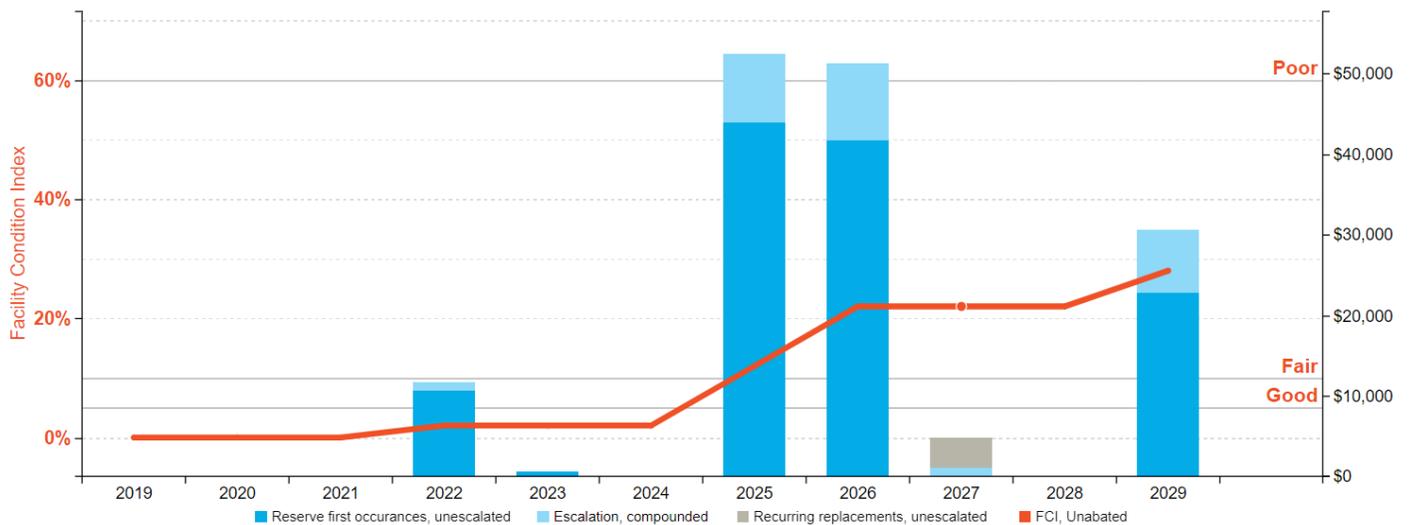
Bourne Archives Building: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$1,000	\$112,300	\$113,200
Roofing	-	-	-	\$4,200	-	\$4,200
Interiors	-	-	-	\$37,400	\$50,300	\$87,800
Plumbing	-	-	\$600	\$3,000	\$1,000	\$4,500
Fire Suppression	-	-	-	\$200	\$200	\$400
HVAC	-	-	-	\$6,400	\$12,500	\$18,900
Electrical	-	-	-	\$27,900	\$400	\$28,300
Fire Alarm & Comm	-	\$7,500	-	\$17,900	-	\$25,400
Site Development	-	-	-	-	\$3,900	\$3,900
Pavement	-	\$4,200	-	\$41,300	\$12,100	\$57,600
TOTALS	-	\$11,700	\$600	\$139,300	\$192,700	\$344,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Bourne Archives Bldg

Replacement Value: \$ 524,581; Inflation rate: 3.0%



3. Bournedale School House



Bournedale School House: Systems Summary

Address	29 Herring Pond Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	1897/2010	
Building Size	875 SF	
Number of Stories	1	
Site Area	0.13 acres (estimated)	
Parking Spaces	Limited parking at the site	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure with raised floor	Fair
Façade	Wood siding with wood windows	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board and wood panel Floors: Wood flooring Ceilings: Painted gypsum board	Fair
Elevators	None	--

Bournedale School House: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Electric water heater (poor) Toilet and sink in restroom	Fair
HVAC	Ductless mini-split system	Good
Fire Suppression	Fire extinguishers	Good
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: CFL, LED Emergency: None	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	None	--
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The schoolhouse has been renovated and is in good condition for its age. Meetings and community events are held in this building and according to the site POC the building is maintained by donated funds and volunteers.	

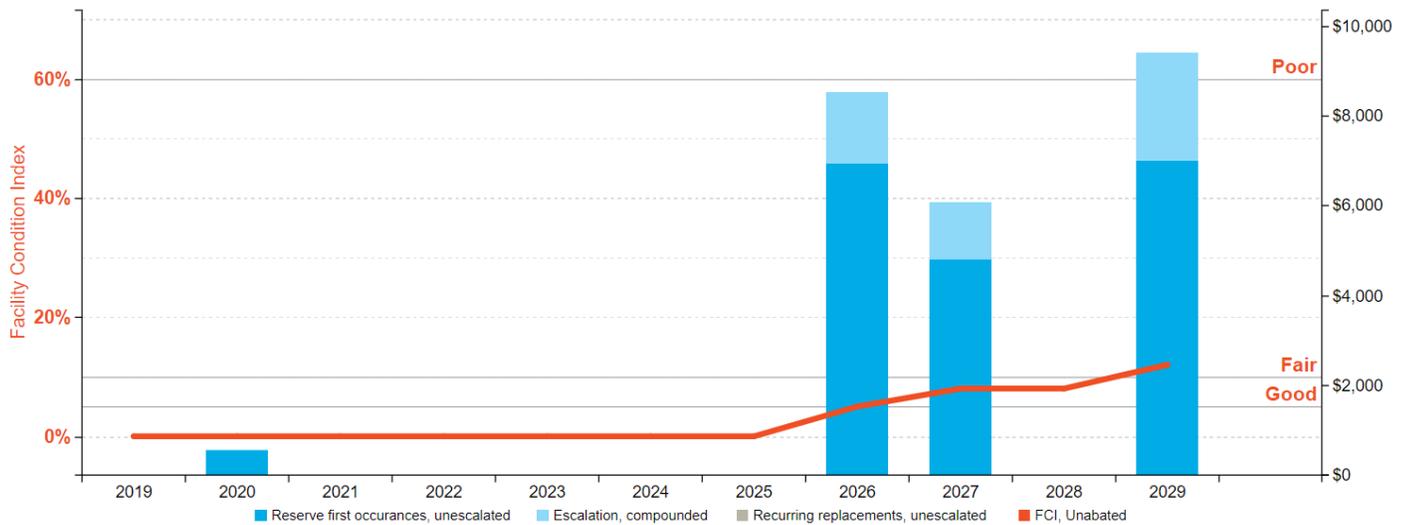
Bournedale School House: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$4,600	\$129,000	\$133,600
Roofing	-	-	-	-	\$11,600	\$11,600
Interiors	-	-	-	\$10,000	\$13,400	\$23,400
Plumbing	-	\$600	-	-	\$11,800	\$12,400
HVAC	-	-	-	-	\$9,500	\$9,500
Electrical	-	-	-	\$7,100	\$3,900	\$10,900
Fire Alarm & Comm	-	-	-	\$2,400	-	\$2,400
TOTALS	-	\$600	-	\$24,100	\$179,200	\$203,800

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Bournedale School House

Replacement Value: \$ 197,374; Inflation rate: 3.0%



4. Buzzards Bay Park Gazebo



Buzzards Bay Park Gazebo: Systems Summary

Address	90 Main Street, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1980	
Building Size	240 SF	
Number of Stories	1	
Site Area	Located within Buzzards Bay Park	
Parking Spaces	None	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Fair
Façade	Painted wood	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Painted Floors: Unfinished Ceilings: Painted bead board	Fair
Elevators	None	--
Plumbing	None	--

Buzzards Bay Park Gazebo: Systems Summary		
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Fed from park building with copper wiring Interior Lighting: LED Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt sidewalks, curbs, ramps, and stairs	Fair
Site Development	None	--
Landscaping and Topography	No significant landscaping features	Fair
Utilities	Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The open air structure is located in the center of the Buzzards Bay park. There are some cracks in the slab but it does not appear to be detrimental to the buildings use.	

Buzzards Bay Park Gazebo: Systems Expenditure Forecast

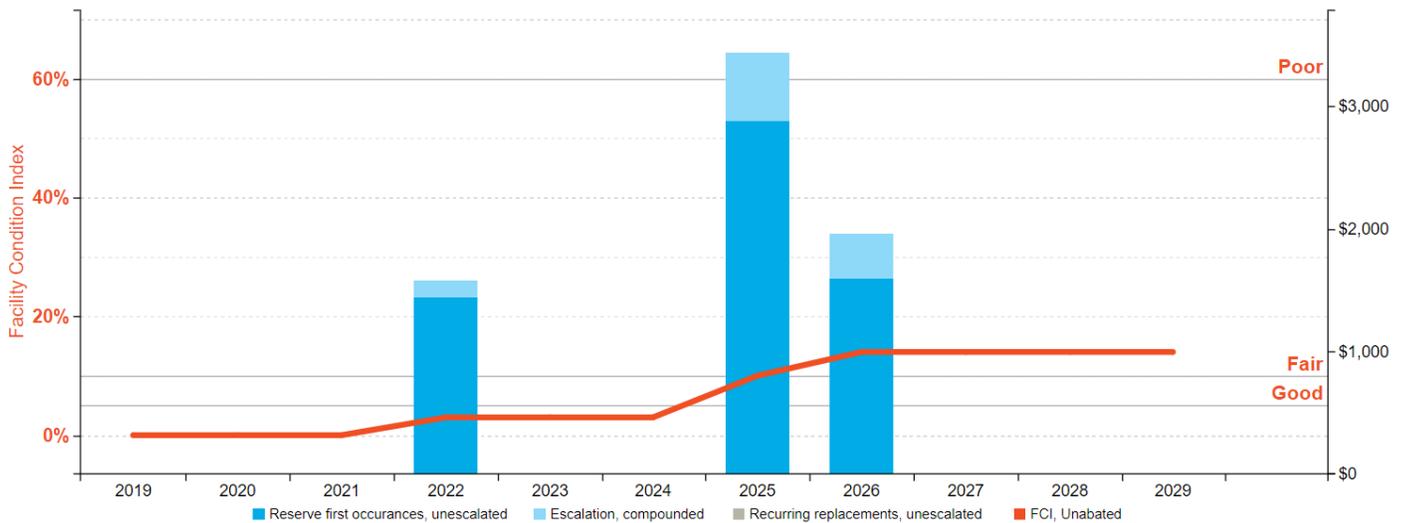
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	-	-	-	-	-
Facade	-	-	-	\$900	\$1,200	\$2,100
Roofing	-	-	-	-	\$3,100	\$3,100
Interiors	-	-	-	\$4,500	\$6,100	\$10,600
Electrical	-	\$1,600	-	-	-	\$1,600
TOTALS	-	\$1,600	-	\$5,400	\$10,400	\$17,400

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Buzzards Bay Park - Gazebo

Replacement Value: \$ 49,997; Inflation rate: 3.0%



5. Cataumet School House



Cataumet School House: Systems Summary

Address	1200 County Road, Cataumet, Massachusetts 02534	
Constructed/ Renovated	1894	
Building Size	875 SF	
Number of Stories	1	
Site Area	0.22 acres (estimated)	
Parking Spaces	There is limited parking on the grass and along the entrance road	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure with raised floor	Fair
Façade	Wood siding with wood windows	Fair
Roof	Primary: Gable construction with wood shakes/shingles	Fair
Interiors	Walls: Painted plaster, wood paneling Floors: Wood Ceilings: Painted plaster	Good
Elevators	None	--
Plumbing	None	--

Cataumet School House: Systems Summary		
HVAC	Wood stove	--
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: CFL Emergency: None	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	None	--
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	Wood-framed storage sheds	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The schoolhouse has been renovated and is in good condition for its age. Meetings and community events are held in this building and the community is very active in its upkeep.	

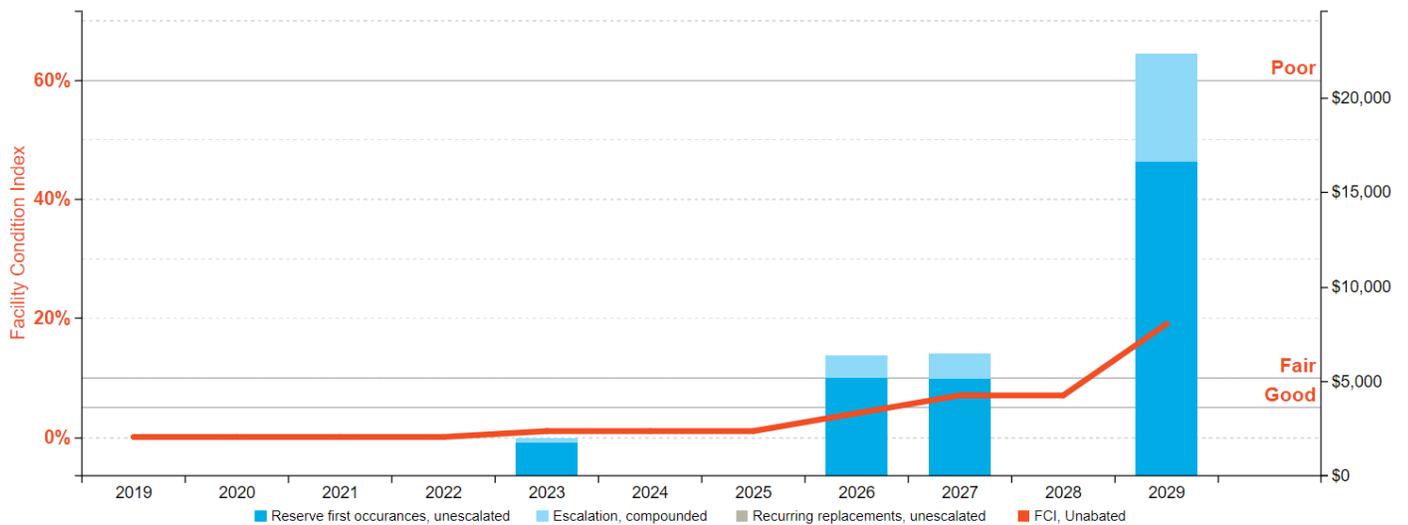
Cataumet School House: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$4,600	\$129,000	\$133,600
Roofing	-	-	-	\$12,900	-	\$12,900
Interiors	-	-	\$2,000	\$7,800	\$13,200	\$23,000
Fire Suppression	-	-	-	\$400	\$500	\$900
Electrical	-	-	-	\$7,100	\$1,700	\$8,800
Fire Alarm & Comm	-	-	-	\$2,400	-	\$2,400
TOTALS	-	-	\$2,000	\$35,200	\$144,400	\$181,600

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Cataumet School House

Replacement Value: \$ 197,374; Inflation rate: 3.0%



6. Clark Field – Storage Building



Clark Field – Storage Building: Systems Summary

Address	32 Clark Road, Sagamore Beach, Massachusetts 02534	
Constructed/ Renovated	1970	
Building Size	500 SF	
Number of Stories	1	
Site Area	Unknown	
Parking Spaces	None	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Good
Façade	Painted CMU	Fair
Roof	Primary: Gable construction with asphalt shingles	Good
Interiors	Walls: Unfinished Floors: Unfinished Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	None	--

Clark Field – Storage Building: Systems Summary		
HVAC	Electric Unit Heater	Good
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED Emergency: None	Fair
Fire Alarm	Smoke detector	--
Equipment/Special	None	--
Site Pavement	N/A	--
Site Development	N/A	--
Landscaping and Topography	N/A	--
Utilities	Local utility-provided electric	Good
Site Lighting	Building-mounted: Halogen	Poor
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	Uncovered roof vents, exterior paint is chipping and mismatched, steel door is rusting, cracking pavement at garage door entrance	

Clark Field – Storage Building: Systems Expenditure Forecast

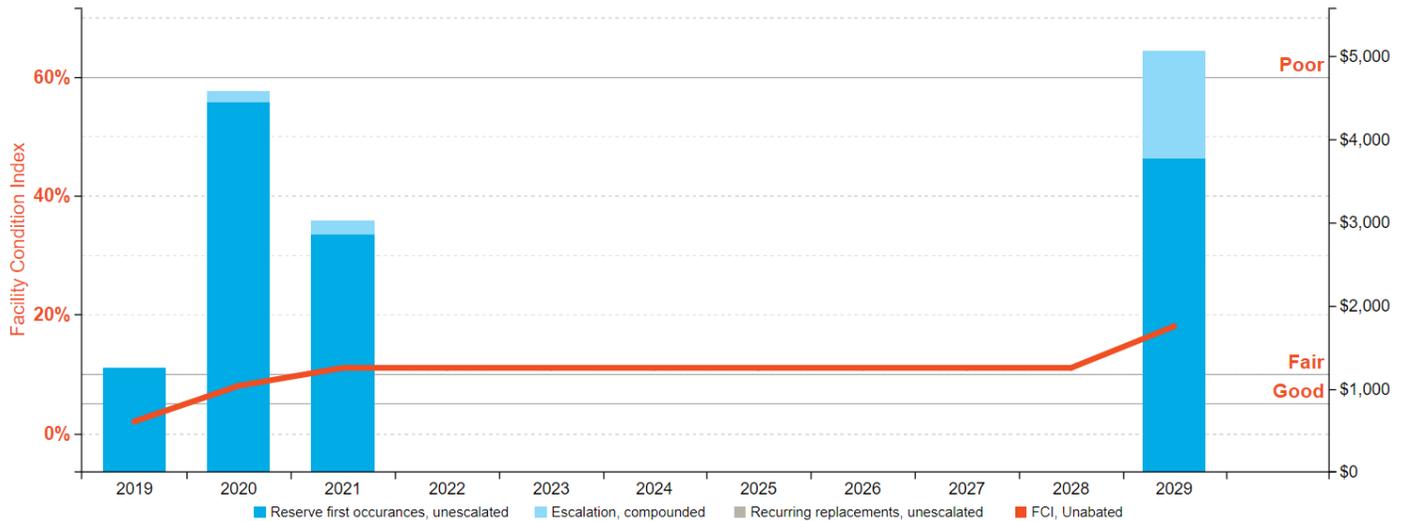
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$6,600	-	\$4,300	\$6,300	\$17,100
Roofing	-	-	-	-	-	-
Interiors	-	-	-	-	-	-
HVAC	\$1,000	-	-	-	\$2,200	\$3,200
Electrical	\$300	-	-	-	\$6,900	\$7,100
Fire Alarm & Comm	-	-	-	-	\$3,300	\$3,300
Equipment/Special	-	-	-	\$800	-	\$800
Pavement	-	\$1,000	-	-	-	\$1,000
TOTALS	\$1,300	\$7,600	-	\$5,100	\$18,700	\$32,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Clark Field - Storage Bldg

Replacement Value: \$ 77,400; Inflation rate: 3.0%



7. Community Center



Community Center: Systems Summary

Address	239 Main Street, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	2002	
Building Size	27,958 SF	
Number of Stories	2	
Site Area	6.9 acres (estimated)	
Parking Spaces	Approximately 175 total spaces all in open lots; 6 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks	Good
Façade	Vinyl siding with aluminum windows	Good
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with single-ply TPO/PVC membrane	Good
Interiors	Walls: Painted gypsum board, wood paneling & CMU Floors: Carpet, VCT, ceramic tile, quarry tile Ceilings: Painted gypsum board, ACT	Good
Elevators	None	--

Community Center: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic boiler with storage tank Toilets, urinals, and sinks in all restrooms	Good
HVAC	Individual packaged units, split systems, boilers, air handlers Supplemental components: ductless split-systems and make-up air unit	Fair
Fire Suppression	Dry-pipe in lobby soffits and Wet-pipe sprinkler system; hydrants, fire extinguishers, kitchen hood system	Fair
Electrical	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: T-8, LED, Emergency: Natural gas generator	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted signage, chain link fencing Playgrounds and sports courts with bleachers, fencing, and site lights Limited park bench, trash receptacles	Fair
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED, HPS Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The sprinkler system in the lobby ceiling was converted to a dry pipe system after the pipe burst during the winter. There are some roof leaks that have been repaired at the exhaust fan penetrations.	

Community Center: Systems Expenditure Forecast

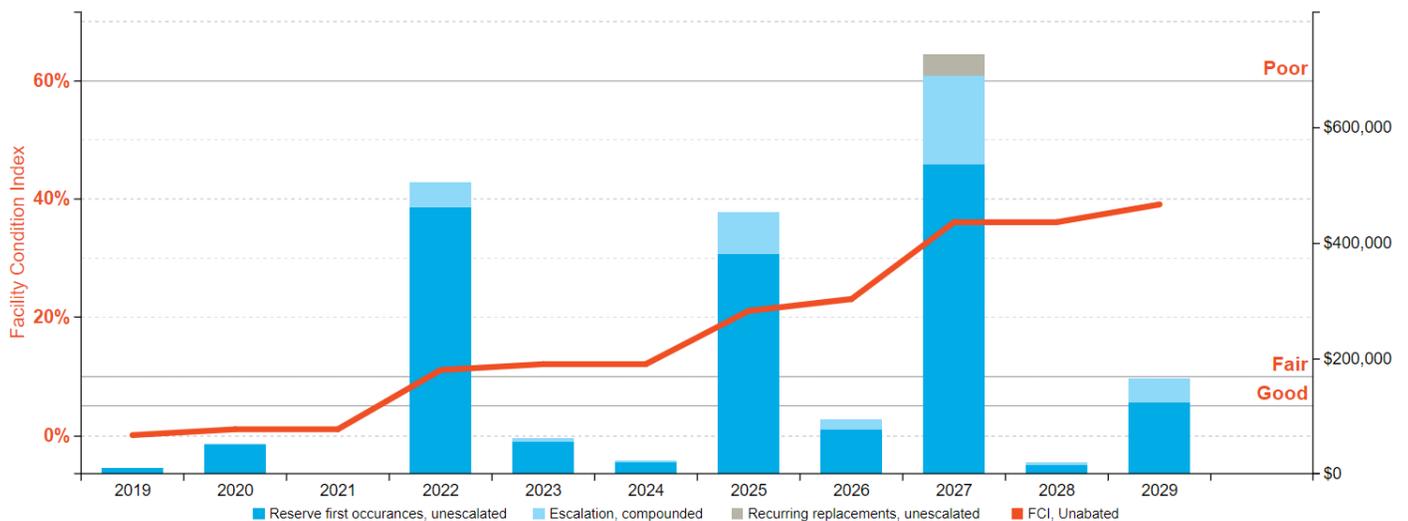
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$183,700	\$183,700
Roofing	-	\$263,000	-	-	\$215,300	\$478,300
Interiors	-	-	-	\$319,400	\$261,700	\$581,000
Plumbing	-	-	-	\$9,600	\$109,200	\$118,800
Fire Suppression	-	-	-	\$55,000	\$17,900	\$72,900
HVAC	-	\$127,400	\$73,800	\$466,700	\$612,300	\$1,280,300
Electrical	\$10,600	\$1,300	-	\$161,200	\$450,700	\$623,900
Fire Alarm & Comm	-	\$122,200	-	\$19,600	-	\$141,800
Equipment/Special	-	-	\$11,500	\$42,200	\$65,600	\$119,300
Pavement	-	\$34,400	-	\$350,300	\$99,900	\$484,600
Site Development	-	\$7,000	-	\$32,200	\$24,800	\$64,100
TOTALS	\$10,600	\$555,300	\$85,300	\$1,456,200	\$2,041,100	\$4,148,700

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Community Center

Replacement Value: \$ 5,215,285; Inflation rate: 3.0%



8. DNR – Marine Building – Monument Beach



DNR – Marine Building – Monument Beach: Systems Summary

Address	22 Emmons Road, Monument Beach, Massachusetts 02532	
Constructed/ Renovated	1950	
Building Size	1,452 SF	
Number of Stories	1	
Site Area	1.43 acres (estimated)	
Parking Spaces	150 total spaces all in open lots; two of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Painted CMU with vinyl windows	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Painted CMU Floors: Unfinished Ceilings: Unfinished/exposed	Fair
Elevators	None	--

DNR – Marine Building – Monument Beach: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heater exchangers Toilets and sinks in all restrooms	Fair
HVAC	None	--
Fire Suppression	Fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots	Fair
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	On-site wells and septic tanks Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: None Building-mounted: None	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is in fair condition. A new septic system has been installed. The building is closed for the season.	

DNR – Marine Building – Monument Beach: Systems Expenditure Forecast

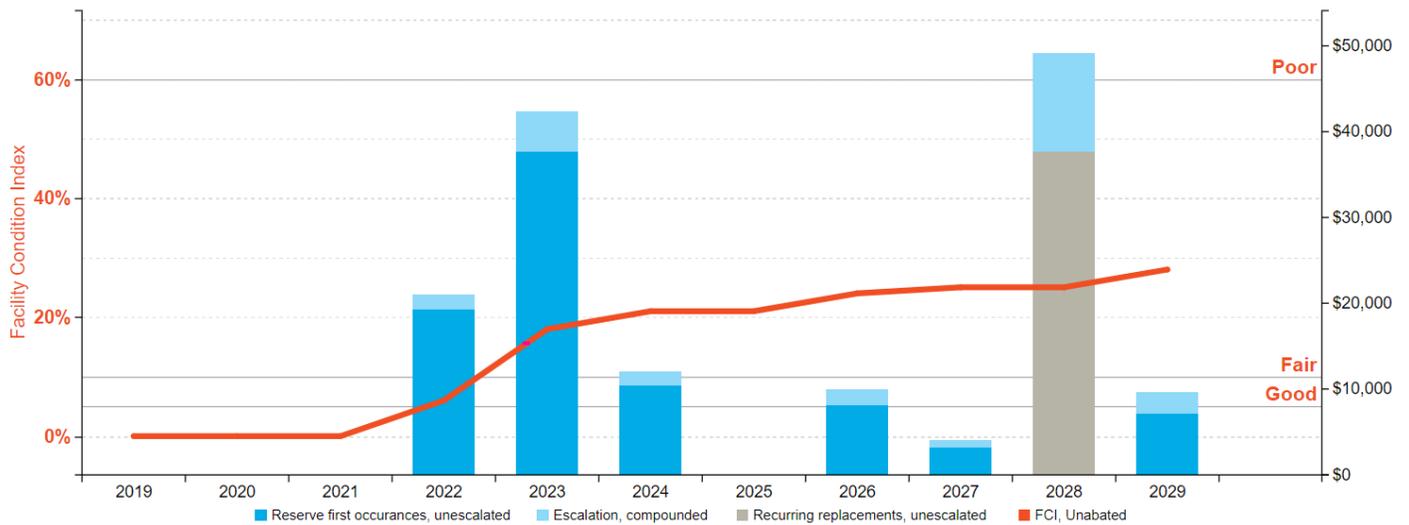
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$4,200	\$6,400	\$10,500	\$21,000
Roofing	-	-	-	-	\$17,600	\$17,600
Interiors	-	\$8,500	-	\$3,500	\$16,200	\$28,300
Plumbing	-	-	\$5,000	\$13,600	\$24,000	\$42,600
Electrical	-	\$9,400	\$2,900	-	-	\$12,300
Fire Alarm & Comm	-	\$3,100	-	-	-	\$3,100
Pavement	-	-	\$42,300	\$49,100	\$122,900	\$214,300
TOTALS	-	\$21,000	\$54,400	\$72,600	\$191,200	\$339,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne DNR - Marine Bldg - Monument Beach

Replacement Value: \$ 352,807; Inflation rate: 3.0%



9. DNR – Marine Building – Taylors Point



DNR – Marine Building – Taylors Point: Systems Summary

Address	1 Academy Drive, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1990/2011	
Building Size	2,024 SF	
Number of Stories	1	
Site Area	3.78 acres (estimated)	
Parking Spaces	275 total spaces all in open lots; four of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Vinyl siding with vinyl windows	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board, ceramic tile, CMU Floors: Carpet, ceramic tile, Ceilings: ACT	Fair
Elevators	None	--

DNR – Marine Building – Taylors Point: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers feeding terminal units, hydronic baseboard Supplemental components: suspended gas unit heaters	Fair
Fire Suppression	Hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL, halogen, incandescent Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage Limited park benches, picnic tables, trash receptacles	Fair
Landscaping and Topography	Limited landscaping features Irrigation not present Concrete retaining walls Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building has been well maintained. The building is closed and winterized after the boating season.	

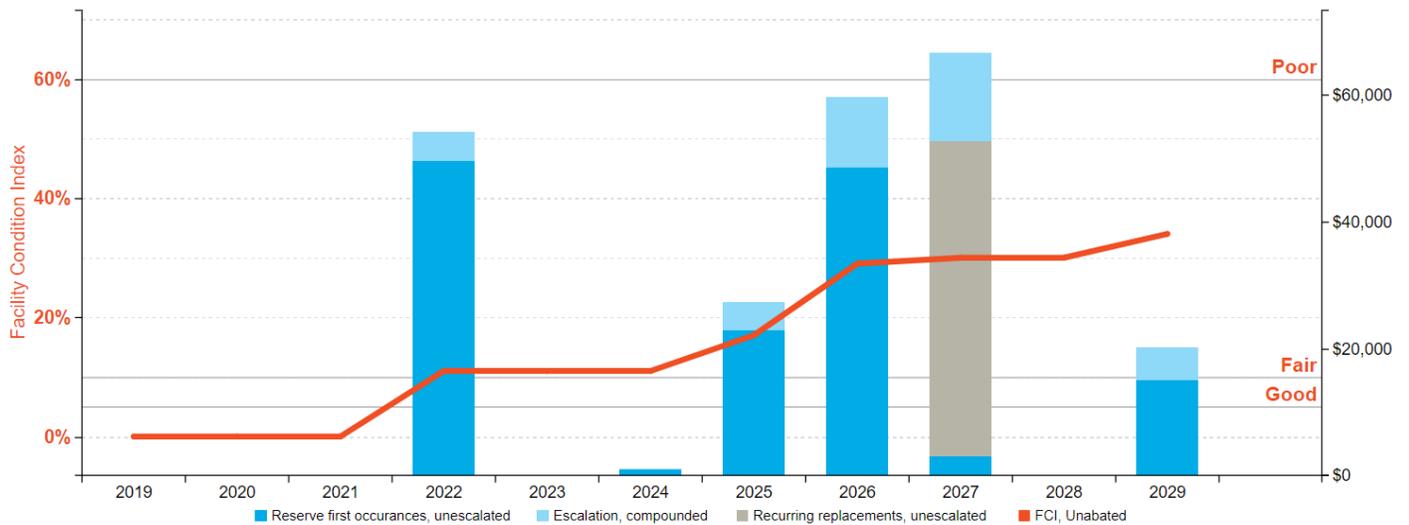
DNR – Marine Building: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$46,300	\$46,300
Roofing	-	-	-	-	\$23,900	\$23,900
Interiors	-	-	-	\$45,100	\$49,600	\$94,700
Plumbing	-	-	-	\$20,400	\$57,000	\$77,400
Fire Suppression	-	-	\$1,000	-	\$1,400	\$2,400
HVAC	-	-	-	\$4,300	\$84,200	\$88,500
Electrical	-	-	-	\$15,600	\$19,300	\$34,900
Fire Alarm & Comm	-	-	-	\$25,400	-	\$25,400
Equipment/Special	-	-	-	-	\$2,100	\$2,100
Pavement	-	\$54,100	-	\$62,700	\$832,100	\$948,900
TOTALS	-	\$54,100	\$1,000	\$173,500	\$1,115,900	\$1,344,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne DNR - Marine Bldg - Taylors Point

Replacement Value: \$ 491,792; Inflation rate: 3.0%



10. DPW Facility



DPW Facility : Systems Summary

Address	35 Ernest Valeri Drive, Buzzards Bay, Massachusetts 02532
Constructed/ Renovated	2015
Building Size	41,280 SF
Number of Stories	1
Site Area	9.0 acres (estimated)
Parking Spaces	75 total spaces all in open lots; 2 of which are accessible

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Engineered steel frame	Good
Façade	Metal siding with aluminum windows	Good
Roof	Primary: Gable construction with metal finish	Good
Interiors	Walls: Painted gypsum board, ceramic tile & CMU Floors: Carpet, VCT, ceramic tile, coated concrete, unfinished Ceilings: Painted gypsum board, ACT, unfinished/exposed	Good
Elevators	None	--

DPW Facility : Systems Summary		
Plumbing	Copper supply and CPVC waste & venting Gas water heaters Toilets, urinals, and sinks in all restrooms	Good
HVAC	Central system with boilers, air handlers, hydronic baseboard radiators and cabinets Individual roof top package units Supplemental components: ductless split-systems and suspended gas unit heaters	Good
Fire Suppression	Dry-pipe at exterior canopy and wet-pipe sprinkler system; hydrants, fire extinguishers	Good
Electrical	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: T-5, LED Emergency: Natural gas generator and ATS	Good
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Good
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and asphalt sidewalks, curbs, ramps, and stairs	Good
Site Development	Property entrance signage, chain link perimeter fencing	Good
Landscaping and Topography	Limited landscaping features Irrigation not present Low to moderate site slopes throughout	Good
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED Building-mounted: LED	Good
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building was constructed in 2015 and is in good condition.	

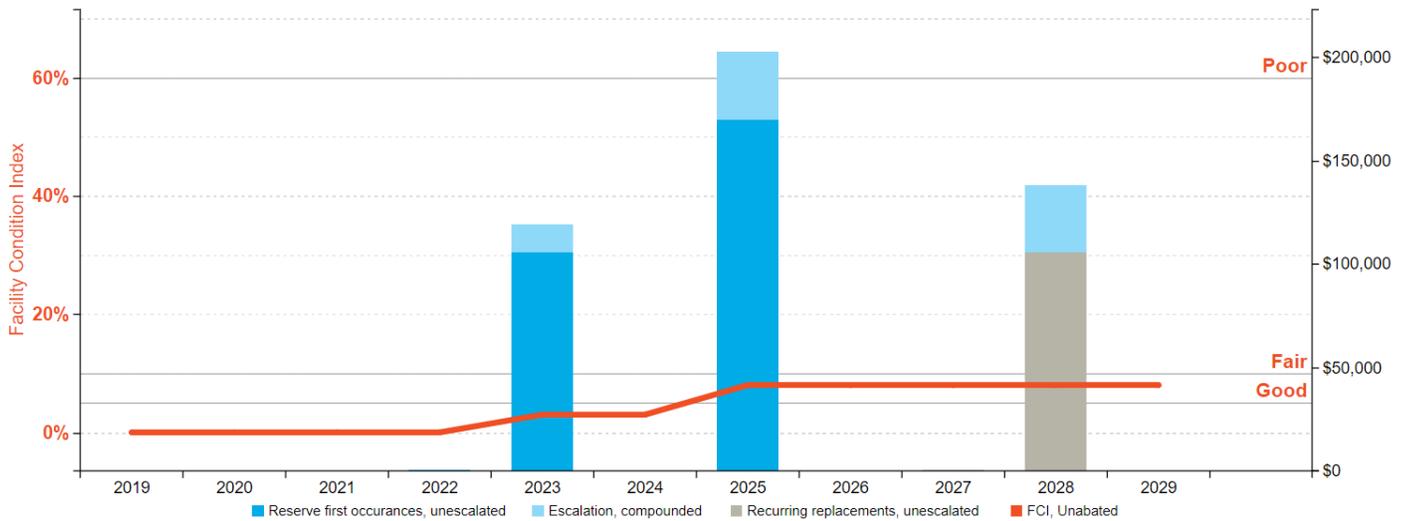
DPW Facility : Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	-	-
Roofing	-	-	-	-	-	-
Interiors	-	-	-	\$184,800	\$373,700	\$558,500
Plumbing	-	-	-	-	\$196,500	\$196,500
Fire Suppression	-	-	-	\$11,500	\$15,400	\$26,900
HVAC	-	-	-	-	\$469,700	\$469,700
Electrical	-	-	-	\$6,600	\$545,500	\$552,100
Fire Alarm & Comm	-	-	-	-	\$310,600	\$310,600
Pavement	-	\$400	\$119,000	\$138,500	\$346,600	\$604,500
Site Development	-	-	-	-	-	-
TOTALS	-	\$400	\$119,000	\$341,400	\$2,258,000	\$2,718,800

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne DPW Facility

Replacement Value: \$ 4,190,333; Inflation rate: 3.0%



11. DPW Salt Shed



DPW Salt Shed: Systems Summary

Address	35 Earnest Valeri, Buzzards Bay, Massachusetts 02532
Constructed/ Renovated	2015
Building Size	3,840 SF
Number of Stories	1
Site Area	Located on DPW Facility site
Parking Spaces	0 total spaces all in open lots

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure	Good
Façade	Wood siding without windows	Good
Roof	Primary: Mansard construction with metal finish	Good
Interiors	Walls: Unfinished Floors: Unfinished Ceilings: Unfinished/exposed	Good
Elevators	None	--

DPW Salt Shed: Systems Summary		
Plumbing	None	--
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Fed from DWP building with copper wiring Interior Lighting: LED Emergency: None	Good
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt lot shared with DPW facility	Good
Site Development	None	--
Landscaping and Topography	No significant landscaping features	--
Utilities	Local utility-provided electric	--
Site Lighting	Building-mounted: LED	Good
Ancillary Structures	None	Good
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building was constructed in 2015 to store the salt used for roads in the winter. There is no mechanical equipment.	

DPW Salt Shed: Systems Expenditure Forecast

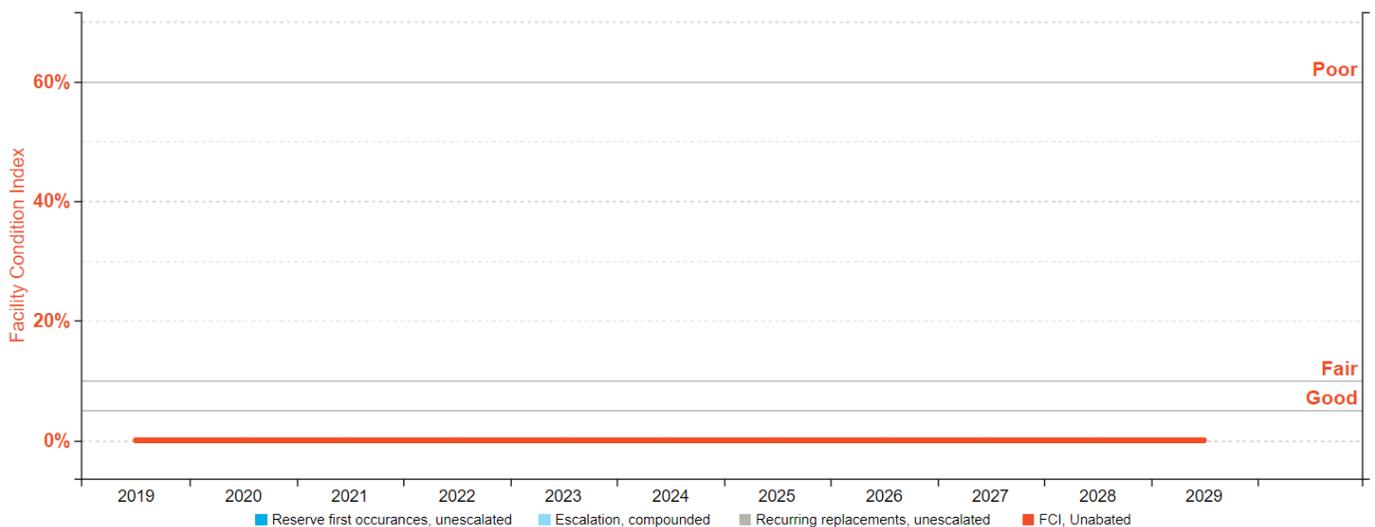
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$53,200	\$53,200
Roofing	-	-	-	-	-	-
Electrical	-	-	-	-	\$40,900	\$40,900
TOTALS	-	-	-	-	\$94,100	\$94,100

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne DPW Salt Shed

Replacement Value: \$ 476,429; Inflation rate: 3.0%



12. Fire Station No. 1 – Buzzards Bay



Fire Station #1 – Buzzards Bay: Systems Summary

Address	130 Main Street, Buzzards Bay, Massachusetts 02532
Constructed/ Renovated	1933/2000
Building Size	7,818 SF
Number of Stories	2
Site Area	0.64 acres (estimated)
Parking Spaces	15 total spaces all in open lots; one of which is accessible

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with aluminum windows	Poor
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted gypsum board, unfinished Floors: Carpet, VCT, ceramic tile, unfinished Ceilings: ACT, Unfinished/exposed	Fair
Elevators	None	--

Fire Station #1 – Buzzards Bay: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers hydronic baseboard radiators and cabinets Individual split-system units Supplemental components: suspended gas unit heaters	Fair
Fire Suppression	Fire Extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, Emergency: Natural gas generator and ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete curbs, ramps, and stairs	Poor
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is located in the AE Flood zone. There is severe façade damage including cracked bricks, missing mortar, rusted lintels and interior water damage. The lower roof has several inches of standing water. A building envelope study is recommended to determine the cause of the settlement and failed roof drains. The concrete apron at the front of the building and the asphalt parking lots are in poor condition. There are missing and cracked sections of pavement and no striping.	

Fire Station #1 – Buzzards Bay: Systems Expenditure Forecast

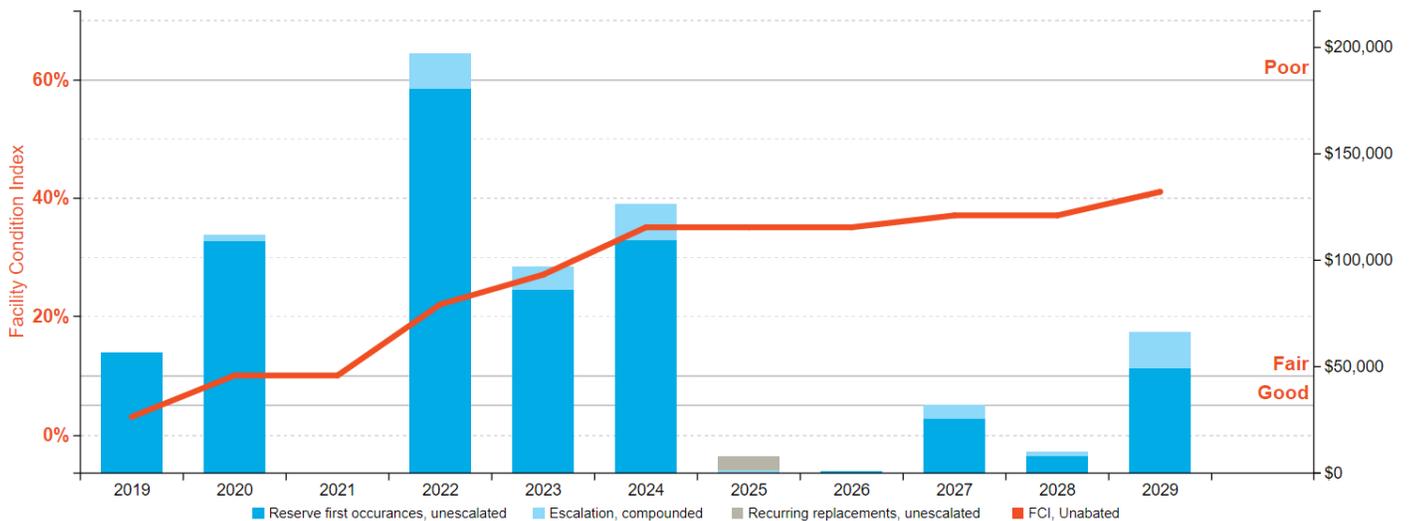
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$49,500	\$5,600	\$78,600	\$3,500	\$7,500	\$144,600
Roofing	-	\$27,200	-	\$17,600	-	\$44,700
Interiors	-	\$12,900	\$27,500	\$24,300	\$40,200	\$104,900
Plumbing	-	-	\$98,300	\$4,100	\$20,000	\$122,300
Fire Suppression	-	\$500	-	-	\$700	\$1,200
HVAC	-	-	-	\$52,400	-	\$52,400
Electrical	-	\$162,300	-	\$1,100	\$95,400	\$258,800
Fire Alarm & Comm	-	\$34,200	\$17,400	-	\$27,100	\$78,700
Equipment/Special	-	-	\$1,500	\$6,500	\$2,300	\$10,300
Pavement	-	\$66,400	-	\$7,800	\$19,500	\$93,700
Site Development	-	-	-	-	\$3,900	\$3,900
Follow-up Studies	\$7,000	-	-	-	-	\$7,000
TOTALS	\$56,500	\$309,100	\$223,300	\$117,300	\$216,600	\$922,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Fire Station #1 - Buzzards Bay

Replacement Value: \$ 1,689,548; Inflation rate: 3.0%



13. Fire Station No. 2 – Monument Beach



Fire Station #2 – Monument Beach: Systems Summary

Address	2 Thomas Philbrick Road, Monument Beach, Massachusetts 02533	
Constructed/ Renovated	1920/1995	
Building Size	2,792 SF	
Number of Stories	2	
Site Area	0.25 acres (estimated)	
Parking Spaces	2 total spaces all in open lots; 0 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with vinyl windows	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board vinyl, unfinished Floors: Carpet, VCT, unfinished Ceilings: Painted gypsum board, unfinished/exposed	Fair
Elevators	None	--

Fire Station #2 – Monument Beach: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Toilets and sinks in all restrooms	Fair
HVAC	Individual split-system Supplemental components: suspended gas unit heaters	Fair
Fire Suppression	Hydrants	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL, Emergency: Natural gas generator and UPS	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	Asphalt parking space with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	On-site wells and septic tanks Local utility-provided electric and natural gas	Poor
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building cannot be used for a manned fire station as the septic system has failed. The second floor is partially renovated. The first floor is used for storage, but the apparatus bays are too small for modern firefighting equipment. Site asphalt paving is cracked and broken.	

Fire Station #2 – Monument Beach: Systems Expenditure Forecast

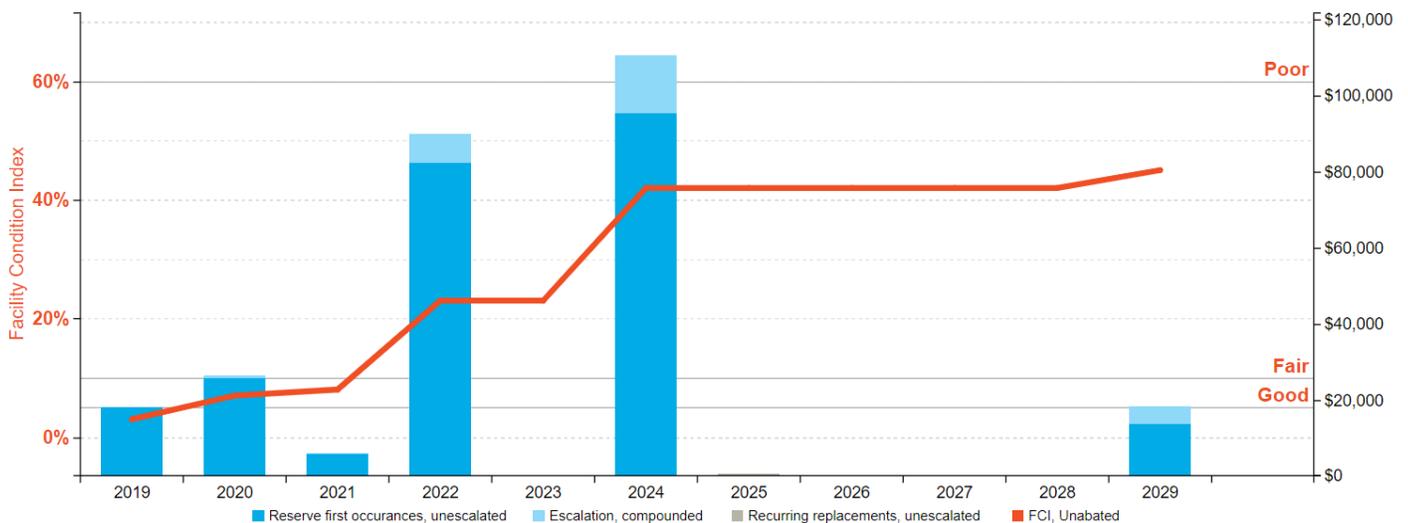
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$9,600	\$66,300	-	\$17,100	\$93,000
Roofing	-	\$10,300	-	-	-	\$10,300
Interiors	-	\$39,100	-	-	\$52,700	\$91,800
Plumbing	\$18,000	-	-	-	\$2,900	\$20,800
HVAC	-	-	-	\$11,400	-	\$11,400
Electrical	-	\$53,800	\$42,100	\$3,400	-	\$99,300
Fire Alarm & Comm	-	\$5,900	-	-	-	\$5,900
Pavement	-	\$3,500	\$2,300	\$500	\$1,100	\$7,400
Site Development	-	-	-	\$3,400	-	\$3,400
TOTALS	\$18,000	\$122,200	\$110,700	\$18,700	\$73,800	\$343,300

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Fire Station #2 - Monument Beach

Replacement Value: \$ 603,379; Inflation rate: 3.0%



14. Fire Station No. 3 – Sagamore



Fire Station #3 - Sagamore: Systems Summary

Address	51 Meetinghouse Lane, Sagamore Beach, Massachusetts 02532	
Constructed/ Renovated	2005	
Building Size	16,320 SF	
Number of Stories	3	
Site Area	1.6 acres (estimated)	
Parking Spaces	28 total spaces all in open lots; two of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks	Good
Façade	Exposed CMU, Curtain wall and Vinyl Siding with aluminum windows	Good
Roof	Primary: Flat construction with single-ply TPO/PVC membrane	Poor
Interiors	Walls: Painted gypsum board & CMU Floors: Carpet, VCT, ceramic tile, stone tile Ceilings: Painted gypsum board, ACT	Fair
Elevators	Hydraulic: one car serving all three floors and the mezzanine entry level	Fair

Fire Station #3 - Sagamore: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers, heat exchanger, air handlers, and condensing units feeding VAVs, cabinets and radiant flooring system. Supplemental components: Electric unit heaters	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers,	Good
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: LED Emergency: Natural gas generator	Good
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with concrete and brick sidewalks and stone curbs	Fair
Site Development	Building-mounted signage, chain-link fencing	Fair
Landscaping and Topography	Limited landscaping features Irrigation not present Cast-in-place retaining walls Low to moderate site slopes throughout	Good
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED Building-mounted: LED	Good
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	Leaking roof, antiquated HVAC control system	

Fire Station #3 - Sagamore: Systems Expenditure Forecast

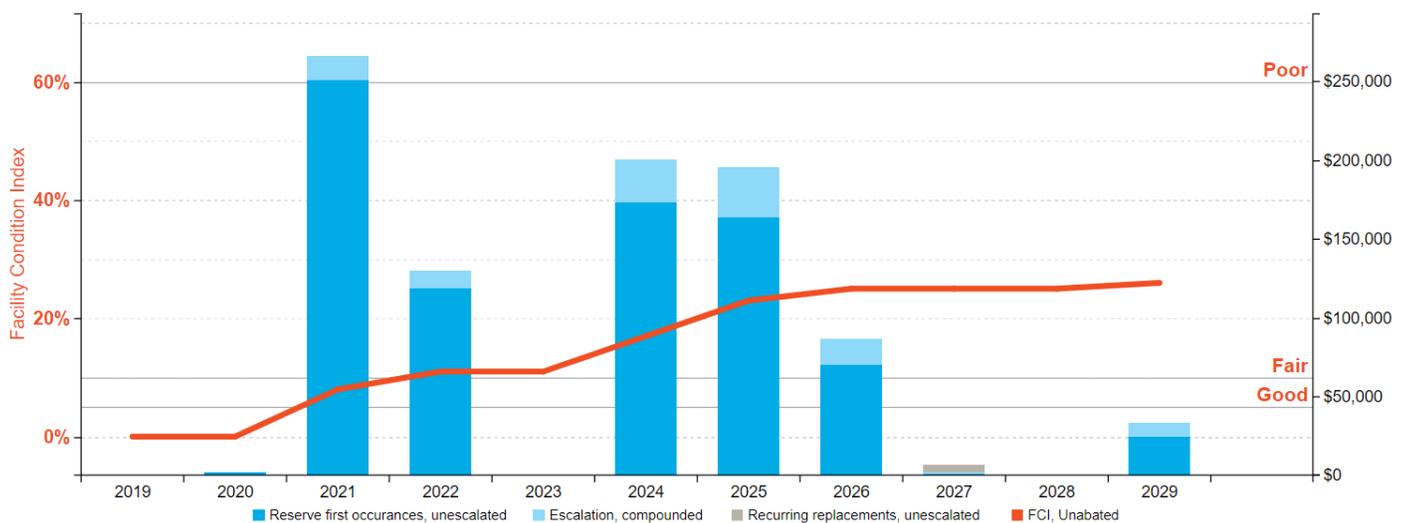
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$6,100	-	\$136,500	\$142,600
Roofing	-	\$162,300	-	-	-	\$162,300
Interiors	-	\$9,500	\$88,300	\$39,400	\$227,400	\$364,600
Elevators	-	-	-	\$12,100	\$136,400	\$148,500
Plumbing	-	\$20,200	-	\$46,700	\$101,000	\$167,900
Fire Suppression	-	-	-	-	\$50,700	\$50,700
HVAC	-	\$181,500	-	\$54,900	\$548,700	\$785,100
Electrical	-	-	-	\$1,600	\$599,800	\$601,400
Fire Alarm & Comm	-	\$18,100	\$94,600	\$77,900	\$175,600	\$366,300
Equipment/Special	-	\$700	\$11,500	\$9,300	\$18,300	\$39,900
Site Development	-	-	-	-	-	-
Pavement	-	\$5,100	-	\$5,900	\$129,600	\$140,600
Site Lighting	-	-	-	\$73,800	-	\$73,800
TOTALS	-	\$397,400	\$200,500	\$321,600	\$2,124,000	\$3,043,700

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

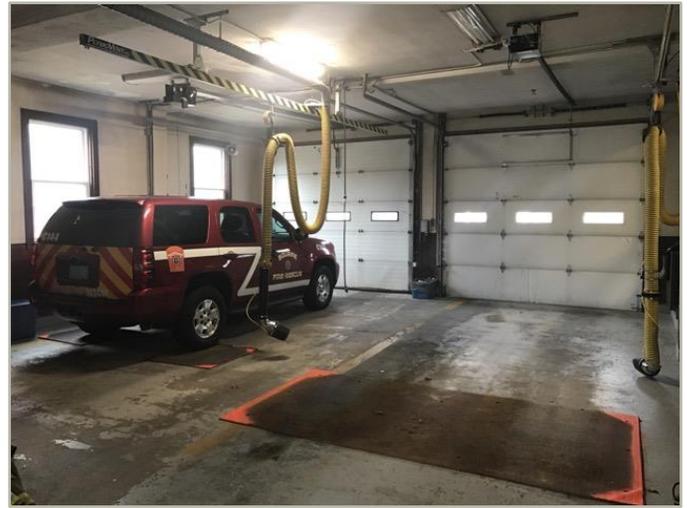
Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Fire Station #3 - Sagamore

Replacement Value: \$ 3,494,928; Inflation rate: 3.0%



15. Fire Station No. 4 – Pocasset



Fire Station #4 - Pocasset: Systems Summary

Address	315 Barlows Landing Road, Pocasset, Massachusetts 02532	
Constructed/ Renovated	1947 / Addition in 1960's	
Building Size	3,596 SF	
Number of Stories	2 and basement	
Site Area	0.25 acres (estimated)	
Parking Spaces	5 total spaces in open lot; none of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab/ with raised floor First floor garage bays raised concrete supported by concrete and steel beams	Poor
Façade	Wood Shakes/Shingles siding with vinyl windows Brick masonry chimney at rooftop	Poor
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board & wood Floors: Paint concrete, wood, VCT Ceilings: Painted gypsum board, ACT	Poor
Elevators	None	--

Fire Station #4 - Pocasset: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic water heater Toilets, and sinks in all restrooms/bathrooms	Poor
HVAC	Central system boiler feeding hydronic baseboard radiators and unit heaters Supplemental components: window A/C units	Poor
Fire Suppression	Hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, T-12, incandescent Emergency: Natural gas generator	Poor
Fire Alarm	Smoke detectors, exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt pavement drives, gravel lot with areas of concrete stairs	Poor
Site Development	Building-mounted signage	Good
Landscaping and Topography	Limited landscaping features Irrigation not present Concrete retaining walls Low to moderate site slopes throughout	Poor
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: Along adjacent public street Building-mounted: LED, incandescent	Failed
Ancillary Structures	None	--
Accessibility	Potential moderate/major issues have been identified at this property and a detailed accessibility study is recommended.	
Key Issues and Findings	Possible structural settlement, evidence of water intrusion in basement, warped and loose wood shingles, deteriorated and missing roof gutters, deteriorated exterior paint, fascia and trim elements, damaged and missing brick masonry at rooftop chimney, rusted entrance doors, antiquated HVAC components and infrastructure, building lacks fire suppression, outdated fire alarm system, damaged exterior light fixture, gravel parking area with potholes, heavy asphalt wear and severe alligator cracking and potholes	

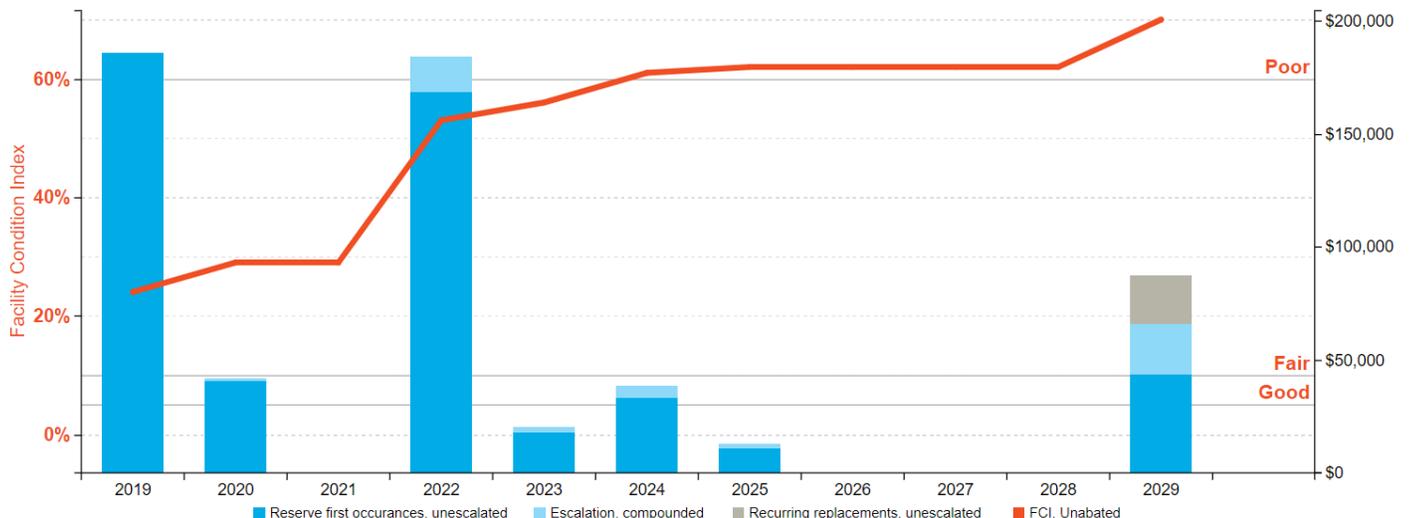
Fire Station #4 - Pocasset: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	\$40,100	-	-	-	-	\$40,100
Facade	\$42,200	-	\$12,500	\$45,200	\$20,000	\$119,900
Roofing	\$1,300	\$8,500	-	-	\$2,300	\$12,100
Interiors	\$25,500	\$10,500	\$8,500	\$20,800	\$35,900	\$101,100
Plumbing	\$10,100	\$48,900	\$3,200	\$17,900	\$27,200	\$107,300
Fire Suppression	-	\$500	\$20,200	-	\$700	\$21,400
HVAC	-	\$56,800	\$4,600	-	\$3,700	\$65,100
Electrical	\$200	\$100,800	-	\$11,700	\$42,000	\$154,700
Fire Alarm & Comm	\$14,400	-	-	-	\$26,000	\$40,400
Equipment/Special	\$1,500	-	\$7,700	\$2,000	\$6,000	\$17,200
Pavement	\$19,800	-	\$2,000	\$2,300	\$5,700	\$29,800
Site Development	\$6,500	-	-	-	-	\$6,500
Follow-up Studies	\$17,000	-	-	-	-	\$17,000
Accessibility	\$7,500	-	-	-	-	\$7,500
TOTALS	\$186,100	\$226,000	\$58,700	\$99,900	\$169,500	\$740,100

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Fire Station #4 - Pocasset

Replacement Value: \$ 777,132; Inflation rate: 3.0%



16. Jonathon Bourne Library



Jonathon Bourne Library: Systems Summary

Address	19 Sandwich Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	1896/1956/2000	
Building Size	17,880 SF	
Number of Stories	2	
Site Area	1.8 acres (estimated)	
Parking Spaces	42 total spaces all in open lots; two of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with wood windows	Fair
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with built-up finish	Fair
Interiors	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: Painted gypsum board, ACT	Fair
Elevators	None	--

Jonathon Bourne Library: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets and sinks in all restrooms	Fair
HVAC	Central system with boilers, chiller, and air handlers feeding fan coil and terminal units	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage	Fair
Landscaping and Topography	Limited landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The carpet is in poor condition and replacement is recommended.	

Jonathon Bourne Library: Systems Expenditure Forecast

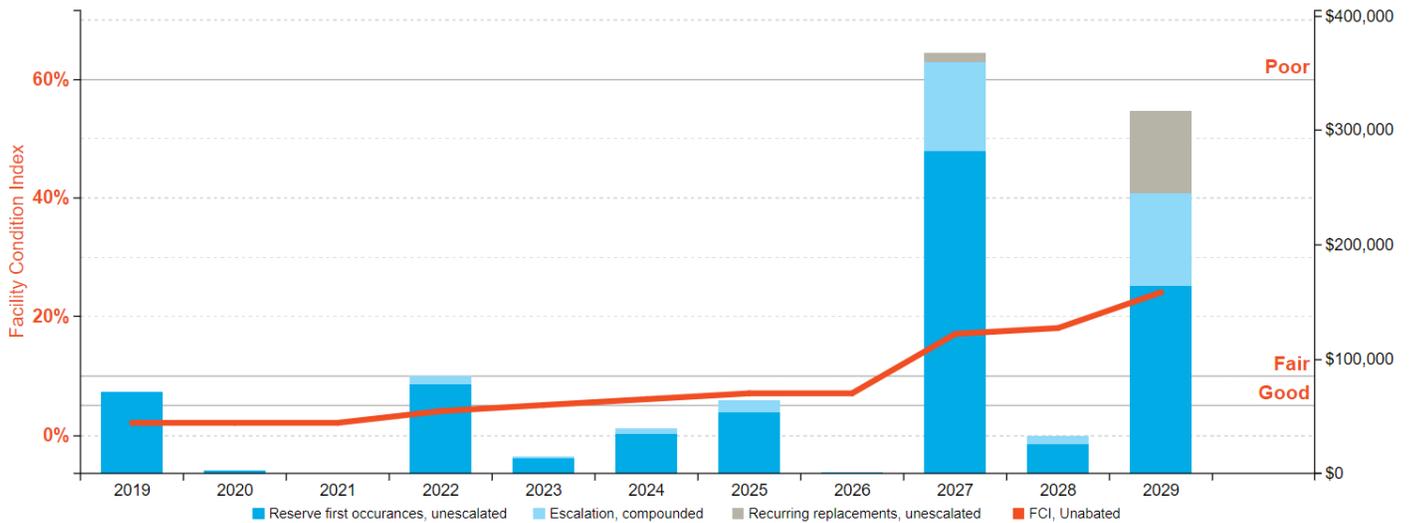
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$121,800	\$121,800
Interiors	\$71,300	-	-	\$158,100	\$212,500	\$441,900
Plumbing	-	\$3,500	-	-	\$23,700	\$27,200
Fire Suppression	-	-	-	\$1,100	\$1,500	\$2,600
HVAC	-	\$2,500	\$54,700	\$318,600	\$132,500	\$508,200
Electrical	-	-	-	\$182,800	\$2,100	\$184,900
Fire Alarm & Comm	-	-	-	\$110,200	-	\$110,200
Pavement	-	\$81,300	-	\$10,700	\$40,900	\$132,900
TOTALS	\$71,300	\$87,300	\$54,700	\$781,500	\$535,000	\$1,529,700

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Jonathan Bourne Library

Replacement Value: \$ 3,747,827; Inflation rate: 3.0%



17. Keith Field – Concessions Building



32. Keith Field – Concessions Building: Systems Summary

Address	861 Sandwich Road, East Falmouth, Massachusetts 02532	
Constructed/ Renovated	1970	
Building Size	500 SF	
Number of Stories	2	
Site Area	Unknown	
Parking Spaces	N/A	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab partial with raised floor	Poor
Façade	Wood siding with wood window coverings	Poor
Roof	Primary: Shed construction with asphalt shingles	Poor
Interiors	Walls: Unfinished Floors: Unfinished Ceilings: Unfinished/exposed	Poor
Elevators	None	--

32. Keith Field – Concessions Building: Systems Summary

Plumbing	Copper supply and PVC waste & venting Electric water heater	Fair
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and CFL Emergency: N/A	Poor
Fire Alarm	Smoke detector	Fair
Equipment/Special	Commercial kitchen equipment	Poor
Site Pavement	None	--
Site Development	None	--
Landscaping and Topography	Cast-in-place retaining wall	Fair
Utilities	Municipal water and sewer Local utility-provided electric	Good
Site Lighting	None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	Rusted entrance doors, leaking roof, aged electrical infrastructure, water damaged wood floors and walls, non-functioning kitchen equipment.	

Keith Field – Concessions Building: Systems Expenditure Forecast

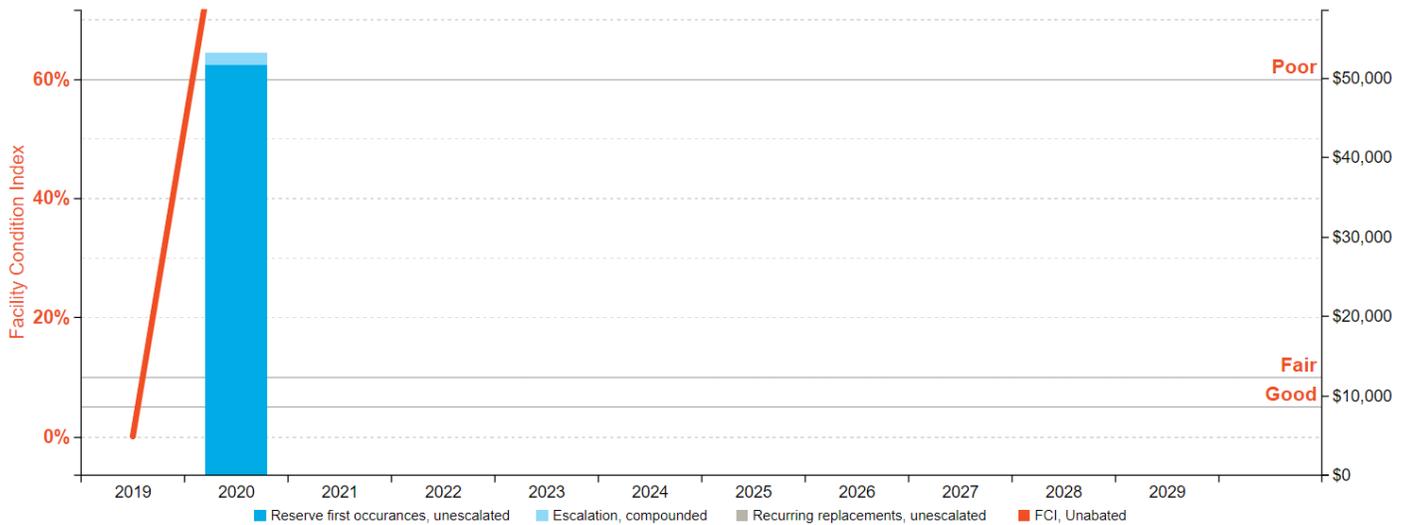
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$22,000	-	-	-	\$22,000
Facade	-	\$16,500	-	-	-	\$16,500
Roofing	-	\$2,000	-	-	-	\$2,000
Plumbing	-	\$1,200	-	-	\$800	\$2,100
HVAC	-	\$500	-	-	-	\$500
Electrical	-	\$10,900	-	-	-	\$10,900
Site Development	-	-	-	-	-	-
TOTALS	-	\$53,100	-	-	\$800	\$54,000

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Keith Field - Concession Bldg

Replacement Value: \$ 51,000; Inflation rate: 3.0%



18. Monument Beach Field – Concession Building



Monument Beach Field – Concession Building: Systems Summary

Address	585 Shore Road, Monument Beach, Massachusetts 02532	
Constructed/ Renovated	1970	
Building Size	500 SF	
Number of Stories	2	
Site Area	18.2 acres (estimated)	
Parking Spaces	Parking is located along the entrance road	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure	Fair
Façade	Wood siding with vinyl windows	Fair
Roof	Primary: Hip construction with asphalt shingles	Fair
Interiors	Walls: Unfinished Floors: Unfinished Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	Copper supply and cast-iron waste & venting Electric water heater	Fair

Monument Beach Field – Concession Building: Systems Summary		
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5 Emergency: None	Fair
Fire Alarm	Smoke detectors	Fair
Equipment/Special	None	--
Site Pavement	None	--
Site Development	Property entrance signage Playgrounds and baseball field with bleachers, fencing, and site lights Limited park benches, picnic tables, trash receptacles	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Block retaining walls Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric	Fair
Site Lighting	Pole-mounted: metal halide Building-mounted: Pedestrian walkway and accent landscaping lighting	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building is unfinished on the inside and there is no kitchen equipment or restrooms. It is used to store athletic equipment and to score the games.	

Monument Beach Field – Concession Building: Systems Expenditure Forecast

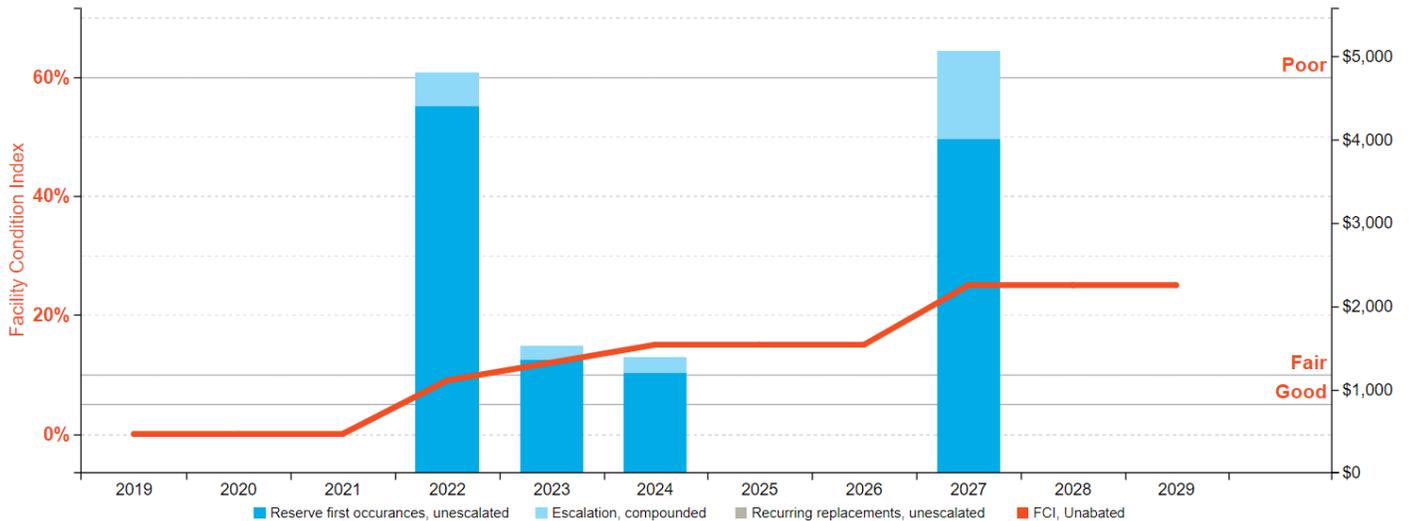
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$1,500	-	-	\$2,400	\$3,900
Facade	-	-	\$1,500	-	\$12,900	\$14,400
Roofing	-	-	-	-	\$5,900	\$5,900
Plumbing	-	\$600	-	-	\$900	\$1,500
Electrical	-	-	\$1,400	\$3,800	\$8,500	\$13,700
Fire Alarm & Comm	-	-	-	\$1,300	-	\$1,300
Equipment/Special	-	\$2,700	-	-	-	\$2,700
Site Development	-	-	-	-	-	-
TOTALS	-	\$4,800	\$2,900	\$5,100	\$30,600	\$43,400

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Monument Beach Field - Concession Bldg

Replacement Value: \$ 51,500; Inflation rate: 3.0%



19. Pocasset Field – Concession Building



Pocasset Field – Concession Bldg.: Systems Summary

Address	315 Barlows Landing Road, Pocasset, Massachusetts 02532	
Constructed/ Renovated	1970	
Building Size	500 SF	
Number of Stories	2	
Site Area	0.2 acres (estimated)	
Parking Spaces	12 total spaces in open lot; none of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and conventional wood frame structure wood-framed roof	Good
Façade	Painted CMU and vinyl siding with aluminum windows	Fair
Roof	Primary: Low slope construction with modified bituminous finish Secondary: Shed construction with asphalt shingles	Fair
Interiors	Walls: Painted wood & CMU, unfinished Floors: Unfinished Ceilings: Painted wood, unfinished/exposed	Poor
Elevators	None	--

Pocasset Field – Concession Bldg.: Systems Summary		
Plumbing	Copper supply and PVC waste & venting Electric domestic water heater No restrooms	Good
HVAC	No heating or cooling provided	--
Fire Suppression	Fire extinguishers, kitchen hood system	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-12 Emergency: None	Poor
Fire Alarm	None	--
Equipment/Special	Commercial kitchen exhaust hood	Fair
Site Pavement	Asphalt lot	Fair
Site Development	Trash receptacles	Fair
Landscaping and Topography	No significant landscaping features Irrigation present at adjacent ball field (not included) No retaining walls Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric	Good
Site Lighting	Pole-mounted: Adjacent ball field (not included) Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Potential moderate/major issues have been identified at this property and a detailed accessibility study is recommended.	
Key Issues and Findings	Deteriorated and stained exterior CMU, wood fascia, and trim elements, rusted entrance doors, building lacks fire suppression, outdated fire alarm system, missing roof gutters and downspouts. Areas not observed- Refer to Section 7 below.	

Pocasset Field – Concession Bldg.: Systems Expenditure Forecast

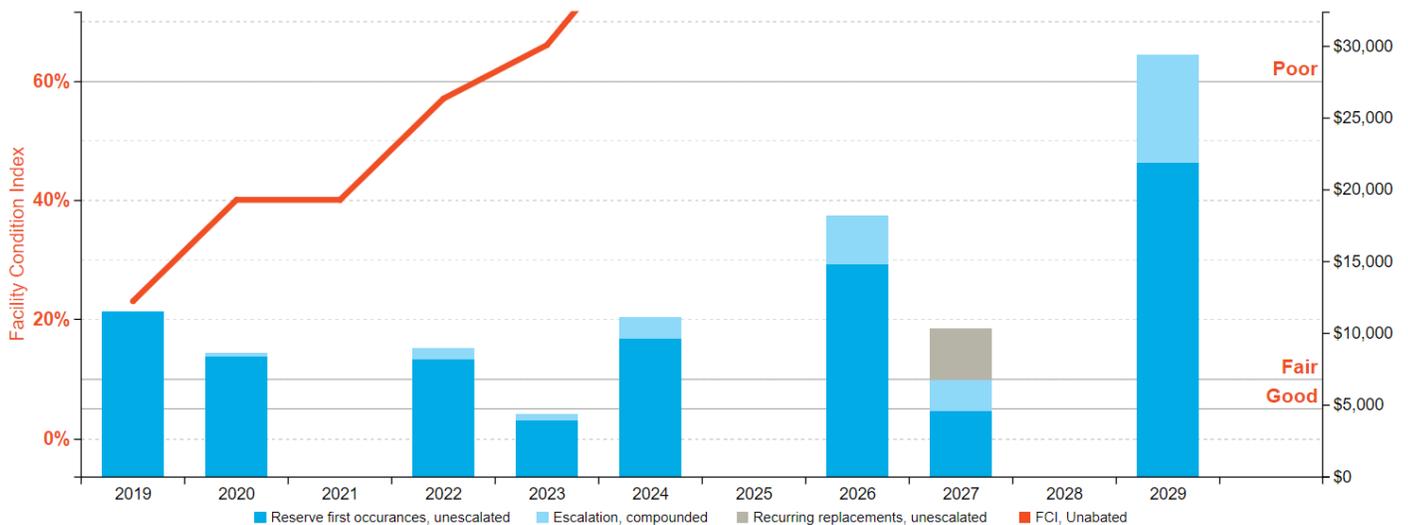
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$5,400	-	\$12,900	\$3,800	\$22,200
Roofing	\$600	-	-	\$5,800	\$1,100	\$7,600
Interiors	-	\$2,300	-	-	\$3,000	\$5,300
Plumbing	\$1,400	-	\$1,400	\$1,700	\$800	\$5,300
Fire Suppression	-	\$500	\$2,800	\$2,000	\$700	\$5,900
HVAC	-	-	\$1,600	-	-	\$1,600
Electrical	-	\$4,100	-	\$14,800	-	\$18,900
Fire Alarm & Comm	\$2,000	-	-	-	\$3,600	\$5,600
Equipment/Special	-	\$1,300	\$9,700	\$16,200	\$2,000	\$29,300
Pavement	-	\$3,900	-	\$4,600	\$52,500	\$61,000
Accessibility	\$7,500	-	-	-	-	\$7,500
TOTALS	\$11,500	\$17,500	\$15,500	\$58,000	\$67,500	\$170,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Pocasset Field - Concession Bldg

Replacement Value: \$ 51,000; Inflation rate: 3.0%



20. Police Station



Police Station: Systems Summary

Address	175 Main Street, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1933	
Building Size	8,188 SF	
Number of Stories	2	
Site Area	0.86 acres (estimated)	
Parking Spaces	40 total spaces all in open lots; one of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with aluminum windows	Fair
Roof	Primary: Flat construction with built-up finish Secondary: Flat construction with single-ply EPDM membrane	Poor
Interiors	Walls: Painted gypsum board & CMU Floors: Carpet, VCT, ceramic tile, unfinished Ceilings: ACT, unfinished/exposed	Poor
Elevators	None	--

Police Station: Systems Summary		
Plumbing	Copper supply and cast-iron waste & venting Gas and electric water heaters Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers, hydronic baseboard radiators Split-system units Supplemental components: ductless split-systems, suspended gas unit heaters	Fair
Fire Suppression	Hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED Emergency: Natural gas generator and ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage,	Fair
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The Police Department is moving to a new facility however the town may use the building for another purpose. The site POC has indicated that a Phase 1 report has been completed and asbestos containing materials including the lobby flooring has been identified. There are missing exit signs and the electrical panels in the garage are at the end of their useful life. The ceiling tiles are stained from water infiltration and the window heads. The slab at the garage is damaged from heavy equipment storage.	

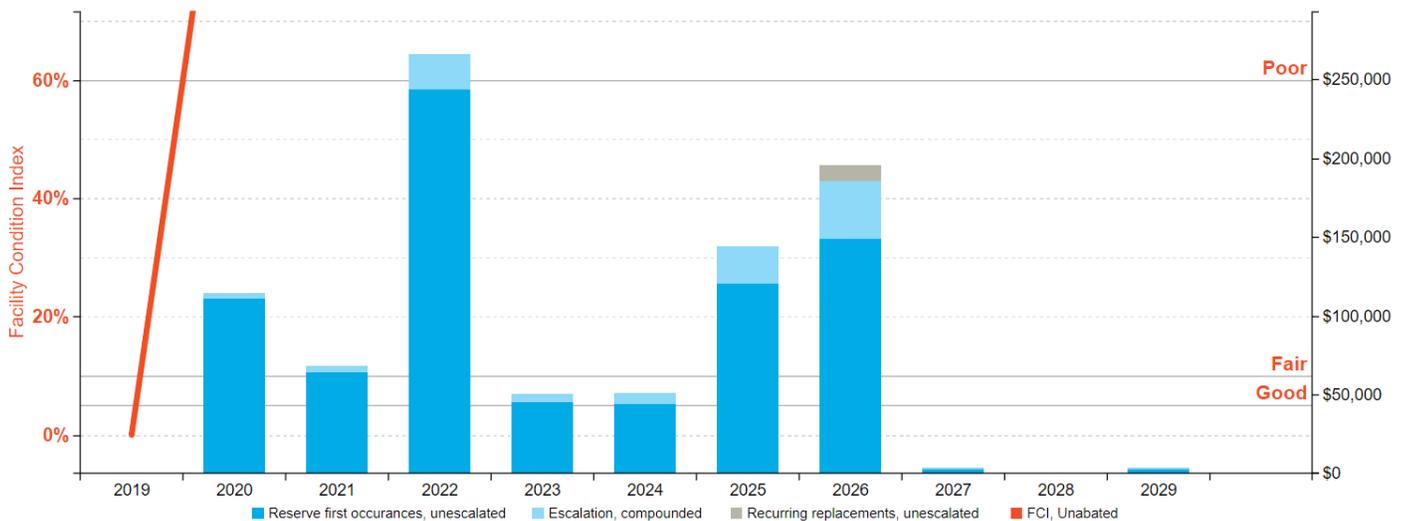
Police Station: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$26,400	-	-	-	\$26,400
Facade	-	\$19,800	-	-	-	\$19,800
Roofing	-	\$46,400	-	\$36,300	-	\$82,700
Interiors	-	\$82,800	\$62,400	-	\$170,500	\$315,700
Plumbing	-	-	-	\$140,900	\$12,300	\$153,300
Fire Suppression	-	-	\$4,200	-	\$5,600	\$9,800
HVAC	-	\$59,300	\$11,800	\$84,800	\$61,200	\$217,000
Electrical	-	\$81,100	\$23,200	-	\$334,500	\$438,800
Fire Alarm & Comm	-	\$35,800	-	-	-	\$35,800
Equipment/Special	-	-	-	\$68,400	-	\$68,400
Pavement	-	\$96,600	-	\$12,400	\$31,100	\$140,200
Site Development	-	-	-	\$3,400	-	\$3,400
TOTALS	-	\$448,200	\$101,600	\$346,200	\$615,200	\$1,511,300

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Police Station - 175 Main St

Replacement Value: \$ 95,060; Inflation rate: 3.0%



21. Town Hall



Town Hall: Systems Summary

Address	24 Perry Avenue, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1914 – Main Section; 1937 – Wings: Rear Addition – 1970; 1999 - Interiors 2018 – New bathrooms	
Building Size	18,752 SF	
Number of Stories	3	
Site Area	4.09 acres (estimated)	
Parking Spaces	Approximately 100 total spaces all in open lots; 4 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Brick with vinyl windows	Fair
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane	Fair
Interiors	Walls: Painted gypsum board Floors: Carpet, VCT, ceramic tile Ceilings: Painted gypsum board, ACT	Good
Elevators	Hydraulic: one car serving all floors	Fair

Town Hall: Systems Summary		
Plumbing	Copper supply and cast-iron waste & venting Gas domestic water heaters Toilets and sinks in all restrooms	Fair
HVAC	Central system with boilers, condensing units and air handlers and hydronic baseboard radiators and cabinets Individual split-systems Supplemental components: ductless split-systems	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main switchboard panel with copper wiring Interior Lighting: T-5, LED Emergency: Natural gas generator and UPS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage Limited park benches, picnic tables, trash receptacles	Fair
Landscaping and Topography	Moderate landscaping features Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The newly renovated restrooms on the second floor are not in use because the plumbing leaks. Repairs are in progress. There is range of mechanical equipment of various ages and condition. Fire alarm system is outdated, and the fire alarm panel is not working correctly.	

Town Hall: Systems Expenditure Forecast

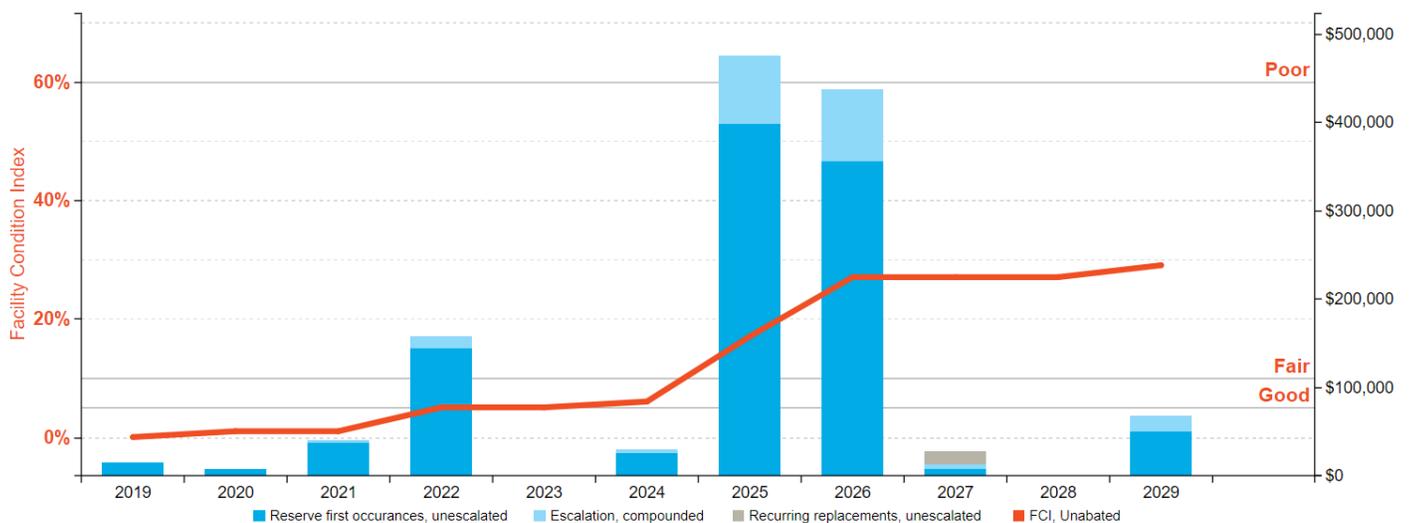
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$4,000	\$41,300	\$45,300
Roofing	-	-	-	\$87,900	-	\$87,900
Interiors	-	-	-	\$165,300	\$298,000	\$463,300
Elevators	-	\$76,500	-	\$11,100	-	\$87,600
Plumbing	-	-	-	\$2,300	\$9,800	\$12,100
Fire Suppression	-	-	\$3,500	-	\$159,600	\$163,100
HVAC	-	\$67,600	\$25,700	\$448,600	\$110,400	\$652,300
Electrical	-	\$4,900	-	\$269,500	\$676,600	\$951,000
Fire Alarm & Comm	\$15,000	\$39,800	-	-	\$23,400	\$78,200
Pavement	-	\$16,000	-	\$18,500	\$203,800	\$238,300
Site Development	-	-	-	-	\$4,000	\$4,000
TOTALS	\$15,000	\$204,800	\$29,200	\$1,007,200	\$1,526,900	\$2,783,100

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Town Hall

Replacement Value: \$ 4,267,205; Inflation rate: 3.0%



22. Town Hall - DNR Garage



Town Hall - DNR Garage: Systems Summary

Address	24 Perry Avenue, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1937 / 1970 / 2000	
Building Size	3,000 SF	
Number of Stories	1	
Site Area	Located on Town Hall Site	
Parking Spaces	Shared parking lot with Town Hall site	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab/ with raised floor Wood-framed roofs	Fair
Façade	Wood siding with wood windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board, unfinished Floors: Unfinished Ceilings: Painted gypsum board, Unfinished/exposed	Fair
Elevators	None	--

Town Hall - DNR Garage: Systems Summary		
Plumbing	None	--
HVAC	Central system with oil fired furnace Hydronic unit heaters	Poor
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, Emergency: none	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Shared lot with Town Hall	Fair
Site Development	None	--
Landscaping and Topography	No significant landscaping features Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED, HPS	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	There are no restrooms in the garage. The furnace is at the end of its life and replacement is recommended. There are no lighted exit signs over the exit doors.	

Town Hall - DNR Garage: Systems Expenditure Forecast

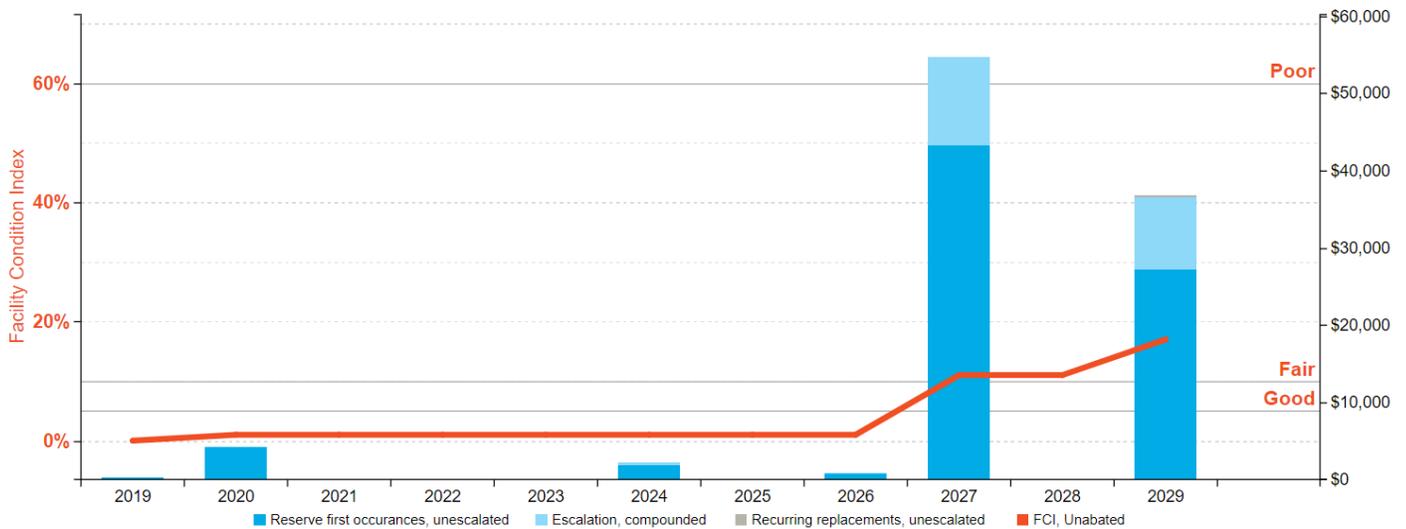
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$24,400	\$24,500	\$48,900
Roofing	-	-	-	\$32,000	-	\$32,000
Interiors	-	-	\$2,200	-	\$2,900	\$5,100
HVAC	-	\$4,300	-	\$5,300	-	\$9,600
Electrical	\$200	-	-	\$23,100	\$70,600	\$93,900
Fire Alarm & Comm	-	-	-	\$7,600	-	\$7,600
TOTALS	\$200	\$4,300	\$2,200	\$92,400	\$98,000	\$197,100

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

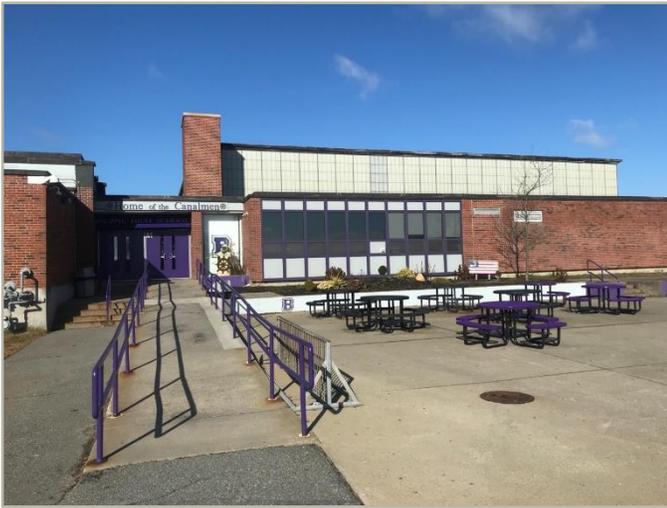
Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Bourne Town Hall - DNR Garage

Replacement Value: \$ 564,660; Inflation rate: 3.0%



23. BPS – Bourne High School



BPS – Bourne High School: Systems Summary

Address	75 Waterhouse Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	1963 / Addition in 1990	
Building Size	159,517 SF	
Number of Stories	2, with portion basement and crawlspace	
Site Area	12.9 acres (estimated)	
Parking Spaces	292 total spaces all in open lots; 19 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks	Good
Façade	Brick with aluminum windows	Fair
Roof	Primary: Flat construction with built-up finish Secondary: Flat construction with single-ply EPDM membrane	Poor
Interiors	Walls: Painted gypsum board & CMU, wood paneling Floors: Terrazzo, Carpet, VCT, ceramic tile, quarry tile, rubber tile, maple sports floor, painted concrete Ceilings: Painted gypsum board, ACT, hard ceiling tiles	Fair
Elevators	Hydraulic: 1 car serving 1 st and 2 nd floors; 1 car serving 1 st and lower level floors	Poor

BPS – Bourne High School: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic boiler and indirect water heaters with storage tanks Toilets, urinals, and sinks in all restrooms	Poor
HVAC	Central system with boilers and air handlers feeding unit ventilators, baseboard radiators and cabinet units Individual package and split-systems Supplemental components: ductless split-systems	Poor
Fire Suppression	Limited wet-pipe sprinkler system for stage; hydrants, fire extinguishers, kitchen hood system	Fair
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: LED, limited areas with T-12 Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Site Pavement	Asphalt lots and asphalt and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage Limited park benches, picnic tables, trash receptacles	Fair
Landscaping and Topography	Moderate landscaping features Irrigation not present CMU retaining walls Severe site slopes along southwest boundary	Fair
Utilities	Municipal water and on-site septic tank. A wastewater plant serves the school and is located adjacent to middle school Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED Building-mounted: LED	Good
Ancillary Structures	Pre-fabricated storage sheds	Good
Accessibility	Potential moderate/major issues have been identified at this property and a detailed accessibility study is recommended.	

BPS – Bourne High School: Systems Summary

Key Issues and Findings

Leaking roof, exterior wall deteriorated caulking, water damaged interior ceiling finishes, suspect asbestos containing pipe covering and hard 12" ceiling tiles, moderate asphalt pavement cracking, worn carpeting in theatre, failed eye wash shower stations in science/lab classrooms, corrosion and leaking supply piping, inadequate ventilation, antiquated HVAC components and infrastructure, building lacks fire suppression (existing sprinklers provided for stage area only), antiquated elevator equipment, some antiquated electrical components

BPS – Bourne High School: Systems Expenditure Forecast

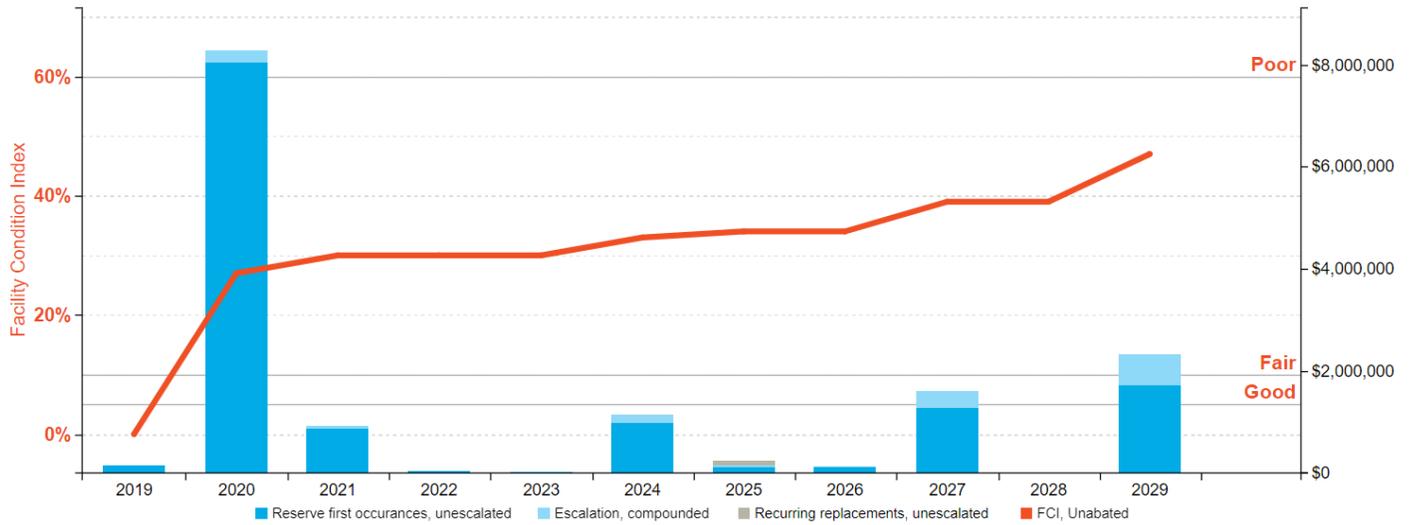
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	\$55,700	-	\$5,200	\$65,000	\$125,900
Facade	\$14,500	\$19,800	-	\$168,500	\$650,400	\$853,200
Roofing	-	\$1,585,200	-	-	\$58,700	\$1,643,900
Interiors	-	\$166,900	\$206,100	\$1,176,600	\$1,937,300	\$3,486,800
Elevators	-	\$118,500	\$10,400	\$11,400	\$24,000	\$164,300
Plumbing	\$73,000	\$2,467,200	\$124,900	\$93,800	\$198,200	\$2,957,100
Fire Suppression	-	\$1,139,000	\$4,700	\$19,600	\$6,400	\$1,169,700
HVAC	\$34,900	\$3,569,900	-	\$324,900	\$1,704,400	\$5,634,100
Electrical	\$6,400	\$33,400	-	-	\$6,625,000	\$6,664,800
Fire Alarm & Comm	-	-	\$757,100	\$1,010,400	\$27,100	\$1,794,500
Equipment/Special	-	-	\$59,200	\$732,900	\$460,900	\$1,253,100
Site Development	-	-	-	\$14,800	\$176,500	\$191,200
Site Lighting	-	-	-	-	\$224,700	\$224,700
Pavement	-	\$89,300	-	\$756,200	\$686,200	\$1,531,700
Follow-up Studies	\$10,500	-	-	-	-	\$10,500
Accessibility	\$7,500	-	-	-	-	\$7,500
TOTALS	\$146,800	\$9,244,900	\$1,162,400	\$4,314,300	\$12,844,800	\$27,713,000

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Bourne High School

Replacement Value: \$ 31,585,961; Inflation rate: 3.0%



24. BPS – Bourne Intermediate School



BPS - Bourne Intermediate School: Systems Summary

Address	70 Trowbridge Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	2019	
Building Size	72,680 SF	
Number of Stories	2	
Site Area	7.5 acres (estimated)	
Parking Spaces	328 total spaces all in open lots; six of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks	Excellent
Façade	Brick with aluminum windows	Excellent
Roof	Primary: Flat construction with single-ply TPO/PVC membrane	Excellent
Interiors	Walls: Painted gypsum board & CMU, acoustical tile Floors: Carpet, VCT, epoxy coating, wood strip, Unfinished Ceilings: Painted gypsum board, ACT, Unfinished/exposed	Excellent
Elevators	Hydraulic: One cars serving all two floors	Excellent

BPS - Bourne Intermediate School: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic boilers with storage tanks Toilets, urinals, and sinks in all restrooms	Excellent
HVAC	Central system with boilers, chillers, air handlers, feeding VAV, fan coil, hydronic baseboard radiators and cabinets Individual package units Supplemental components: ductless split-systems, make-up air unit	Excellent
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers, hose cabinets, kitchen hood system	Excellent
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: T-8, LED, CFL, Emergency: Diesel generator	Excellent
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, and exit signs	Excellent
Equipment/Special	Commercial kitchen equipment	Excellent
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Excellent
Site Development	Building-mounted signage, metal tube fencing, Playgrounds and sports courts Limited park benches, picnic tables, trash receptacles	Excellent
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Excellent
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Excellent
Site Lighting	Pole-mounted: LED, Building-mounted: LED	Excellent
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	None	

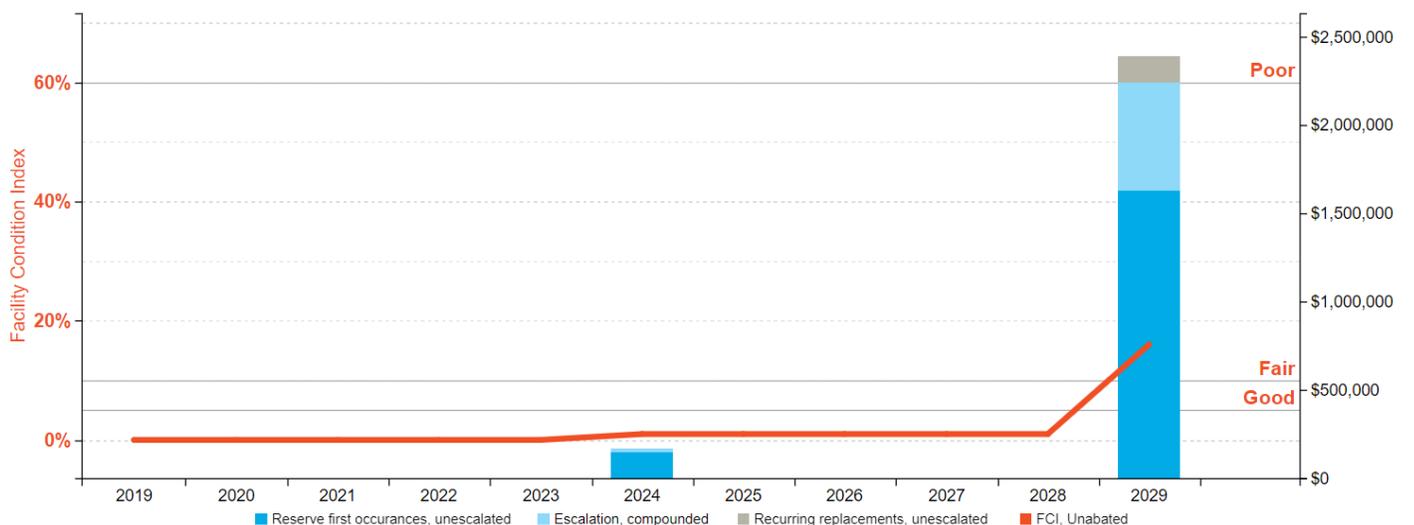
Bourne Intermediate School: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	-	-
Roofing	-	-	-	-	\$1,682,600	\$1,682,600
Interiors	-	-	-	\$2,091,000	\$3,637,700	\$5,728,700
Elevators	-	-	-	-	\$14,000	\$14,000
Plumbing	-	-	-	-	\$61,500	\$61,500
Fire Suppression	-	-	-	\$400	\$11,400	\$11,800
HVAC	-	-	-	-	\$1,056,700	\$1,056,700
Electrical	-	-	-	\$5,300	\$9,200	\$14,500
Fire Alarm & Comm	-	-	-	-	\$1,117,100	\$1,117,100
Equipment/Special	-	-	-	\$97,400	\$593,100	\$690,500
Site Development	-	-	\$1,700	\$2,000	\$290,500	\$294,200
Site Lighting	-	-	-	-	\$274,500	\$274,500
Pavement	-	-	\$169,500	\$196,500	\$492,000	\$858,100
TOTALS	-	-	\$171,200	\$2,392,600	\$9,240,300	\$11,804,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Bourne Intermediate School

Replacement Value: \$ 14,683,540; Inflation rate: 3.0%



25. BPS – Bourne Middle School



BPS – Bourne Middle School: Systems Summary

Address	77 Waterhouse Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	2000	
Building Size	156,574 SF	
Number of Stories	2	
Site Area	7.4 acres (estimated)	
Parking Spaces	147 total spaces all in open lots; 10 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Cast-in-place concrete frame with metal decks	Good
Façade	Brick with aluminum windows	Fair
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with built-up finish	Poor
Interiors	Walls: Painted CMU Floors: Carpet, VCT, ceramic tile, epoxy coating, maple sports floor Ceilings: ACT	Fair
Elevators	Hydraulic: 1 car serving all 2 floors	Fair

BPS – Bourne Middle School: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic boilers with storage tanks Toilets, urinals, and sinks in all restrooms	Fair
HVAC	Central system with boilers, chiller, and air handlers feeding VAV's and cabinet units Supplemental components: ductless split-systems and suspended gas unit heaters	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers, kitchen hood system	Good
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: LED Emergency: Natural gas generator	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Good
Equipment/Special	Commercial kitchen equipment, Gymnasium equipment, rooftop solar panels	Fair
Site Pavement	Asphalt lots and concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Property entrance signage, chain-link and vinyl fencing Sports courts Limited park benches, picnic tables, trash receptacles	Fair
Landscaping and Topography	Limited landscaping features Irrigation not present CMU retaining walls Low to moderate site slopes throughout	Fair
Utilities	Municipal water and on-site septic tank. A wastewater plant serves the school and is located adjacent to middle school Local utility-provided electric and natural gas There is reportedly one underground fuel oil tank which is no longer used and is located on the east side of school.	Good
Site Lighting	Pole-mounted: LED Building-mounted: LED	Fair
Ancillary Structures	Pre-fabricated storage sheds	Good
Accessibility	Presently it does not appear an accessibility study is needed for this property.	

BPS – Bourne Middle School: Systems Summary

Key Issues and Findings

Leaking roof, exterior wall deteriorated caulking, parking lot and drive lane asphalt pavement cracking, severe sports court asphalt pavement cracking, some water damaged and stained ceiling tiles, corrosion of pad-mounted ductless split system

BPS – Bourne Middle School: Systems Expenditure Forecast

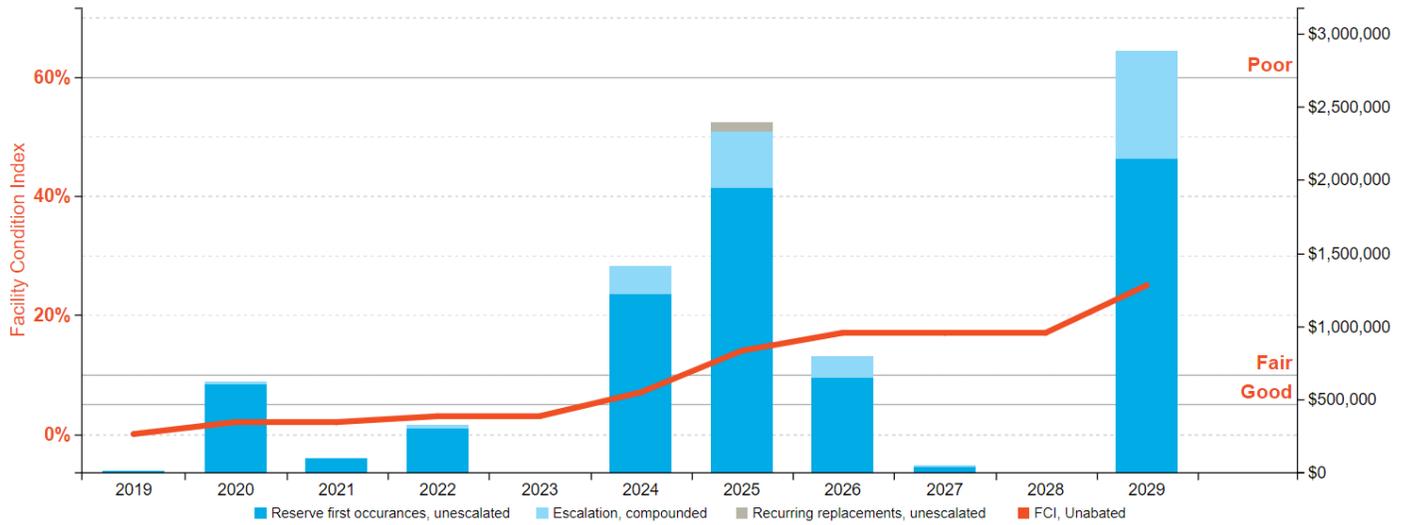
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Structure	-	-	-	-	-	-
Facade	-	\$14,200	-	\$296,400	\$99,000	\$409,600
Roofing	-	\$547,700	-	-	-	\$547,700
Interiors	-	\$27,800	\$96,500	\$2,531,900	\$874,300	\$3,530,600
Elevators	-	\$5,500	\$10,400	-	\$92,400	\$108,300
Plumbing	\$7,100	\$10,100	-	\$59,600	\$234,400	\$311,100
Fire Suppression	-	-	\$12,700	\$280,400	\$19,100	\$312,200
HVAC	\$4,800	\$309,500	\$1,164,100	\$1,421,000	\$2,414,100	\$5,313,400
Electrical	-	\$3,200	-	\$234,600	\$2,463,000	\$2,700,800
Fire Alarm & Comm	-	-	-	\$1,052,100	\$1,090,600	\$2,142,700
Equipment/Special	-	-	\$117,900	\$147,100	\$598,300	\$863,300
Site Development	-	\$77,200	\$16,200	\$28,200	\$190,300	\$312,000
Pavement	-	\$61,100	-	\$70,800	\$835,300	\$967,200
Site Lighting	-	-	-	-	\$149,600	\$149,600
TOTALS	\$11,900	\$1,056,300	\$1,417,800	\$6,122,100	\$9,060,400	\$17,668,500

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Bourne Middle School

Replacement Value: \$ 33,804,327; Inflation rate: 3.0%



26. BPS – Bournedale Elementary School



BPS - Bournedale Elementary School: Systems Summary

Address	14 Ernest Valeri Drive, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	2007	
Building Size	68,343 SF	
Number of Stories	2	
Site Area	10.5 acres (estimated)	
Parking Spaces	228 total spaces all in open lots; five of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Steel frame with concrete-topped metal decks	Good
Façade	Brick with aluminum windows	Good
Roof	Primary: Flat construction with single-ply TPO/PVC membrane Secondary: Flat construction with single-ply EPDM membrane	Fair
Interiors	Walls: Painted gypsum board & CMU, ceramic tile Floors: Carpet, VCT, ceramic tile, quarry tile, rubber tile, linoleum, unfinished Ceilings: Painted gypsum board, ACT Unfinished/exposed	Good
Elevators	Hydraulic: One cars serving all two floors	Good

BPS - Bournedale Elementary School: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic boilers with storage tanks Toilets, urinals, and sinks in all restrooms	Good
HVAC	Central system with boilers, chillers, feeding fan coil, hydronic baseboard radiators and cabinets Individual package units Supplemental components: ductless split-systems make-up air unit	Fair
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers, hose cabinets, kitchen hood system	Good
Electrical	Source & Distribution: Main switchboard with copper wiring Interior Lighting: T-8, LED, CFL, Emergency: Diesel generator	Good
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, , and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Good
Site Pavement	Asphalt lots with areas of concrete and concrete sidewalks, curbs, ramps, and stairs	Good
Site Development	Building-mounted signage, chain link fencing Playgrounds, sports courts, and site lights Limited park benches, picnic tables, trash receptacles	Good
Landscaping and Topography	Moderate landscaping features Irrigation not present Low to moderate site slopes throughout	Good
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Good
Site Lighting	Pole-mounted: LED Building-mounted: LED,	Fair
Ancillary Structures	Pre-fabricated storage sheds	Good
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	None	

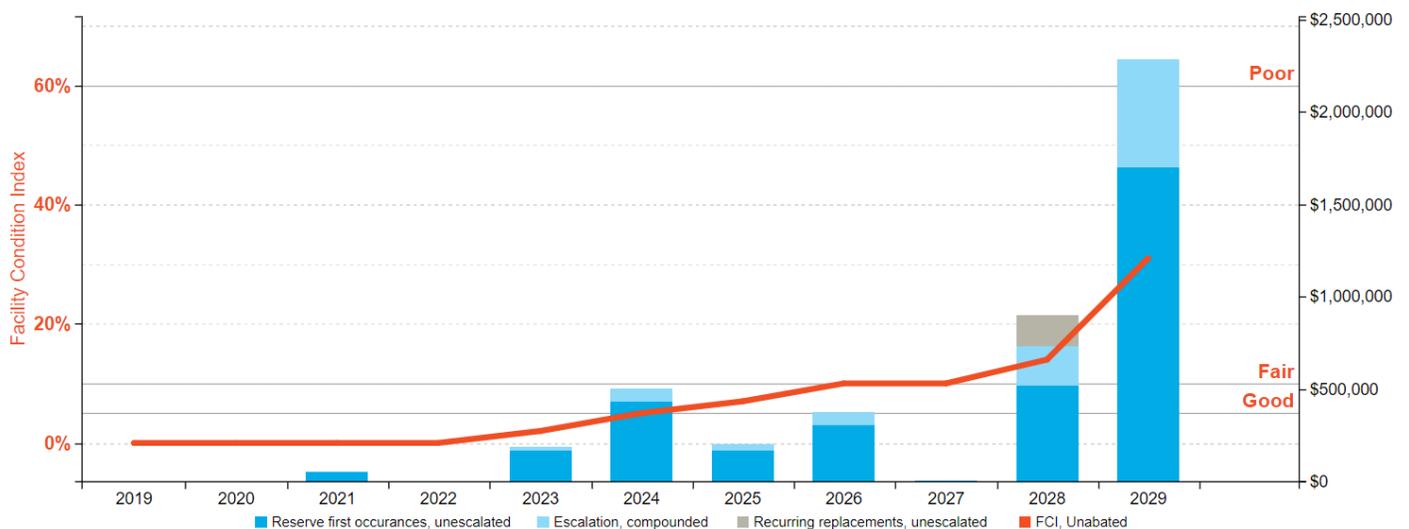
BPS - Bournedale Elementary School: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	-	\$480,100	\$480,100
Roofing	-	-	-	\$1,152,700	\$22,600	\$1,175,300
Interiors	-	-	\$10,100	\$723,000	\$1,079,800	\$1,812,900
Elevators	-	-	-	\$3,700	\$113,300	\$117,000
Plumbing	-	-	\$3,000	-	\$341,200	\$344,200
Fire Suppression	-	-	-	\$400	\$191,600	\$192,000
HVAC	-	-	\$48,100	\$963,200	\$1,072,100	\$2,083,400
Electrical	-	-	-	\$13,800	\$1,149,100	\$1,163,000
Fire Alarm & Comm	-	-	\$413,600	\$183,700	\$644,300	\$1,241,600
Equipment/Special	-	-	\$27,200	\$252,100	\$209,500	\$488,800
Site Development	-	\$56,400	-	\$130,400	\$58,900	\$245,600
Pavement	-	-	\$189,900	\$220,200	\$2,628,500	\$3,038,700
Site Lighting	-	-	-	\$129,000	-	\$129,000
TOTALS	-	\$56,400	\$691,900	\$3,772,200	\$7,991,000	\$12,511,600

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Bournedale Elementary

Replacement Value: \$ 13,946,409; Inflation rate: 3.0%



27. BPS – School Administrative Bldg



BPS - School Administrative Bldg.: Systems Summary

Address	36 Sandwich Road, Bourne, Massachusetts 02532
Constructed/ Renovated	1920
Building Size	3,835 SF
Number of Stories	2
Site Area	.022 acres (estimated)
Parking Spaces	18 total spaces all in open lots; two of which are accessible

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Good
Façade	Wood siding with vinyl windows	--
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board & wallpaper, Unfinished Floors: Carpet, ceramic tile, Unfinished Ceilings: Painted gypsum board, ACT Unfinished/exposed	Fair
Elevators	None	--

BPS - School Administrative Bldg.: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets, and sinks in all restrooms	Fair
HVAC	Central system with boilers, feeding hydronic baseboard radiators Individual package window units	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, LED, CFL Emergency: None	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Asphalt lot	Fair
Site Development	Property entrance signage	Good
Landscaping and Topography	Limited landscaping features Irrigation not present Severe site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	None	

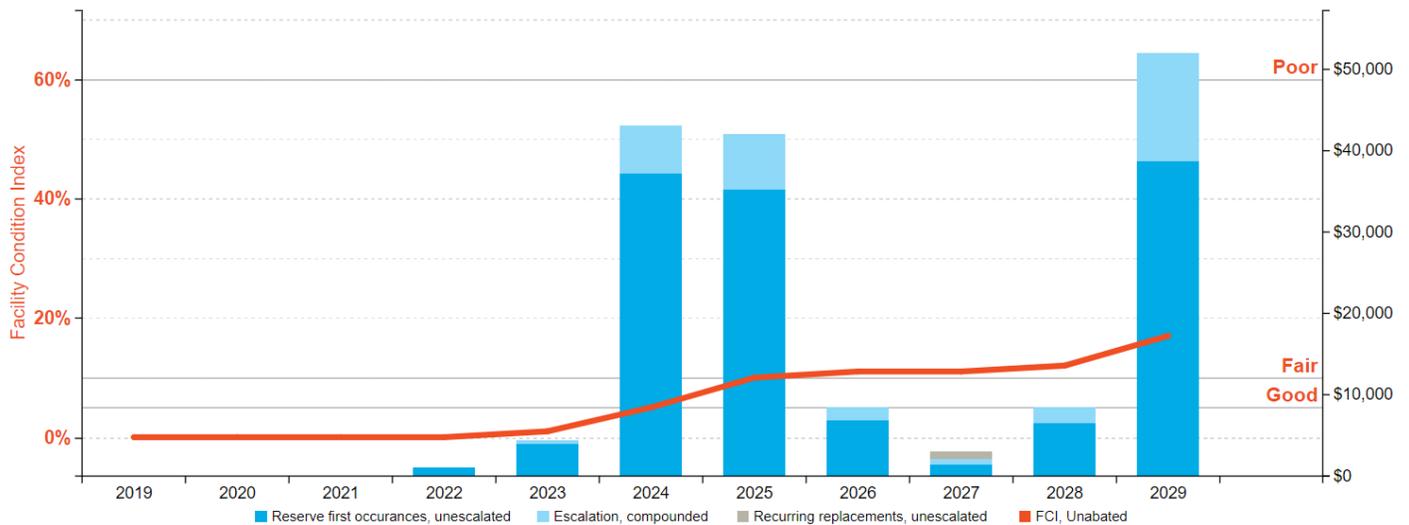
BPS - School Administrative Bldg.: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$9,900	\$28,700	\$42,500	\$81,100
Roofing	-	-	-	-	\$59,100	\$59,100
Interiors	-	-	\$17,100	\$41,100	\$96,400	\$154,600
Plumbing	-	-	\$7,900	\$4,500	\$76,200	\$88,500
Fire Suppression	-	-	\$300	-	\$500	\$800
HVAC	-	-	\$10,200	-	\$40,600	\$50,800
Electrical	-	-	\$2,100	-	\$53,500	\$55,500
Fire Alarm & Comm	-	-	-	\$38,500	-	\$38,500
Equipment/Special	-	-	-	-	\$5,100	\$5,100
Pavement	-	\$1,100	-	\$1,300	\$14,800	\$17,200
TOTALS	-	\$1,100	\$47,500	\$114,100	\$388,700	\$551,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - School Administrative Bldg

Replacement Value: \$ 931,828; Inflation rate: 3.0%



28. BPS – School Wastewater Plant



BPS – School Wastewater Plant: Systems Summary

Address	77 Waterhouse Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	2000	
Building Size	4,180 SF	
Number of Stories	1	
Site Area	0.25 acres (estimated)	
Parking Spaces	6 total spaces in open lot; 2 of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and concrete-framed roof	Good
Façade	Split face concrete masonry units (CMU) with no windows	Fair
Roof	Primary: Flat construction with built-up membrane topped with stone ballast	Fair
Interiors	Walls: Ceramic tile wall in restroom; vast majority unfinished Floors: Sheet vinyl, ceramic tile; vast majority unfinished Ceilings: ACT, vast majority unfinished/exposed	Fair
Elevators	None	--

BPS – School Wastewater Plant: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas domestic water heater Toilet and sink in restroom	Fair
HVAC	Ceiling suspended gas furnace Supplemental components: wall mounted electric heater in restroom	Poor
Fire Suppression	Wet-pipe sprinkler system; hydrants, fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, halogen Emergency: Natural gas generator	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	Processing equipment for treatment plant	Poor
Site Pavement	Asphalt lots with areas of asphalt sidewalks and granite curbs	Fair
Site Development	Trash receptacles	Fair
Landscaping and Topography	Limited landscaping features Irrigation not present No retaining walls Low to moderate site slopes around building	Fair
Utilities	Municipal water and on-site septic tanks Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: CFL	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	Efflorescence on interior and exterior masonry walls, deteriorated caulking, worn seal coat and minor asphalt pavement cracking, isolated damaged curbing, corrosion of gas furnace. The building has some process equipment and tanks that exhibit significant areas of corrosion. This work is not part of the overall scope and therefore, no costs are included. This work is considered part of the property's routine maintenance program.	

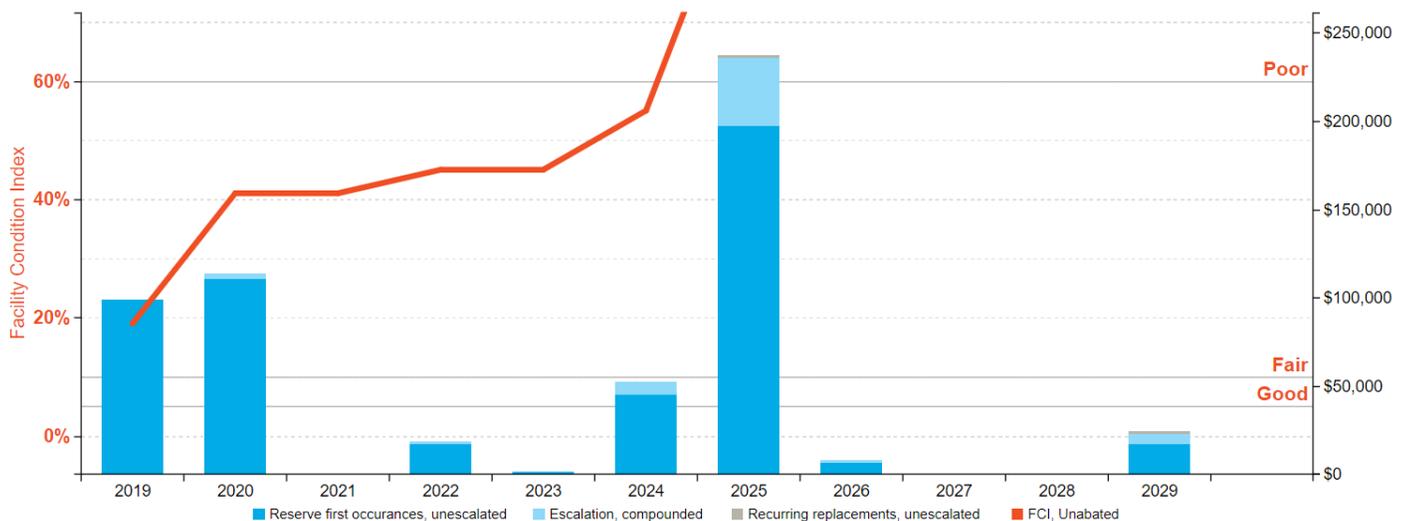
BPS – School Wastewater Plant: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	\$2,300	-	-	\$3,000	\$5,300
Roofing	-	-	-	\$70,200	-	\$70,200
Interiors	-	\$1,500	-	\$400	\$2,400	\$4,300
Plumbing	-	-	-	-	\$13,600	\$13,600
Fire Suppression	-	\$800	-	\$7,500	\$10,200	\$18,500
HVAC	-	\$109,000	\$13,600	\$3,600	\$32,700	\$158,900
Electrical	-	\$1,200	\$40,300	\$161,600	\$39,000	\$242,000
Fire Alarm & Comm	-	\$15,500	-	\$22,500	\$24,100	\$62,000
Equipment/Special	\$1,500	-	-	\$2,000	\$2,700	\$6,200
Pavement	\$400	\$1,900	-	\$2,300	\$28,300	\$32,900
Site Lighting	-	-	-	-	\$18,700	\$18,700
Follow-up Studies	\$97,000	-	-	-	-	\$97,000
TOTALS	\$98,900	\$132,200	\$53,900	\$270,100	\$174,700	\$729,600

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - School Wastewater Plant

Replacement Value: \$ 518,613; Inflation rate: 3.0%



29. BPS – Storage Garage



BPS - Storage Garage: Systems Summary

Address	70 Trowbridge Road, Bourne, Massachusetts 02532	
Constructed/ Renovated	1970	
Building Size	1,248 SF	
Number of Stories	1	
Site Area	0.15 acres (estimated)	
Parking Spaces	Four total spaces all in open lots; zero of which are accessible	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Good
Façade	Wood siding with wood windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Excellent
Interiors	Walls: Painted gypsum board, Unfinished Floors: Unfinished Ceilings: painted/exposed	Fair
Elevators	None	--

BPS - Storage Garage: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting No hot water Toilets, and sinks in all restrooms	Fair
HVAC	Individual oil fired furnace	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8, Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt lot	Excellent
Site Development	None	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	--
Utilities	Municipal water and sewer Local utility-provided electric oil tank	Fair
Site Lighting	Pole-mounted: none Building-mounted: none	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	None	

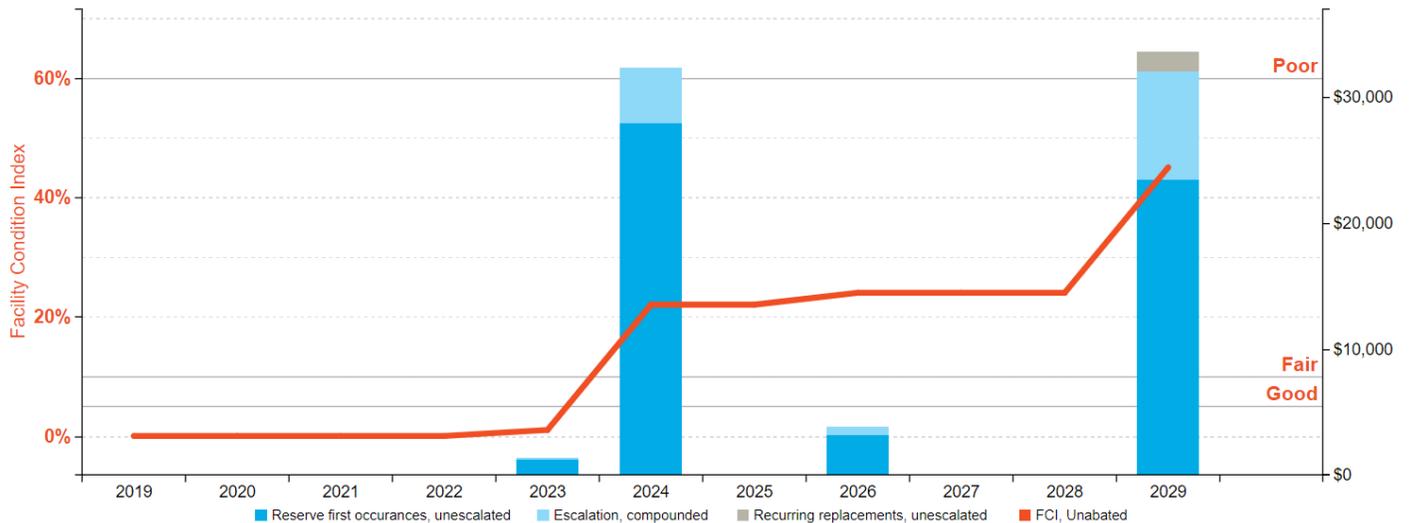
BPS - Storage Garage: Systems Expenditure Forecast						
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$21,800	-	\$18,800	\$40,600
Roofing	-	-	-	-	\$12,700	\$12,700
Interiors	-	-	\$8,700	\$900	\$11,700	\$21,400
Plumbing	-	-	-	\$4,600	-	\$4,600
Fire Suppression	-	-	\$1,400	-	\$1,800	\$3,200
HVAC	-	-	-	\$14,400	-	\$14,400
Electrical	-	-	-	\$15,400	-	\$15,400
Pavement	-	-	\$1,800	\$2,100	\$5,200	\$9,100
TOTALS	-	-	\$33,700	\$37,400	\$50,200	\$121,400

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Storage Garage

Replacement Value: \$ 154,839; Inflation rate: 3.0%



30. BPS – Storage Maintenance



BPS - Storage Maintenance: Systems Summary

Address	70 Trowbridge Road, Bourne, Massachusetts 02532
Constructed/ Renovated	Unknown
Building Size	2,000 SF
Number of Stories	2
Site Area	0.18 acres (estimated)
Parking Spaces	No designated spaces

<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure on concrete slab	Good
Façade	Wood siding with wood windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Painted gypsum board, Unfinished Floors: Carpet, VCT, Unfinished Ceilings: Painted gypsum board, Unfinished/exposed	Fair
Elevators	None	--

BPS - Storage Maintenance: Systems Summary		
Plumbing	Water has been shut off to the building and plumbing has been abandoned in place	--
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-8 halogen, incandescent Emergency: None	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt driveway	Fair
Site Development	None	--
Landscaping and Topography	Limited landscaping features Irrigation not present Severe site slopes throughout	Fair
Utilities	Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: LED	Fair
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	None	

BPS - Storage Maintenance: Systems Expenditure Forecast

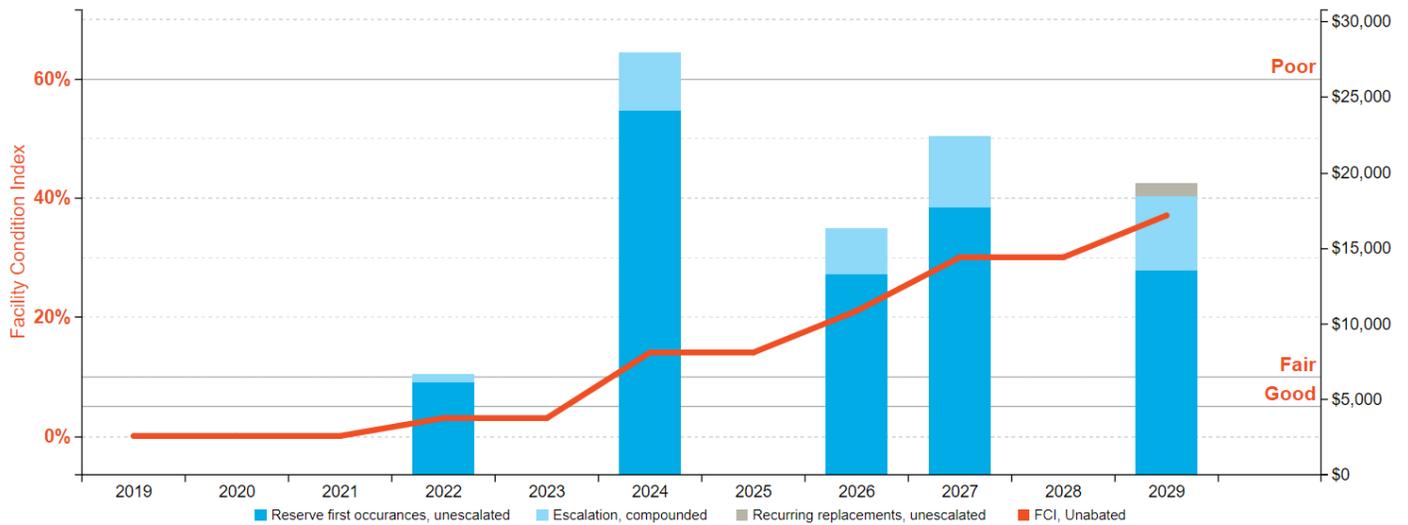
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	\$13,000	\$33,800	-	\$46,700
Roofing	-	\$6,600	-	-	-	\$6,600
Interiors	-	-	\$14,000	\$900	\$18,900	\$33,800
Electrical	-	-	-	\$22,200	\$2,000	\$24,200
Pavement	-	-	\$1,000	\$1,100	\$13,800	\$15,900
TOTALS	-	\$6,600	\$28,000	\$58,000	\$34,700	\$127,200

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: BPS BPS - Storage Maintenance

Replacement Value: \$ 248,140; Inflation rate: 3.0%



31. ISWM – Maintenance Building



ISWM – Maintenance Building: Systems Summary

Address	201 McArthur Boulevard, Bourne, Massachusetts 02532	
Constructed/ Renovated	1968	
Building Size	13,000 SF	
Number of Stories	One	
Site Area	The building is one building within the larger ISWM site	
Parking Spaces	10 total spaces located at the building perimeter	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and wood-framed roofs	Fair
Façade	Painted CMU with wood windows	Poor
Roof	Primary: Gable construction with asphalt shingles	Poor
Interiors	Walls: Painted CMU Floors: Unfinished Ceilings: Unfinished/exposed	Fair
Elevators	None	Fair

ISWM – Maintenance Building: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Gas water heaters Toilets and sinks in all restrooms	Fair
HVAC	Waste oil heater Suspended unit heater	Good
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL	Fair
Fire Alarm	Alarm panel, smoke detectors, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	None	--
Site Development	None	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	There are no exit lights, smoke or carbon monoxide detectors, or exhaust fans. The walls are damaged from cracked concrete settlement. The walls leak at the junction between the roof and the top of the wall. The roof is missing shingles and also leaks into the attic.	

ISWM – Maintenance Building: Systems Expenditure Forecast

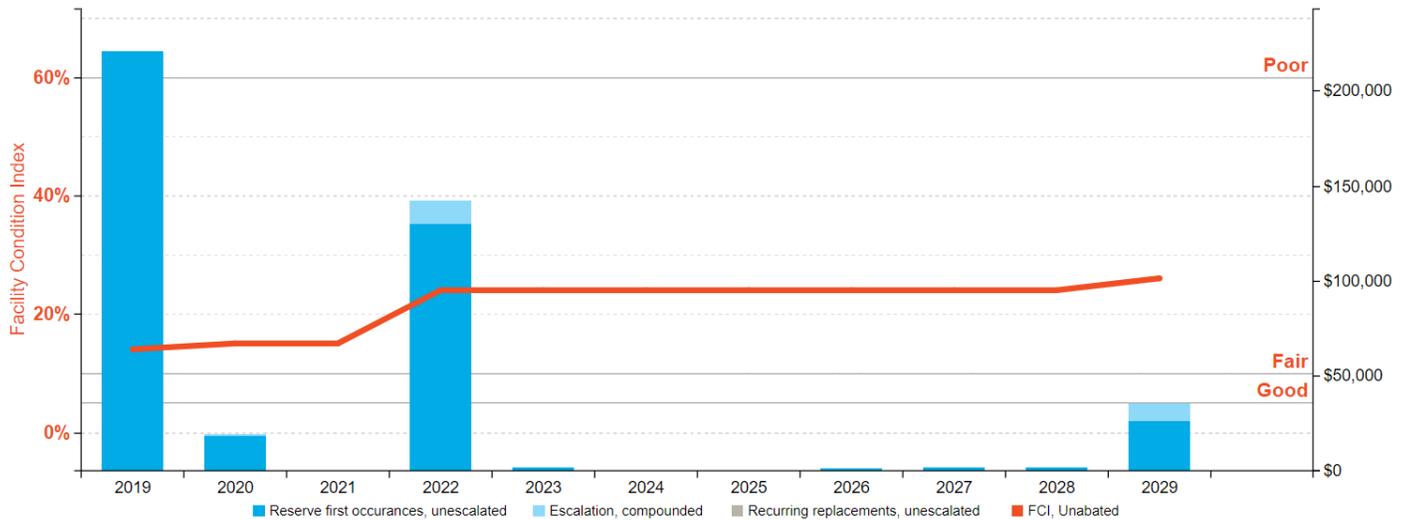
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	\$144,100	\$3,600	\$1,800	-	\$46,700	\$196,200
Roofing	\$60,800	-	-	-	\$109,800	\$170,600
Plumbing	-	-	-	\$3,000	\$21,100	\$24,100
Fire Suppression	-	-	-	\$1,500	\$2,000	\$3,500
HVAC	\$16,000	\$15,500	-	\$2,200	\$51,700	\$85,300
Electrical	-	\$113,600	-	\$14,100	-	\$127,800
Fire Alarm & Comm	-	\$28,400	-	\$20,200	-	\$48,600
TOTALS	\$220,900	\$161,100	\$1,800	\$41,000	\$231,300	\$656,100

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: ISWM ISWM - Maintenance Bldg

Replacement Value: \$ 1,612,000; Inflation rate: 3.0%



32. Sewer Pump Station – Buzzards Bay



Sewer Pump Station – Buzzards Bay: Systems Summary

Address	130 Main Street, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1992	
Building Size	1200 SF	
Number of Stories	2	
Site Area	Located on Fire Station #1 site	
Parking Spaces	No parking provided	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Masonry bearing walls and steel-framed roofs	Fair
Façade	Brick without windows	Fair
Roof	Primary: Hip construction with asphalt shingles Secondary: Flat construction with single-ply EPDM membrane	Good
Interiors	Walls: Painted CMU Floors: Unfinished Ceilings: Painted structure	Fair
Elevators	None	--

Sewer Pump Station – Buzzards Bay: Systems Summary		
Plumbing	Copper supply and cast iron waste & venting Electric water heater	Fair
HVAC	Suspended gas unit heaters	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: T-5, LED, CFL Emergency: Natural gas generator and ATS	Fair
Fire Alarm	Alarm panel, smoke detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	--
Site Pavement	Parking lot is shared with Fire Station #1	Fair
Site Development	None	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	--
Ancillary Structures	None	--
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building contains sewer pumping equipment. It is located in a flood zone. It is unmanned.	

Sewer Pump Station: Systems Expenditure Forecast

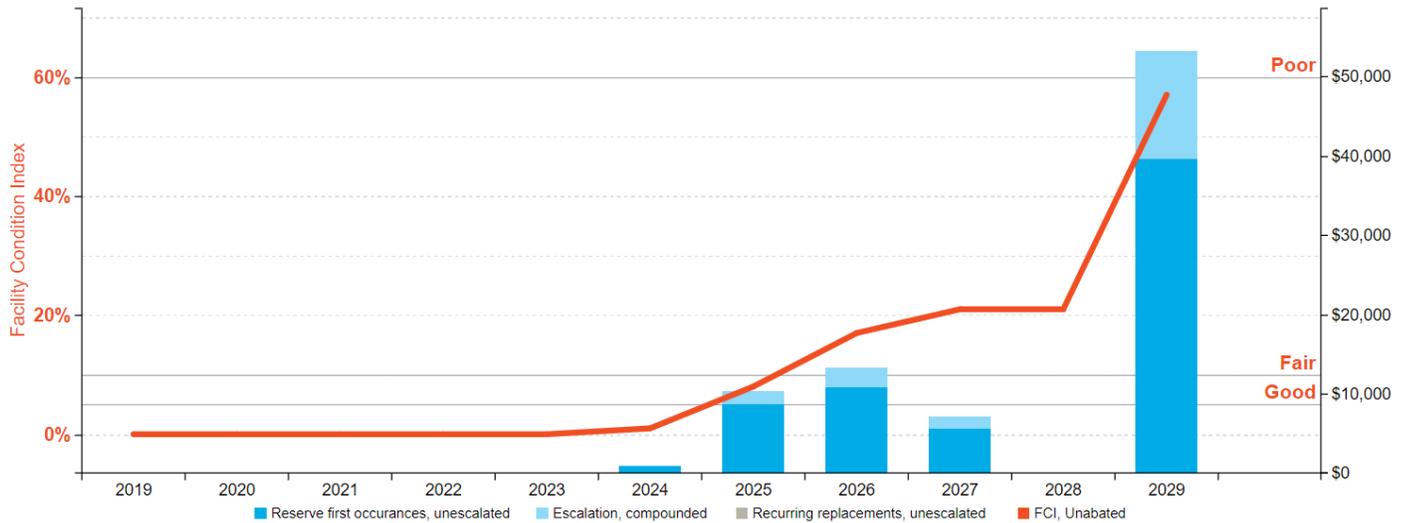
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Facade	-	-	-	\$800	-	\$800
Roofing	-	-	-	-	\$5,100	\$5,100
Interiors	-	-	-	\$19,300	\$25,900	\$45,200
Plumbing	-	-	\$600	-	\$1,000	\$1,600
Fire Suppression	-	-	\$300	-	\$500	\$800
HVAC	-	-	-	\$58,400	\$10,600	\$69,000
Electrical	-	-	-	-	\$4,000	\$4,000
Fire Alarm & Comm	-	-	-	\$5,400	-	\$5,400
TOTALS	-	-	\$900	\$83,900	\$47,100	\$131,900

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Sewer Sewer Pump Station-B. Bay

Replacement Value: \$ 148,884; Inflation rate: 3.0%



33. Sewer Pump Station – Hideaway Village



Sewer Pump Station – Hideaway Village: Systems Summary

Address	749 Head of Bay Road, Buzzards Bay, Massachusetts 02532	
Constructed/ Renovated	1993	
Building Size	216 SF	
Number of Stories	1	
Site Area	0.05 acres (estimated)	
Parking Spaces	There are no parking spaces	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure with raised floor	Fair
Façade	Painted wood without windows	Fair
Roof	Primary: Gable construction with asphalt shingles	Fair
Interiors	Walls: Unfinished Floors: Unfinished Ceilings: Unfinished/exposed	Fair
Elevators	None	--
Plumbing	None	--

Sewer Pump Station – Hideaway Village: Systems Summary		
HVAC	None	--
Fire Suppression	None	--
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED, Emergency: Propane generator	Fair
Fire Alarm	None	--
Equipment/Special	None	--
Site Pavement	Asphalt pad surrounding structures	Fair
Site Development	None	--
Landscaping and Topography	No significant landscaping features Irrigation not present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and propane tank	Fair
Site Lighting	Pole-mounted: None Building-mounted: None	Fair
Ancillary Structures	None	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this property.	
Key Issues and Findings	The building contains sewer pumping equipment. It is unmanned.	

Sewer Pump Station – Hideaway Village: Systems Expenditure Forecast

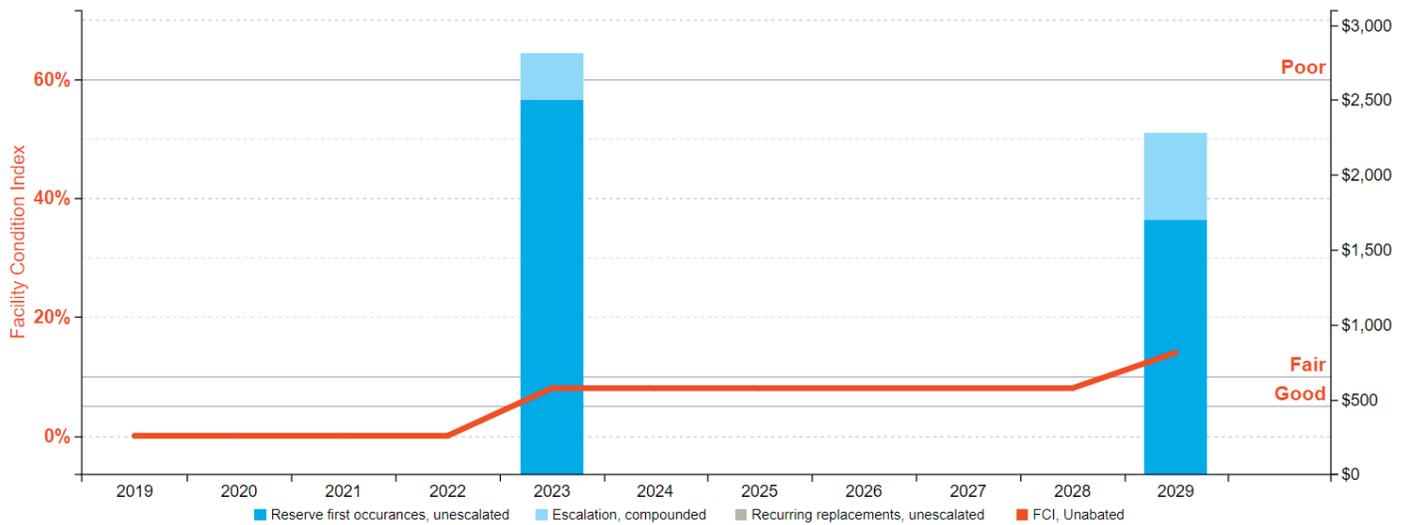
System	Immediate	Short Term (3 yr)	Near Term (5 yr)	Med Term (10 yr)	Long Term (20 yr)	TOTAL
Electrical	-	-	\$2,800	-	-	\$2,800
Pavement	-	-	-	\$2,300	-	\$2,300
Site Development	-	-	-	-	\$5,700	\$5,700
TOTALS	-	-	\$2,800	\$2,300	\$5,700	\$10,800

The orange line in the graph below forecasts what would happen to the FCI (left axis) over time, assuming zero capital expenditures. The capital expenditures for each year (blue bars) are associated with the right axis.

Needs by Year with Unaddressed FCI Over Time

FCI Analysis: Sewer Sewer Pump Station-Hid Vil

Replacement Value: \$ 35,709; Inflation rate: 3.0%



34. Property Space Use and Observed Areas

Unit Allocation

All 645,120 square feet of the property are occupied by the Town of Bourne and Bourne Public Schools. The spaces are a combination of offices, classrooms, laboratory spaces, service bays, and municipal buildings with supporting restrooms, administrative offices, and mechanical and other utility spaces

Areas Observed

The interior spaces were observed in order to gain a clear understanding of the property's overall condition. Other areas accessed included the site within the property boundaries, the exterior of the property, and the roofs.

Key Spaces Not Observed

All key areas of the property were accessible and observed.

35. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

During the FCA, EMG performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to those areas and categories set forth in the tables throughout this report. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of EMG’s undertaking. Only a representative sample of areas was observed and actual measurements were not taken to verify compliance.

The facilities were originally constructed in multiple years. Some of the facilities significantly renovated in multiple years. Complaints about accessibility issues have not been received by the property management. The property does not have associated prior or pending litigation related to existing barriers or previously removed barriers.

An accessibility study has not been performed at the site. A comprehensive ADA Compliance Survey will reveal specific aspects of the property that are not in compliance. Since some areas or categories above were identified as having major or moderate associated issues, EMG recommends such a study be performed to take measurements, provide additional itemized details, research local requirements, and, if necessary, estimate the scope and cost of any required improvements. The cost of this study is included in the cost tables. Due to the lack of measurements and itemized findings at this point in time, the costs for any possible subsequent repairs or improvements are not currently included.

BPS - Bournedale Elementary School: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS - Bourne Intermediate School: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS - Storage Garage: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS Storage Maintenance: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS – School Administrative Bldg.: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #4 - Pocasset: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior Path of Travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Path of Travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Public Use Restrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kitchens/Kitchenettes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Pocasset Field – Concession Bldg.: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Path of Travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

BPS – Bourne High School: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

BPS – Bourne High School: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Interior Path of Travel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Public Use Restrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS – Bourne Middle School: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BPS – School Wastewater Plant: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Not Applicable; The facility is not accessible to the general public	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Town Hall: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Town Hall DNR Garage: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Community Center: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DPW Facility : Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DPW Salt Shed: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Jonathon Bourne Library: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Bourne Archives Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #1 – Buzzards Bay: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #1 – Buzzards Bay: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Police Station: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DNR – Marine Building – Taylors Point Marina: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Bournedale School House: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Bournedale School House: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Cataumet School House: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Buzzards Bay Gazebo: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sewer Pump Station – Buzzards Bay: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sewer Pump Station – Buzzards Bay: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sewer Pump Station – Hideaway Village: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISWM – Maintenance Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #2 – Monument Beach: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #2 – Monument Beach: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DNR – Marine Building – Monument Beach: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Monument Beach Field – Concession Stand: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #3 - Sagamore: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Fire Station #3 - Sagamore: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Keith Field – Concessions Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Clark Field – Storage Building: Accessibility Issues

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Path of Travel	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Use Restrooms	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Kitchens/Kitchenettes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The table below is intended to be used as a general reference guide to help differentiate the orders of magnitude between some of the more commonly observed accessibility issues. The table is not intended to be all-inclusive, and boxes checked in the tables above do not necessarily mean those specific problems or shortcomings cited as examples below exist at the subject buildings and sites. Reference the photolog (in the appendix) and/or *Key Findings* section for visuals and/or more specifics about the subject site conditions.

Reference Guide

	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor/No Issues
Parking	<ul style="list-style-type: none"> - Needs full reconstruction - Excessive slopes over 3% require major re-grading - No level locations to add required spaces 	<ul style="list-style-type: none"> - No or non-compliant curb cuts - Moderate difficulty to add required accessible spaces - Slopes close to compliant 	<ul style="list-style-type: none"> - Painting of markings needed - Signage height non-compliant - Signage missing
Exterior Path of Travel	<ul style="list-style-type: none"> - Large areas of sidewalks with excessive slopes - No ramp when needed - Ramps with excessive slopes 	<ul style="list-style-type: none"> - Ramps need rails - Ramps need rail extensions - Need significant # of lever handles - All or most entrance door exterior maneuvering clearance areas with excessive slopes 	<ul style="list-style-type: none"> - One entrance door exterior maneuvering clearance area with excessive slope - A few door knobs instead of lever handles - Non-compliant signage
Interior Path of Travel	<ul style="list-style-type: none"> - All or most interior doors appear less than 32" wide - Corridors less than 36" wide - No ramp when needed - Ramps with excessive slopes - Non-compliant treads/risers at means of egress stairways 	<ul style="list-style-type: none"> - Single height drinking fountains - Drinking fountain too high or protrudes into accessible route - Ramps need rails - Ramps need rail extensions - Need significant # of lever handles - Non-compliant rail extensions at egress stairways - All/most door thresholds high 	<ul style="list-style-type: none"> - One door threshold too high - A few door knobs instead of lever handles - Non-compliant door pressures - Non-compliant signage - Switches not within reach range
Public Use Restrooms	<ul style="list-style-type: none"> - No ADA RR on each accessible floor - Restroom(s) too small - Entire restroom(s) requires renovation - Water closet clearance requires moving walls 	<ul style="list-style-type: none"> - Interior doors appear less than 32" wide - Missing or non-compliant grab bars - Easily fixable clearance issues 	<ul style="list-style-type: none"> - Minor height adjustments required - Non-compliant door pressures - Missing a visual strobe (only required if audible fire alarm already present) - Missing lavatory pipe wraps - Signage not compliant
Elevators	<ul style="list-style-type: none"> - No elevator present when required - Elevator cab too small 	<ul style="list-style-type: none"> - Panel control buttons not at compliant height - No hands-free emergency communication system - Elevator only has mechanical stops 	<ul style="list-style-type: none"> - Audible/visual signals at every floor may be lacking - Minor signage / Braille issues
Kitchens/Kitchenettes	<ul style="list-style-type: none"> - Clear space for each appliance not present - Clearance between opposing counters too narrow 	<ul style="list-style-type: none"> - Sink and counter too high - Sink knee and toe clearance not provided where required (built-in) - Less than 50% of cabinetry within reach range 	<ul style="list-style-type: none"> - Dispensers not within reach range - Switches not within reach range - Missing sink pipe wraps if knee and toe clearance required

36. Purpose and Scope

Purpose

EMG was retained by the client to render an opinion as to the Property's current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property's use. Opinions are rendered as to its structural integrity, building system condition and the Property's overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system's condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.

Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

37. Opinions of Probable Costs

Cost estimates are attached throughout this report, with the Replacement Reserves in the appendix.

These estimates are based on Invoice or Bid Document/s provided either by the Owner/facility and construction costs developed by construction resources such as *R.S. Means*, *CBRE Whitestone*, and *Marshall & Swift*, EMG's experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, EMG opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of EMG's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, EMG's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

EMG's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system's or component's respective replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

Exceedingly Aged

A fairly common scenario encountered during the assessment process, and a frequent source of debate, occurs when classifying and describing "very old" systems or components that are still functioning adequately and do not appear nor were reported to be in any way deficient. To help provide some additional intelligence on these items, such components will be tagged in the database as Exceedingly Aged. This designation will be reserved for mechanical or electrical systems or components that have aged well beyond their industry standard lifecycles, typically at least 15 years beyond and/or twice their Estimated Useful Life (EUL). In tandem with this designation, these items will be assigned a Remaining Useful Life (RUL) not less than two years but not greater than 1/3 of their standard EUL. As such the recommended replacement time for these components will reside outside the typical Short Term window but will not be pushed 'irresponsibly' (too far) into the future.

38. Certification

The Town of Bourne and Bourne Public Schools (the Client) retained EMG to perform this Facility Condition Assessment in connection with its continued operation of multiple facilities in the town, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

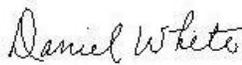
No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of the Client for the purpose stated within the *Purpose and Scope* section of this report. The report, or any excerpt thereof, shall not be used by any party other than the Client or for any other purpose than that specifically stated in our agreement or within the *Purpose and Scope* section of this report without the express written consent of EMG.

Any reuse or distribution of this report without such consent shall be at the Client and the recipient's sole risk, without liability to EMG.

Prepared by: Benjamin Huseman,
Project Manager

Reviewed by:



Daniel White,
Technical Report Reviewer for
Brian Vickers
Program Manager
BVickers@emgcorp.com
800.733.0660 x 6243

39. Appendices

- Appendix A: Photographic Record
- Appendix B: Site Plans
- Appendix C: Component Condition Report
- Appendix D: Replacement Reserves
- Appendix E: Equipment Inventory List

Appendix A: Photographic Record



#1 FRONT ELEVATION



#2 RIGHT ELEVATION



#3 REAR ELEVATION AND ADA RAMP



#4 INTERIOR PALLADIAN WINDOW



#5 DISPLAY ROOM



#6 ATTIC



#1	FRONT ELEVATION
----	-----------------



#2	ENTRANCE DOOR
----	---------------



#3	MEETING ROOM
----	--------------



#4	CELLAR
----	--------



#5	DUCTLESS SPLIT SYSTEM
----	-----------------------



#6	VANITY
----	--------



#1 COVER PHOTO



#2 EXTERIOR VIEW



#3 INTERIOR SPACE



#4 RAILINGS BETWEEN POSTS



#5 INTERIOR LIGHTING AND PAINTED CEILING



#6 ENTRY INTO GAZEBO



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 STORAGE SHED



#4 WOOD STOVE FOR HEAT



#5 MEETING ROOM



#6 RENOVATED INTERIOR WALLS



#1	FRONT ELEVATION
----	-----------------



#2	RIGHT ELEVATION
----	-----------------



#3	REAR ELEVATION
----	----------------



#4	LEFT ELEVATION
----	----------------



#5	INTERIOR STORAGE SPACE
----	------------------------



#6	ROOF STRUCTURE
----	----------------



#1	FRONT ELEVATION
----	-----------------



#2	KITCHEN
----	---------



#3	GYMNASIUM
----	-----------



#4	MAIN LOBBY
----	------------



#5	ROOF TOP PACKAGE UNITS
----	------------------------



#6	BOILERS
----	---------



#1	RIGHT ELEVATION
----	-----------------



#2	LEFT ELEVATION WITH RESTROOM ENTRANCE
----	---------------------------------------



#3	RESTROOM
----	----------



#4	HALLWAY
----	---------



#5	NEW SEPTIC SYSTEM
----	-------------------



#6	PRIMARY PARKING AREA
----	----------------------



#1	RIGHT ELEVATION
----	-----------------



#2	BASEMENT STORAGE
----	------------------



#3	RESTROOMS
----	-----------



#4	RESTROOMS
----	-----------



#5	BOILER
----	--------



#6	PARKING LOT
----	-------------



#1	FRONT ELEVATION
----	-----------------



#2	RIGHT ELEVATION
----	-----------------



#3	ROOF OVERVIEW
----	---------------



#4	FIRE SUPPRESSION
----	------------------



#5	GARAGE BAY
----	------------



#6	BREAKROOM
----	-----------



#1	OVERVIEW
----	----------



#2	FRONT ELEVATION
----	-----------------



#3	LEFT ELEVATION
----	----------------



#4	REAR ELEVATION
----	----------------



#5	BRACED EXTERIOR PLYWOOD WALLS
----	-------------------------------



#6	INTERIOR LIGHTING AND STRUCTURE
----	---------------------------------



#1	REAR ELEVATION
----	----------------



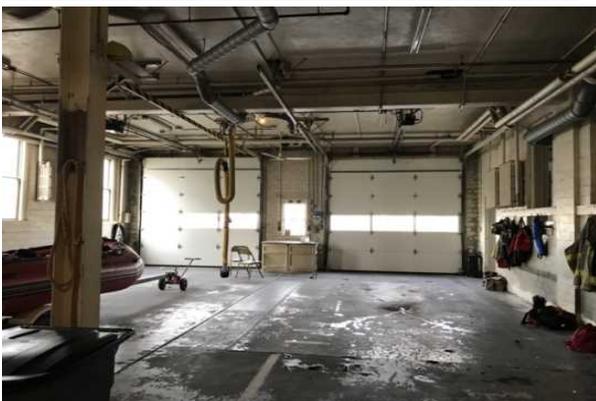
#2	RIGHT ELEVATION
----	-----------------



#3	DAMAGED BRICK VENEER AND RUSTING LINTELS
----	--



#4	STANDING WATER AT LOWER ROOF
----	------------------------------



#5	APPARATUS BAYS
----	----------------



#6	EMERGENCY GENERATOR
----	---------------------



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 PARKING AREA



#4 SECOND FLOOR



#5 FURNACE



#6 UNFINISHED RENOVATION AT SECOND FLOOR



#1 FRONT ELEVATION



#2 REAR ELEVATION



#3 RIGHT ELEVATION



#4 LEFT ELEVATION



#5 APPARATUS BAY ENTRANCE



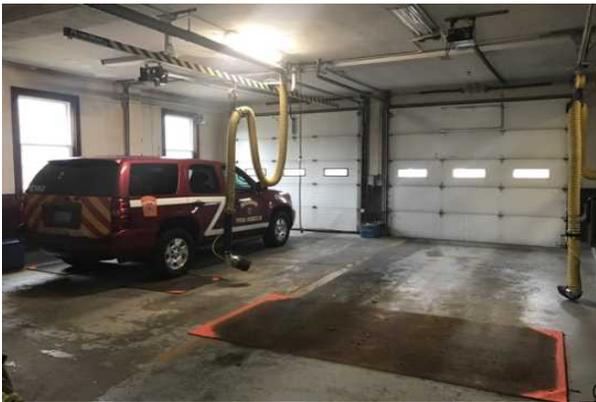
#6 SITE



#1	FIRE STATION #4 – POCASSET
----	----------------------------



#2	ROOF
----	------



#3	GARAGE BAYS
----	-------------



#4	2ND FLOOR LIVING ROOM
----	-----------------------



#5	2ND FLOOR BEDROOM
----	-------------------



#6	HEATING BOILER AND WATER HEATER
----	---------------------------------



#1 FRONT ELEVATION



#2 REAR ELEVATION



#3 DAMAGED CARPET



#4 CHILDREN'S READING ROOM



#5 MAIN READING ROOM



#6 BOILERS



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 STORAGE SPACE



#6 CONCESSIONS INTERIOR



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RETAINING WALL



#5 SECOND FLOOR VIEWING AREA



#6 SINK AT LOWER LEVEL



#1	POCASSET FIELD - CONCESSION BLDG
----	-------------------------------------



#2	ROOF
----	------



#3	CONCESSION INTERIOR
----	---------------------



#4	WATER HEATER
----	--------------



#5	FIRE EXTINGUISHER
----	-------------------



#6	INTERIOR LIGHTS
----	-----------------



#1	FRONT ELEVATION
----	-----------------



#2	EQUIPMENT AND VEHICLE STORAGE
----	-------------------------------



#3	OFFICE
----	--------



#4	EVIDENCE ROOM
----	---------------



#5	MAIN ROOF
----	-----------



#6	WATER HEATER
----	--------------



#1 LEFT ELEVATION



#2 ADA ACCESS RAMP AT REAR ADDITION



#3 MAIN HALLWAY



#4 OFFICE



#5 ENGINEERING OFFICES



#6 EMERGENCY GENERATOR



#1	FRONT ELEVATION
----	-----------------



#2	RIGHT ELEVATION
----	-----------------



#3	WORKSHOP
----	----------



#4	GARAGE
----	--------



#5	MAIN ELECTRICAL PANEL
----	-----------------------



#6	SHARED PARKING LOT
----	--------------------



#1	BPS - BOURNE HIGH SCHOOL
----	--------------------------



#2	ROOF
----	------



#3	CLASSROOM
----	-----------



#4	GYMNASIUM
----	-----------



#5	AUDITORIUM AND STAGE
----	----------------------



#6	HEATING BOILERS
----	-----------------



#1 FRONT ELEVATION



#2 LEFT ELEVATION



#3 REAR ELEVATION



#4 RIGHT ELEVATION



#5 MEDIA CENTER



#6 CLASSROOM



#1	BPS - BOURNE MIDDLE SCHOOL
----	----------------------------



#2	ROOF
----	------



#3	CLASSROOM
----	-----------



#4	GYMNASIUM
----	-----------



#5	MAIN MECHANICAL ROOM
----	----------------------



#6	BUILDING SAFETY DEVICES
----	-------------------------



#1

FRONT ELEVATION



#2

REAR ELEVATION



#3

LEFT ELEVATION



#4

RIGHT ELEVATION



#5

CLASSROOM



#6

PRINCIPAL'S OFFICE



#1

FRONT ELEVATION



#2

REAR ELEVATION



#3

LEFT ELEVATION



#4

RIGHT ELEVATION



#5

BASEMENT



#6

OFFICE



#1	BPS - SCHOOL WASTEWATER PLANT
----	-------------------------------



#2	ROOF
----	------



#3	WASTEWATER PLANT INTERIOR
----	---------------------------



#4	BUILDING SAFETY DEVICES
----	-------------------------



#5	CEILING-SUSPENDED GAS-FIRED FURNACE
----	-------------------------------------



#6	PARKING AREA ADJACENT BUILDING
----	--------------------------------



#7	CORROSION OF WASTEWATER TANK
----	------------------------------



#8	CORROSION OF SAMPLING TANK
----	----------------------------



#1	FRONT ELEVATION
----	-----------------



#2	LEFT ELEVATION
----	----------------



#3	RIGHT ELEVATION
----	-----------------



#4	REAR ELEVATION
----	----------------



#5	GARAGE INTERIOR
----	-----------------



#6	GARAGE INTERIOR
----	-----------------



#1	LEFT ELEVATION
----	----------------



#2	RIGHT ELEVATION
----	-----------------



#3	WINDOW, WOOD 12 SF, 1-2 STORIES, REPLACE
----	--



#4	REAR ELEVATION
----	----------------



#5	INTERIOR
----	----------



#6	INTERIOR
----	----------



#1 FRONT ELEVATION



#2 RIGHT ELEVATION



#3 STRUCTURE OVERVIEW



#4 ATTIC



#5 MAIN REPAIR ROOM



#6 HEATING MAIN COMPONENTS



#1	FRONT ELEVATION
----	-----------------



#2	EMERGENCY GENERATOR
----	---------------------



#3	EXHAUST FAN AND LOWER ROOM
----	----------------------------



#4	WATER HEATER
----	--------------



#5	FIRE ALARM PANEL
----	------------------



#6	INTERIOR SHIPS LADDER BETWEEN FLOORS
----	--------------------------------------



#1	PUMP HOUSE
----	------------



#2	MAIN ENTRANCE
----	---------------



#3	ELECTRIC EQUIPMENT SHED
----	-------------------------



#4	PUMP STATION
----	--------------



#5	EMERGENCY GENERATOR
----	---------------------



#6	PROPANE TANK
----	--------------

Appendix B: Site Plans

Site Plan



Project Name:

**Bourne Archives Building | Jonathon Bourne
Library
Town of Bourne**

Project Number:

140908.19R000-001.322

Source:

Google Maps

On-Site Date:

November 28, 2018

Site Plan



Project Name:
Bournedale School House
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
November 29, 2018

Site Plan



Project Name:
Buzzards Bay Park Gazebo
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
December 2, 2018

Site Plan



Project Name:
Cataumet School House
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
December 2, 2018

Site Plan



Project Name:
Clark Field – Storage Building
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Earth Pro

On-Site Date:
November 22, 2019

Site Plan



Project Name:
Community Center
Town of Bourne

Source:
Google Maps

Project Number:
140908.19R000-001.322

On-Site Date:
November 19, 2019

Site Plan



Project Name:
DNR Marine Building - Monument Beach
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
December 2, 2018

Site Plan



Project Name:
DNR – Marine Building – Taylors Point
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
November 29, 2018

Site Plan



Project Name:

**Fire Station #1 & Sewer Pump
Station - B. bay**

Project Number:

140908.19R000-001.322

Source:

Google MyMaps

On-Site Date:

November 18, 2019

Site Plan



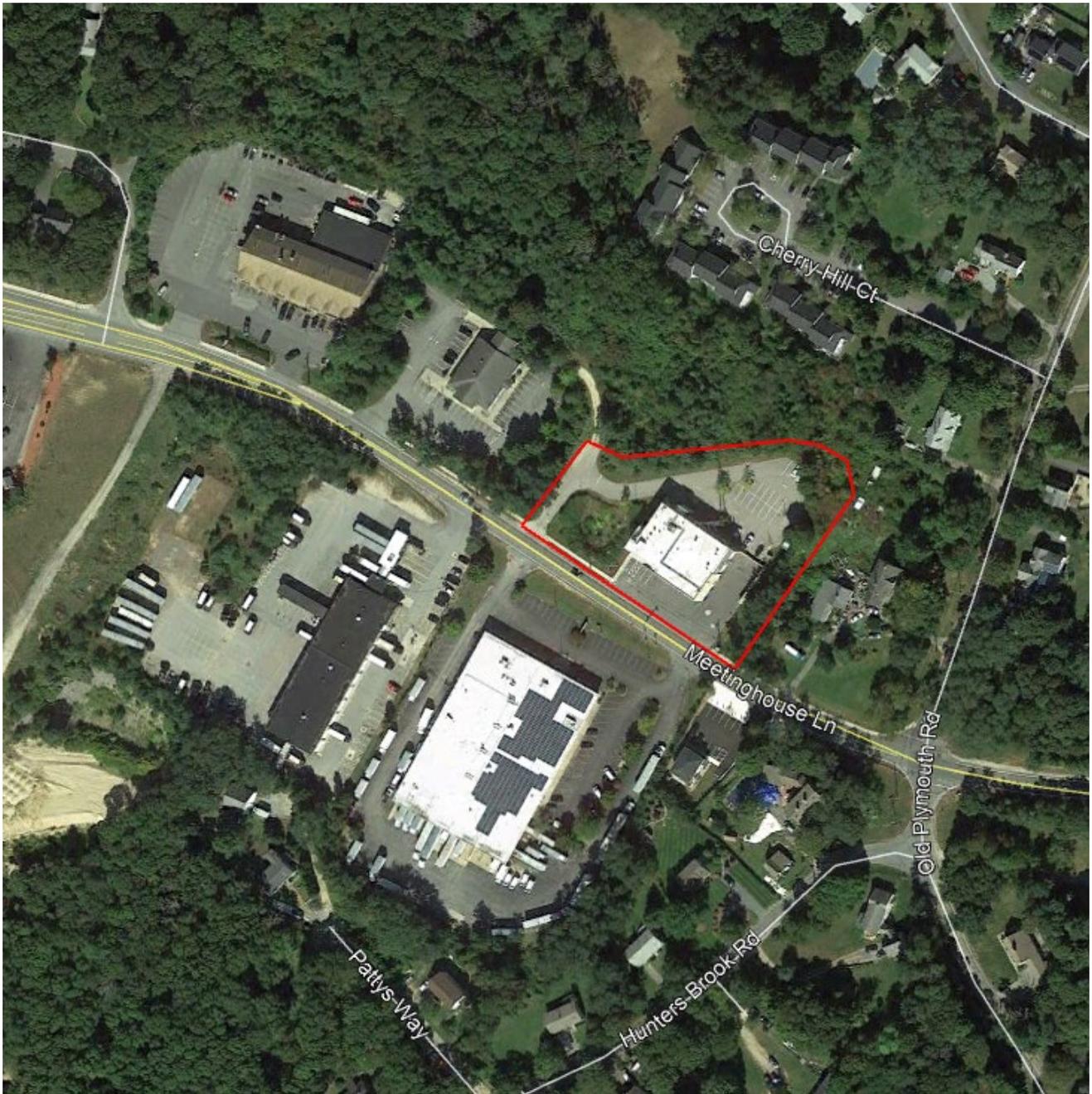
Project Name:
Fire Station No. 2 – Monument Beach
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
December 2, 2018

Site Plan



Project Name:
Fire Station No. 3
Town of Bourne

Source:
Google Earth Pro

Project Number:
140908.19R000-001.322

On-Site Date:
November 22, 2019

Site Plan



	<u>Project Name:</u> Fire Station No. 4 – Pocasset Town of Bourne	<u>Project Number:</u> 140908.19R000-001.322
	<u>Source:</u> Google	<u>On-Site Date:</u> November 22, 2019

Site Plan



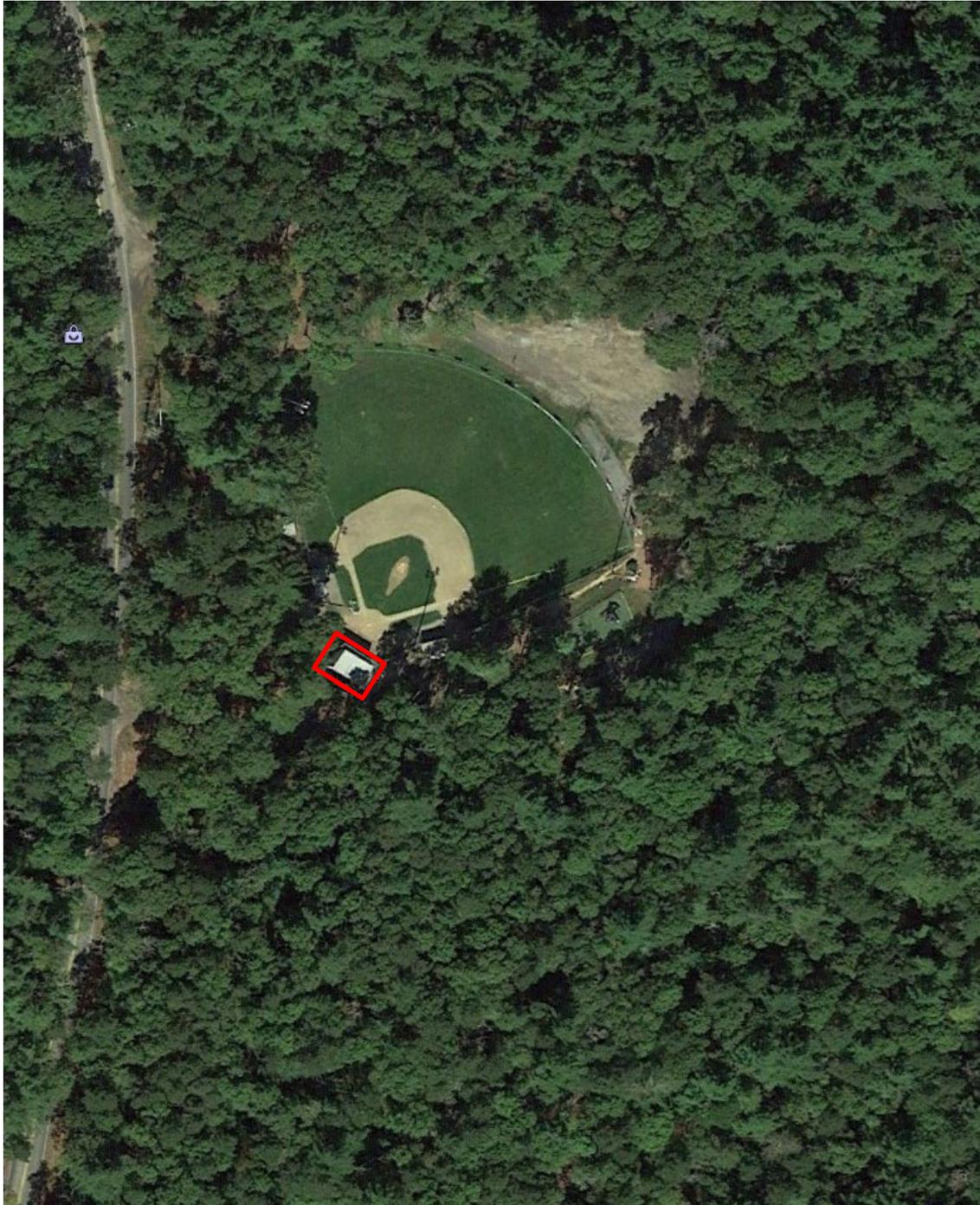
Project Name:
Keith Field – Concession Building
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Earth Pro

On-Site Date:
November 22, 2019

Site Plan



Project Name:
Monument Beach Field – Concession
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
December 2, 2018

Site Plan



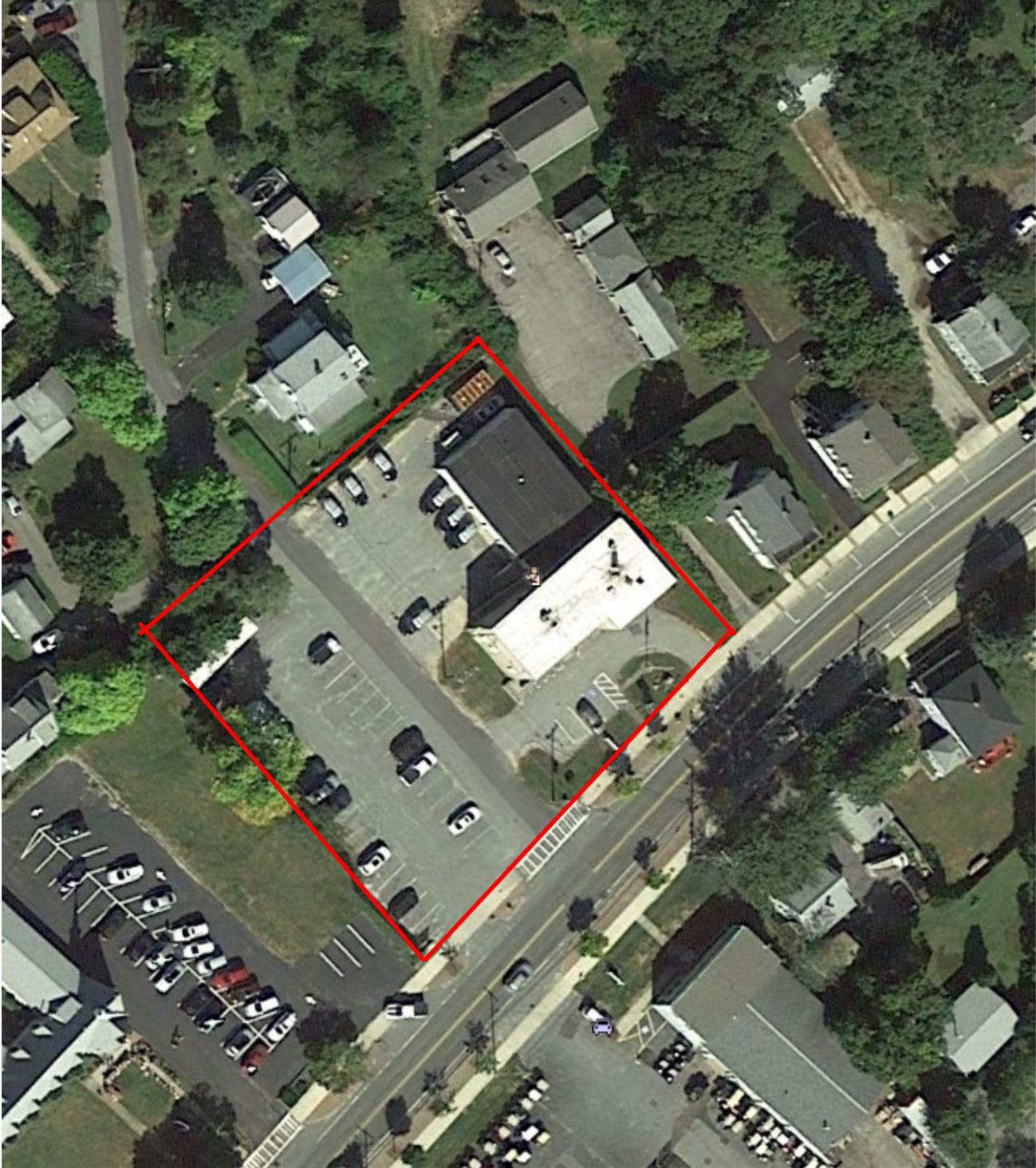
Project Name:
Pocasset Field - Concession Building
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google

On-Site Date:
November 22, 2019

Site Plan



Project Name:
Police Station
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
November 29, 2018

Site Plan



Project Name:

Town Hall and Town Hall DNR Garage
Town of Bourne

Project Number:

140908.19R000-001.322

Source:

Google Maps

On-Site Date:

November 19, 2018

Site Plan



Project Name:

Bourne Intermediate School

Project Number:

140908.19R000-001.322

Source:

Google MyMaps

On-Site Date:

November 12, 2019

Site Plan



Project Name:
BPS - Bourne Middle School
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Earth Pro

On-Site Date:
November 19, 2019

Site Plan



Project Name:

Bournedale Elementary School

Project Number:

140908.19R000-001.322

Source:

Google MyMaps

On-Site Date:

November 12, 2019

Site Plan



Project Name:

BPS School Administrative Bldg

Project Number:

140908.19R000-001.322

Source:

Google MyMaps

On-Site Date:

November 12, 2019

Site Plan



Project Name:

BPS - School Wastewater Plant

Town of Bourne

Source:

Google

Project Number:

140908.19R000-001.322

On-Site Date:

November 21, 2019

Site Plan



Project Name:

Storage Garage

Project Number:

140908.19R000-001.322

Source:

Google MyMaps

On-Site Date:

November 12, 2019

Site Plan



Project Name:

BPS Storage Maintenance

Project Number:

140908.19R000-001.322

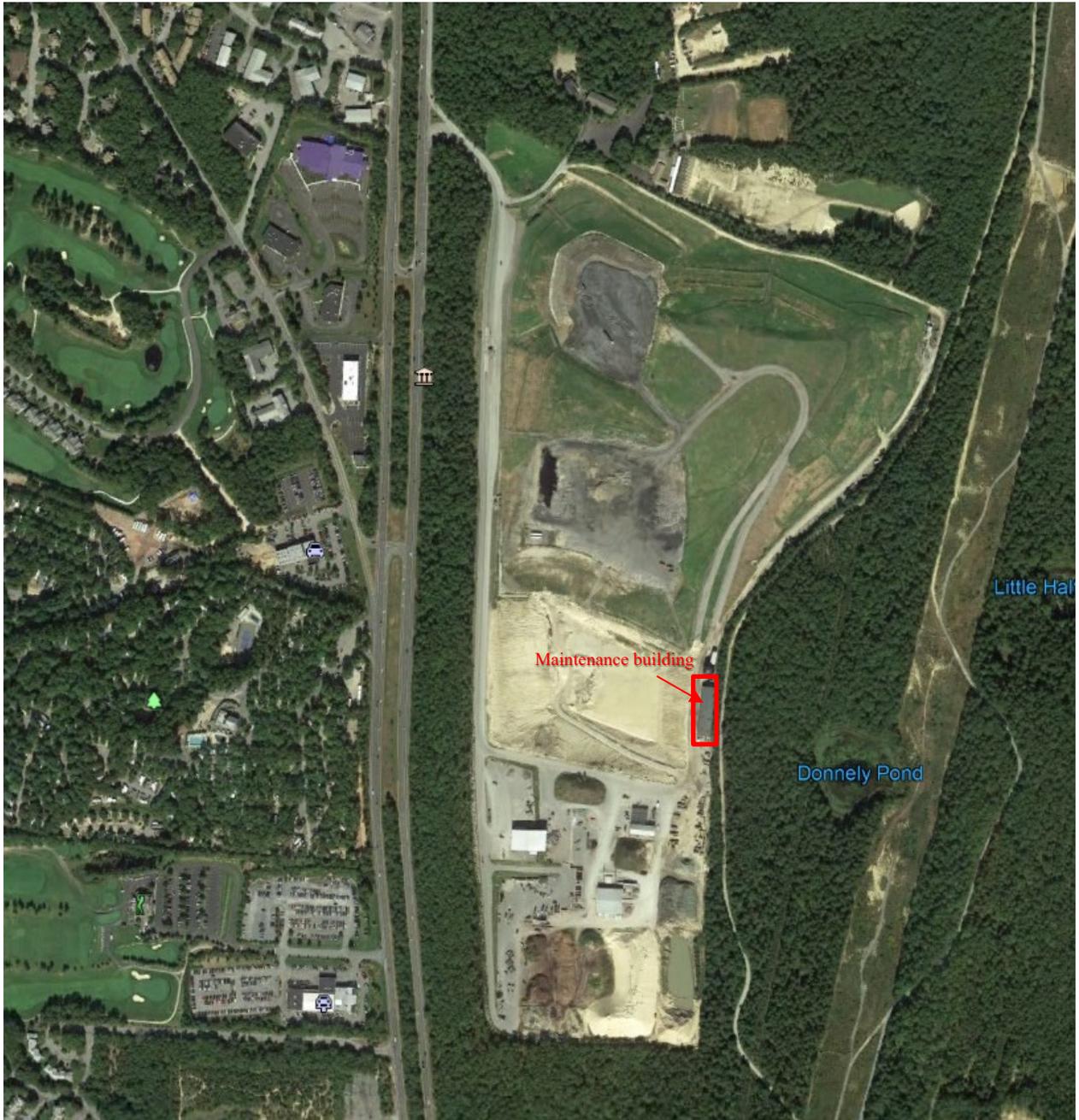
Source:

Google MyMaps

On-Site Date:

November 12, 2019

Site Plan



Project Name:
ISWM – Maintenance Building
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
November 29, 2018

Site Plan



Project Name:
Sewer Pump Station – Hidaway Village
Town of Bourne

Project Number:
140908.19R000-001.322

Source:
Google Maps

On-Site Date:
November 29, 2018

Appendix C: Component Condition Report

Component Condition Report

Bourne / Bourne Archives Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Throughout building	Fair	Exterior Wall, Brick Veneer, 1-2 Stories	2,350 SF	25	1645581
B2011	Building Exterior	Good	Exterior Wall, Stucco, 1-2 Stories	250 SF	6	1628568
B2021	Building Exterior	Good	Window, Wood Historical 24 SF	16	20	1628573
B2032	Building Exterior	Good	Exterior Door, Wood Solid-Core w/ Glazing Decorative High-End	2	17	1628574
Roofing						
B3011	Roof	Fair	Roof, Modified Bituminous	339 SF	7	1628578
B3011	Roof	Fair	Roof, Slate	4,200 SF	25	1645569
Interiors						
C3012	Throughout building	Good	Interior Wall Finish, Wood Paneling, Refinish	1,550 SF	7	1645577
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	1,850 SF	6	1645576
C3025	Throughout building	Good	Interior Floor Finish, Carpet Commercial Tile	2,850 SF	6	1645575
C3031	Throughout building	Good	Interior Ceiling Finish, any flat surface, Prep & Paint	3,432 SF	6	1645579
Plumbing						
D2011	Restroom	Fair	Toilet, Residential Water Closet	1	10	1645588
D2014	Restroom	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	10	1645589
D2023	Restrooms	Fair	Water Heater, Electric, Residential, 5 to 15 GAL [No tag/plate found]	1	4	1628572
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	3,432 SF	30	1645587
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Type ABC, up to 20 LB	1	7	1645584
HVAC						
D3021	Boiler room	Good	Boiler, Gas, 20 to 125 MBH [No tag/plate found]	1	26	1628569
D3032	Attic	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [No tag/plate found]	1	7	1628576
D3032	Attic	Good	Condensing Unit/Heat Pump, Split System, 2 Ton [No tag/plate found]	1	13	1628567
D3052	Building exterior	Good	Heat Pump or Gas-Pack, Wall-Mounted, 2.5 to 3 Ton [No tag/plate found]	1	18	1628566
Electrical						
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	3,432 SF	30	1645586
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	3,432 SF	10	1645585
D5092	Throughout building	Fair	Exit Sign Light Fixture, LED	1	7	1645590
Fire Alarm & Comm						
D5037	Lobby	Fair	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	6	1628575
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	3,432 SF	3	1645583
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	8,480 SF	3	1628571
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	8,480 SF	7	1645506
Site Development						
G2048	Site	Good	Flagpole, Metal	1	15	1628570

Bourne / Bournedale School House

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Good	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	1,250 SF	7	1649263
B2011	Building exterior	Good	Exterior Wall, Wood Clapboard Siding, 1-2 Stories	1,250 SF	20	1649262

Bourne / Bournedale School House

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2021	Building exterior	Good	Window, Wood Historical 12 SF	12	20	1649261
B2032	Building exterior	Good	Exterior Door, Wood Solid-Core Decorative High-End	2	19	1663464
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 30-Year	1,350 SF	15	1649264
Interiors						
C1021	Throughout building	Good	Interior Door, Wood Solid-Core Decorative High-End	6	25	1628584
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	950 SF	7	1628589
C3012	Throughout building	Good	Interior Wall Finish, Wood Paneling, Refinish	650 SF	8	1628582
C3024	Throughout building	Good	Interior Floor Finish, Wood Strip, Refinish	875 SF	8	1628586
C3031	Throughout building	Good	Interior Ceiling Finish, any flat surface, Prep & Paint	875 SF	7	1628585
Plumbing						
D2011	Restroom	Good	Toilet, Residential Water Closet	1	15	1628587
D2014	Restroom	Fair	Sink/Lavatory, Vanity Top, Enameled Steel	1	15	1628591
D2021	Basement	Fair	Backflow Preventer, Domestic, 3" [No tag/plate found]	1	15	1628583
D2023	Basement	Poor	Water Heater, Electric, Residential, 5 to 15 GAL [No tag/plate found]	1	1	1628581
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	875 SF	30	1649266
HVAC						
D3032	Building exterior	Excellent	Ductless Split System, Single Zone, 3 Ton [No tag/plate found]	1	15	1628588
Electrical						
D5012	Basement	Fair	Main Distribution Panel, 120/240 V, 200 Amp [No tag/plate found]	1	15	1628590
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	875 SF	25	1649267
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	875 SF	10	1649268
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	875 SF	10	1649265

Bourne / Buzzards Bay Park - Gazebo

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A1031	Gazebo	Fair	Foundations	240 SF	25	1649283
Facade						
B2011	Gazebo	Fair	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	240 SF	7	1649281
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 20-Year	580 SF	11	1628579
Interiors						
C3021	Gazebo	Fair	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	240 SF	6	1649371
C3031	Gazebo	Fair	Interior Ceiling Finish, exposed irregular elements, Prep & Paint	350 SF	7	1649282
Electrical						
D5029	Gazebo	Fair	Lighting System, Interior, Low Density & Standard Fixtures	240 SF	3	1649280

Bourne / Cataumet School House

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Good	Exterior Wall, Wood Clapboard Siding, 1-2 Stories	1,250 SF	20	1649278
B2011	Building exterior	Good	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	1,250 SF	7	1649275
B2021	Building exterior	Good	Window, Wood Historical 12 SF	12	20	1649273

Bourne / Cataumet School House

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2032	Building exterior	Good	Exterior Door, Wood Solid-Core Decorative High-End	2	19	1663465
Roofing						
B3011	Roof	Fair	Roof, Wood Shake/Shingle	1,550 SF	10	1628607
Interiors						
C1021	Throughout building	Good	Interior Door, Wood Solid-Core Decorative High-End	6	25	1649274
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	950 SF	7	1649277
C3012	Throughout building	Good	Interior Wall Finish, Wood Paneling, Refinish	650 SF	8	1649279
C3024	Throughout building	Good	Interior Floor Finish, Wood Strip, Refinish	875 SF	8	1649272
C3031	Throughout building	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	875 SF	4	1649276
Fire Suppression						
D4031	Throughout building	Good	Fire Extinguisher, Wet Chemical/CO2	1	8	1628605
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 100 AMP [No tag/plate found]	1	15	1628606
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	875 SF	25	1649270
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	875 SF	10	1649271
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	875 SF	10	1649269

Bourne / Clark Field - Storage Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Poor	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	1,150 SF	1	1580757
B2011	Building Exterior	Poor	Exterior Wall, Wood Clapboard Siding, 1-2 Stories	75 SF	2	1580761
B2032	Building Exterior	Poor	Exterior Door, Steel	1	2	1580764
B2034	Building Exterior	Fair	Overhead Door, Residential Garage 56 SF	1	15	1580754
B2034	Building Exterior	Fair	Overhead/Dock Door, Steel 144 SF	1	10	1580765
Roofing						
B3011	Roof	Good	Roof, Asphalt Shingle 30-Year	450 SF	28	1580766
Interiors						
C1011		Good	Interior Wall Construction, Plywood	200 SF	40	1580756
HVAC						
D3022		Good	Expansion Tank, 11 to 30 GAL	1	30	1580763
D3042	Roof	NA	Exhaust Vent Cover	2	0	1580752
D3051		Good	Baseboard Heater, Electric, 4', 1000 Watts [No tag/plate found]	1	20	1580762
Electrical						
D5012		Fair	Main Distribution Panel, 120/240 V, 100 Amp Residential-Style [No tag/plate found]	1	20	1580751
D5022	Building Exterior	Failed	Light Fixture, any type w/ LED Replacement, 400 W	1	0	1580755
D5029		Good	Lighting System, Interior, Low Density & Standard Fixtures	450 SF	17	1580753
Fire Alarm & Comm						
D5038	Site	Good	Security/Surveillance System, Cameras and CCTV, Install	450 SF	13	1580750
Equipment/Special						
E1031	Building Exterior	Fair	Garage Door Opener, Belt Drive, 0.5 HP	1	10	1580760
Pavement						
G2031	Site	Poor	Pedestrian Pavement, Sidewalk, Concrete Sections/Small Areas	50 SF	1	1580758

Bourne / Community Center

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Vinyl Siding, 1-2 Stories	8,950 SF	13	1580564
B2021	Building Exterior	Fair	Window, Vinyl-Clad Double-Glazed 24 SF, 1-2 Stories	45	13	1580583
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	10	13	1580543
B2032	Building Exterior	Good	Exterior Door, Steel	8	23	1580585
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 30-Year	23,350 SF	13	1580561
B3011	Roof	Good	Roof, Single-Ply TPO/PVC Membrane	14,158 SF	3	1580566
B3021	Roof	Fair	Roof Skylight, per unit (9-20 SF)	14	13	1580600
Interiors						
C1021	Throughout building	Good	Interior Door, Wood Solid-Core w/ Glazing Decorative High-End	45	23	1580551
C1021	Throughout building	Good	Interior Door, Wood Solid-Core w/ Glazing Decorative High-End	8	23	1580571
C1031	Restroom	Fair	Toilet Partitions, Plastic/Laminate	4	10	1595818
C3012	Restrooms	Good	Interior Wall Finish, Ceramic Tile	3,500 SF	23	1580576
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	45,000 SF	7	1580575
C3024	Throughout building	Good	Interior Floor Finish, Vinyl Tile (VCT)	15,650 SF	10	1580532
C3024	Gymnasium	Fair	Interior Floor Finish, Wood Strip	5,250 SF	13	1580572
C3024	Restrooms	Good	Interior Floor Finish, Ceramic Tile	2,565 SF	23	1580606
C3025	Throughout building	Good	Interior Floor Finish, Carpet Commercial Standard	2,865 SF	6	1580588
C3032	Throughout building	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	20,350 SF	8	1580586
C3032	Restrooms	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	2,540 SF	8	1580612
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	8	13	1580594
D2012	Restrooms	Fair	Urinal, Standard	6	13	1595803
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 3-Bowl	1	13	1580545
D2014	Restrooms	Fair	Sink/Lavatory, Vanity Top, Enameled Steel	12	13	1580542
D2017	Locker rooms	Fair	Shower, Ceramic Tile	6	13	1580537
D2018	Throughout building	Fair	Drinking Fountain, Interior	4	8	1580578
D2023	Boiler room	Fair	Domestic Boiler, 300 MBH [No tag/plate found]	1	11	1580579
D2023	Boiler room	Fair	Water Storage Tank, 300 GAL [No tag/plate found]	1	16	1580591
D2029	Throughout building	Good	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	27,958 SF	23	1595812
Fire Suppression						
D4011	Fire Sprinkler room	Fair	Backflow Preventer, Fire Suppression, 6" [No tag/plate found]	1	13	1580544
D4019	Throughout building	Fair	Sprinkler Heads (per SF)	27,959 SF	8	1595806
D4031	Throughout interior	Good	Fire Extinguisher, Type ABC, up to 20 LB	10	7	1595808
HVAC						
D3021	Boiler room	Good	Boiler, 634 MBH [2]	1	16	1580563
D3021	Boiler room	Good	Boiler, 635 MBH [1]	1	16	1580554
D3032	Roof	Good	Ductless Split System, Single Zone, 1 Ton [No tag/plate found]	1	3	1580604
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 20 Ton [No tag/plate found]	1	3	1580589
D3041	Mechanical mezzanine	Good	Fan, Axial Flow In-Line, 20,001 to 30,000 CFM (7.5 HP) [RAF-01]	1	16	1580596
D3041	Throughout building	Fair	Unit Ventilator, 1500 CFM [No tag/plate found]	12	6	1580581
D3041	Throughout building	Fair	HVAC System Ductwork, Medium Density	27,958 SF	13	1595810
D3041	Roof	Fair	Make-Up Air Unit, 20000 CFM [ERV-1]	1	6	1580565
D3041	Ceiling mounted	Fair	Unit Ventilator, 751 - 1250 CFM [No tag/plate found]	5	4	1580547

Bourne / Community Center

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3041	Roof	Fair	Make-Up Air Unit, 20000 CFM [No tag/plate found]	1	6	1580599
D3041	Roof	Fair	Make-Up Air Unit, 2,000 to 6,000 CFM [MUA-01]	1	10	1580573
D3041	Mechanical mezzanine	Fair	Air Handler (AHU), Interior, 20,001 to 25,000 CFM [AHU-2]	1	16	1580587
D3041	Boiler room	Fair	Air Handler (AHU), Interior, 20,001 to 25,000 CFM [AHU-1]	1	13	1580582
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [RH-03]	1	8	1580607
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM [EF-04]	1	6	1580598
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [RH-05]	1	8	1580611
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [EF-02]	1	8	1580536
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [No tag/plate found]	1	3	1580534
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [No tag/plate found]	1	3	1580539
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM [No tag/plate found]	1	8	1580556
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [EF-6]	1	8	1580590
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [RH-06]	1	8	1580550
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [No tag/plate found]	1	10	1580608
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [No tag/plate found]	1	8	1580584
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [EF-05]	1	6	1580541
D3044	Boiler room	Fair	Distribution Pump, 3 HP [No tag/plate found]	1	3	1580567
D3044	Boiler room	Fair	Distribution Pump, 3 HP [No tag/plate found]	1	3	1580593
D3051	Roof	Fair	Furnace, Rooftop, Gas, 600 MBH [No tag/plate found]	1	6	1580609
D3051	Throughout building	Fair	Unit Heater, Hydronic, 8 to 12 MBH [Inaccessible]	4	8	1580560
D3051	Ceiling mounted	Fair	Unit Heater, Electric, 11 to 20 kW [No tag/plate found]	3	3	1580602
D3051	Roof	Poor	Furnace, RTU, Gas, 600 MBH [No tag/plate found]	1	1	1580559
D3051	Door mounted	Fair	Unit Heater, Electric, 6 to 10 kW [No tag/plate found]	2	3	1580533
D3052	Roof	Fair	Packaged Unit (RTU), 6 to 7.5 Ton [No tag/plate found]	1	6	1580595
D3052	Roof	Fair	Packaged Unit (RTU), 3.5 Ton [RTU-1]	1	6	1580557
D3052	Roof	Fair	Packaged Unit (RTU), 8 to 10 Ton [No tag/plate found]	1	5	1580553
Electrical						
D5012	Boiler room	Failed	Variable Frequency Drive (VFD), 5 HP Motor [HW pump #2]	1	0	1580552
D5012	Boiler room	Good	Main Distribution Panel, 600 AMP [PM1A]	1	16	1580603
D5012	Boiler room	Failed	Variable Frequency Drive (VFD), 5 HP Motor [HW pump #1]	1	0	1580610
D5012	Electrical room	Good	Transfer Switch, 1200 AMP [No tag/plate found]	1	11	1580574
D5012	Electrical room	Good	Main Distribution Panel, 1200 AMP [No tag/plate found]	1	16	1580577
D5012	Boiler room	Good	Main Distribution Panel, 600 AMP [PM1A]	1	16	1580568
D5019	Throughout building	Good	Full Electrical System Upgrade, Low Density/Complexity	27,958 SF	23	1595813
D5022	Site	Fair	Light Fixture, Metal Halide, 1,000 W	4	3	1580605
D5029	Throughout building	Good	Lighting System, Interior, Medium Density & Standard Fixtures	27,958 SF	15	1595811
D5092	Site	Fair	Generator, Gas or Gasoline, 130 kW to 185 kW [No tag/plate found]	1	8	1589775
D5092	Throughout interior	Good	Emergency/Exit Combo LED, Type ABC, up to 20 LB	25	7	1595809
Fire Alarm & Comm						
D5037	Throughout building	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	9	1595804
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Install	27,958 SF	3	1595805
Equipment/Special						
E1093	Kitchen	Good	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	15	1580548
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Single [No tag/plate found]	1	6	1580580
E1093	Kitchen	Good	Commercial Kitchen, Dishwasher [No tag/plate found]	1	6	1580597

Bourne / Community Center

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1093	Kitchen	Good	Commercial Kitchen, Refrigerator, 2-Door Reach-In [No tag/plate found]	1	10	1580555
E1093	Kitchen	Good	Commercial Kitchen, Range/Oven, 6-Burner w/ Griddle [No tag/plate found]	1	4	1580549
E1093	Kitchen	Fair	Commercial Kitchen, Freezer, 1-Door Reach-In [No tag/plate found]	1	6	1580558
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	70,000 SF	8	1595271
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	70,000 SF	3	1580562
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Large Areas	5,720 SF	33	1580592
Site Development						
G2041	Site	Good	Fences & Gates, Chain Link, 6' High	825 LF	23	1580546
G2045	Site	Good	Site Furnishings, Park Bench, Metal/Wood/Plastic	1	14	1580569
G2047	Site	Good	Play Surfaces & Sports Courts, Asphalt, Seal & Stripe	14,325 SF	3	1580538
G2047	Site	Fair	Sports Apparatus, Basketball Backstop	2	8	1580570
G2048	Site	Fair	Flagpole, Metal	1	13	1580540

Bourne / DNR - Marine Bldg - Monument Beach

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Good	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	1,735 SF	7	1649429
B2021	Building exterior	Fair	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories	6	5	1649428
B2032	Building exterior	Fair	Exterior Door, Steel	2	15	1649427
Roofing						
B3011	Roof	Good	Roof, Asphalt Shingle 30-Year	1,878 SF	18	1628618
Interiors						
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	925 SF	7	1649430
C3021	Restrooms	Fair	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	650 SF	3	1649426
C3031	Throughout building	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	750 SF	7	1649431
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	3	18	1628620
D2014	Restroom	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	3	18	1628621
D2017	Locker room	Fair	Shower, Fiberglass	2	8	1628625
D2023	Ground floor	Good	Water Heater, Gas, Residential, 30 to 50 GAL [No tag/plate found]	1	14	1628623
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	1,428 SF	10	1649437
D2043	Utility closet	Fair	Sump Pump, 3 HP [No tag/plate found]	1	5	1628624
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	5	1628622
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	1,428 SF	23	1649436
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	1,428 SF	3	1649435
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned	1,428 SF	3	1649434
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	83,591 SF	4	1628619
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	83,591 SF	24	1649423

Bourne / DNR - Marine Bldg - Taylors Point

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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Bourne / DNR - Marine Bldg - Taylors Point

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Good	Exterior Wall, Vinyl Siding, 1-2 Stories	1,825 SF	17	1595251
B2021	Building Exterior	Good	Window, Vinyl-Clad Double-Glazed 24 SF, 1-2 Stories	10	17	1595819
B2032	Building exterior	Good	Exterior Door, Steel	5	27	1595825
B2034	Building exterior	Fair	Overhead/Dock Door, Aluminum 144 SF	1	17	1595823
Roofing						
B3011	Roof	Good	Roof, Asphalt Shingle 30-Year	2,630 SF	17	1595821
Interiors						
C1031	Restrooms	Good	Toilet Partitions, Plastic/Laminate	4	8	1595264
C1033	Restrooms/shower	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	20	7	1595248
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	3,250 SF	7	1595254
C3021	Restrooms/showers	Good	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	1,200 SF	6	1595249
C3025	Shop	Fair	Interior Floor Finish, Carpet Commercial Standard	650 SF	6	1595246
C3032	Throughout interior	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	2,120 SF	12	1595247
Plumbing						
D2011	Restrooms	Good	Toilet, Commercial Water Closet	8	17	1595266
D2012	Restrooms	Good	Urinal, Standard	3	17	1595267
D2014	Restrooms	Good	Sink/Lavatory, Wall-Hung, Enameled Steel	8	17	1595269
D2017	Restroom/showers	Good	Shower Head w/ Valve	9	17	1595255
D2021	Basement	Good	Backflow Preventer, 2 INCH [No tag/plate found]	2	26	1595253
D2023	Mechanical room	Fair	Water Heater, Gas, Commercial, 100 GAL (200 MBH) [No tag/plate found]	1	7	1595265
D2029	Throughout building	Good	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	2,124 SF	27	1595829
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Wet Chemical/CO2	3	5	1595263
HVAC						
D3021	Boiler room	Good	Boiler, Gas, 20 to 125 MBH [No tag/plate found]	1	16	1595258
D3051	Basement	Fair	Unit Heater, Electric, 11 to 20 kW [No tag/plate found]	1	6	1595259
D3051	Throughout building	Good	Radiator, Hydronic Baseboard (per LF)	250 LF	18	1665028
Electrical						
D5012	Electrical room	Good	Main Distribution Panel, 600 AMP [No tag/plate found]	1	17	1595262
D5012	Electrical room	Fair	Main Distribution Panel, 225 AMP [No tag/plate found]	1	13	1595260
D5012	Basement	Good	Main Distribution Panel, 225 AMP [No tag/plate found]	1	16	1595268
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	2,120 SF	7	1595828
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	2,124 SF	7	1595830
D5037	Mechanical room	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	10	1595256
Equipment/Special						
E1094	Basement	Fair	Residential Appliances, Clothes Dryer [No tag/plate found]	1	12	1595250
E1094	Basement	Good	Residential Appliances, Clothes Washer [No tag/plate found]	1	11	1595257
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	110,000 SF	3	1665026
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	110,000 SF	19	1665027

Bourne / DPW Facility

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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Bourne / DPW Facility

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Good	Exterior Wall, Metal/Insulated Sandwich Panels, 2" Thick	50,497 SF	41	1628466
B2021	Building Exterior	Good	Window, Aluminum Double-Glazed 24 SF, 1-2 Stories	12	26	1628451
B2031	Building Exterior	Good	Exterior Door, Aluminum-Framed Fully-Glazed	8	26	1628475
B2034	Building Exterior	Good	Overhead/Dock Door, Steel 400 SF	7	26	1628454
Roofing						
B3011	Roof	Good	Roof, Metal	53,010 SF	36	1637545
Interiors						
C1021	Throughout building	Good	Interior Door, Wood Solid-Core	30	36	1628461
C1031	Restrooms	Good	Toilet Partitions, Plastic/Laminate	6	16	1628448
C1033	Restrooms	Good	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	35	20	1628447
C3012	Restrooms	Good	Interior Wall Finish, Ceramic Tile	3,575 SF	36	1628450
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	49,535 SF	6	1628476
C3021	Restrooms	Good	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	3,500 SF	6	1628438
C3024	Throughout building	Good	Interior Floor Finish, Vinyl Tile (VCT)	12,500 SF	11	1628495
C3025	Throughout building	Good	Interior Floor Finish, Carpet Commercial Standard	4,500 SF	6	1628482
C3031	Restrooms	Good	Interior Ceiling Finish, any flat surface, Prep & Paint	2,354 SF	6	1628491
C3032	Throughout building	Good	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	13,598 SF	21	1628486
Plumbing						
D2011	Restrooms	Good	Toilet, Commercial Water Closet	6	26	1628449
D2012	Restrooms	Fair	Urinal, Standard	3	26	1628436
D2014	Janitors closet	Good	Service Sink, Floor	1	31	1628459
D2014	Restrooms	Good	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	6	26	1628444
D2017	Locker room	Good	Shower, Fiberglass	3	16	1628446
D2018	Throughout building	Good	Drinking Fountain, Interior	2	11	1628435
D2019	Garage	Good	Emergency Eye Wash & Shower Station	4	16	1628499
D2021	Sprinkler Room	Good	Backflow Preventer, Domestic, 4" [No tag/plate found]	1	26	1628492
D2023	Boiler room	Good	Water Storage Tank, 120 GAL [No tag/plate found]	1	26	1628440
D2023	Wash bay	Good	Water Heater, 200 GAL [PP4-92]	1	16	1628483
D2023	Boiler room	Good	Domestic Boiler, 300 MBH [No tag/plate found]	1	21	1628434
D2029	Throughout interior	Good	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	41,280 SF	36	1637434
D2091	Sprinkler Room	Good	Air Compressor, 5 HP [No tag/plate found]	1	16	1628469
D2091	Boiler room	Good	Air Compressor, 15 HP [#2]	1	16	1628470
D2091	Boiler room	Good	Air Compressor, 15 HP [#1]	1	16	1628493
Fire Suppression						
D4011	Sprinkler Room	Good	Backflow Preventer, 6 INCH [No tag/plate found]	1	26	1628443
D4019	Throughout interior	Good	Sprinkler Heads (per SF), Standard Addressable	41,280 SF	21	1637431
D4031	Throughout building	Good	Fire Extinguisher, Wet Chemical/CO2	32	6	1628468
HVAC						
D3021	Boiler room	Good	Boiler, 126 - 750 MBH [B-1]	1	11	1628489
D3021	Boiler room	Good	Boiler, 399 MBH [B-2]	1	11	1628432
D3022	Boiler room	Good	Expansion Tank, 31 to 60 GAL [ET-1]	1	36	1628502
D3032	Roof	Good	Ductless Split System, Single Zone, 3.5 Ton [No tag/plate found]	1	11	1628452
D3032	Roof	Good	Ductless Split System, Single Zone, 1.5 Ton [ACCU-1]	1	11	1628498
D3041	Mezzanine storage	Good	Air Handler (AHU), Interior, 6,001 to 8,000 CFM [No tag/plate found]	1	26	1628460

Bourne / DPW Facility

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3041	Office	Good	HVAC System Ductwork, Low Density	12,150 SF	26	1637550
D3041	Mezzanine wash bay	Good	Air Handler (AHU), Interior, 8,001 to 10,000 CFM [HV-2]	1	26	1628479
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [EF-7]	1	16	1628465
D3042	Mezzanine storage	Good	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [EF-8]	1	16	1628500
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM [EF-5]	1	16	1628430
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [EF-10]	1	16	1628442
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [EF-9]	1	16	1628458
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM [EF-3]	1	16	1628481
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM [EF-4]	1	16	1628480
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 8,501 to 15,000 CFM [EF-1]	1	16	1628463
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 8,501 to 15,000 CFM [EF-2]	1	16	1628494
D3042	Roof	Good	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [EF-6]	1	16	1628431
D3044	Boiler room	Good	Distribution Pump, Heating Water, 5 HP [P-2]	1	21	1628487
D3044	Boiler room	Good	Distribution Pump, Heating Water, 5 HP [P-1]	1	21	1628457
D3051	Mezzanine wash bay	Good	Furnace, 160 MBH [WOH-1=]	1	16	1628462
D3051	Electrical room	Good	Unit Heater, 86 MBH [UH-6]	1	20	1628497
D3051	Boiler room	Good	Unit Heater, 36 MBH [UH-3]	1	16	1628485
D3051	Electrical room	Good	Unit Heater, Electric, 11 to 20 kW [No tag/plate found]	1	16	1628477
D3052	Roof	Good	Packaged Unit (RTU), 16 to 20 Ton [EVR-1]	1	16	1628471
D3052	Roof	Good	Packaged Unit (RTU), 1 Ton [RTU-1]	1	16	1628441
D3068	Utility closet	Good	BAS/HVAC Controls, Basic System or Legacy Upgrades, Install	41,280 SF	11	1628433
Electrical						
D5012	Electrical room	Good	Transfer Switch, 800 AMP [No tag/plate found]	1	21	1628473
D5012	Electrical room	Good	Main Distribution Panel, 120/240 V, 800 Amp [MDP]	1	26	1628478
D5012	Boiler room	Good	Main Distribution Panel, 120/240 V, 200 Amp [PP61]	1	26	1628484
D5012	Electrical room	Good	Building/Main Switchboard, 800 AMP [MS]	1	36	1628437
D5019	Throughout interior	Good	Full Electrical System Upgrade, Medium Density/Complexity	41,280 SF	36	1637433
D5022	Site	Good	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W	15	16	1628472
D5022	Building exterior	Good	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W	5	16	1628439
D5029	Throughout interior	Good	Lighting System, Interior, Medium Density & Standard Fixtures	41,280 SF	16	1637432
D5092	Throughout building	Good	Exit Sign Light Fixture, LED	25	6	1628501
D5092	Site	Good	Generator, Diesel, 130 to 300 kW [No tag/plate found]	1	21	1642339
Fire Alarm & Comm						
D5037	Throughout interior	Good	Fire Alarm System, Standard Addressable, Install	41,280 SF	16	1637430
D5037	Electrical room	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	11	1628455
D5038	Site	Good	Vehicle Control Gate w/ Controller	2	11	1628453
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	235,000 SF	4	1637429
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	235,000 SF	21	1628456
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Asphalt	862 SF	21	1628467
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Asphalt	862 SF	3	1628886
Site Development						
G2041	Site	Good	Fences & Gates, Chain Link, 8' High	1,290 LF	36	1628496
G2048	Site	Good	Flagpole, Metal	1	26	1628429

Bourne / DPW Salt Shed

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Good	Exterior Wall, Textured Plywood (T1-11)	2,650 SF	16	1637546
Roofing						
B3011	Roof	Good	Roof, Metal	6,691 SF	36	1637547
Electrical						
D5022	Building exterior	Good	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W	2	16	1628613
D5022	Throughout building	Good	Light Fixture, any type w/ LED Replacement, 400 W	8	16	1628611
D5029	Throughout building	Good	Lighting System, Interior, Low Density & Standard Fixtures	3,840 SF	16	1628612

Bourne / Fire Station #1 - Buzzards Bay

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Brick or Brick Veneer, 1-2 Stories, Repair	1,500 SF	0	1595194
B2011	Building Exterior	Poor	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	1,800 SF	1	1595168
B2021	Building Exterior	Fair	Window, Vinyl-Clad Double-Glazed 24 SF, 1-2 Stories	42	5	1595164
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	2	10	1595176
B2034	Building Exterior	Fair	Overhead/Dock Door, Aluminum 288 SF	4	5	1595179
Roofing						
B3011	Roof	Poor	Roof, Built-Up	1,885 SF	1	1595192
B3011	Roof	Fair	Roof, Asphalt Shingle 30-Year	2,375 SF	10	1595188
Interiors						
C1031	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	2	10	1595173
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	9,818 SF	5	1595177
C3024	Restroom	Fair	Interior Floor Finish, Ceramic Tile	100 SF	20	1665029
C3024	Throughout interior	Fair	Interior Floor Finish, Vinyl Tile (VCT)	3,525 SF	8	1595191
C3025	Throughout building	Fair	Interior Floor Finish, Carpet Commercial Standard	1,200 SF	5	1595183
C3032	Throughout building	Poor	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	3,575 SF	1	1595165
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	3	15	1595175
D2012	Restrooms	Fair	Urinal, Standard	4	15	1595187
D2014	Restrooms	Fair	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	3	12	1595167
D2017	Locker room	Fair	Shower, Fiberglass	2	8	1595193
D2023	Boiler room	Fair	Water Heater, Gas, Residential, 30 to 50 GAL [No tag/plate found]	1	5	1595189
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	7,818 SF	4	1602936
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Type ABC, up to 20 LB	3	3	1602773
HVAC						
D3021	Boiler room	Fair	Boiler, 369 MBH [No tag/plate found]	1	23	1595181
D3032	Roof	Fair	Condensing Unit, 3 TON [No tag/plate found]	1	9	1595172
D3041	Utility closet	Good	Fan Coil Unit, w/furnace, DX Split, 3 Ton [No tag/plate found]	1	9	1595182
D3051	Throughout building	Fair	Radiator, Hydronic Baseboard (per LF)	195 LF	10	1665033
D3051	Apparatus bay	Fair	Unit Heater, Hydronic, 8 to 12 MBH	2	10	1665032
Electrical						
D5012	Garage	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	21	1595190
D5012	Building exterior	Good	Transfer Switch, 100 AMP [No tag/plate found]	1	24	1595166

Bourne / Fire Station #1 - Buzzards Bay

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	7,818 SF	3	1602902
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	7,818 SF	3	1602909
D5092	Site	Good	Generator, 50 kW [No tag/plate found]	1	20	1595186
D5092	Throughout building	Fair	Emergency/Exit Combo LED	3	7	1602801
Fire Alarm & Comm						
D5037	Deputy Chief office	Fair	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	5	1595171
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Install	7,818 SF	3	1602901
Equipment/Special						
E1094	Kitchen	Fair	Residential Appliances, Range, Gas [No tag/plate found]	1	5	1595169
E1094	Kitchen	Fair	Residential Appliances, Refrigerator, 14-18 CF [No tag/plate found]	1	5	1595180
E2012	Kitchen	Good	Kitchen Counter, Plastic Laminate, Postformed	12 LF	10	1595185
E2012	Kitchen	Fair	Kitchen Cabinetry, Stock Hardwood	15 LF	8	1595170
Pavement						
G2012	Site	Poor	Roadways, Concrete Pavement	800 SF	1	1595178
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Mill & Overlay	14,500 SF	1	1596696
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	14,500 SF	1	1595174
Site Development						
G2048	Site	Fair	Flagpole, Metal	1	15	1595184
Follow-up Studies						
P000X	Building exterior	NA	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	1	0	1602947

Bourne / Fire Station #2 - Monument Beach

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Wood Clapboard Siding, 1-2 Stories	1,865 SF	5	1628598
B2021	Building Exterior	Fair	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories	20	12	1628599
B2032	Building Exterior	Fair	Exterior Door, Steel	2	5	1628596
B2034	Building Exterior	Fair	Overhead/Dock Door, Aluminum 144 SF	2	3	1628603
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 20-Year	2,472 SF	3	1628593
Interiors						
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	3,250 SF	3	1649386
C3021	Aparatus bay	Poor	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	1,396 SF	1	1649382
C3024	Bathroom	Fair	Interior Floor Finish, Vinyl Tile (VCT)	100 SF	3	1649385
C3025	Second floor	Fair	Interior Floor Finish, Carpet Commercial Standard	1,250 SF	3	1649383
C3031	Throughout building	Poor	Interior Ceiling Finish, any flat surface, Prep & Paint	2,792 SF	1	1649381
Plumbing						
D2011	Bathroom	NA	Toilet, Residential Water Closet	1	0	1649374
D2014	Bathroom	NA	Sink/Lavatory, Wall-Hung, Enameled Steel	1	0	1649376
D2017	Bathroom	NA	Shower, Fiberglass	1	0	1649375
D2029	Bathroom	NA	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	2,792 SF	0	1649377
HVAC						
D3051	Second floor	Fair	Furnace, Gas, 51 to 100 MBH [No tag/plate found]	1	10	1628592
D3051	Aparatus bay	Fair	Unit Heater, 25 MBH [No tag/plate found]	1	10	1628604

Electrical

Bourne / Fire Station #2 - Monument Beach

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5012	Apparatus room	Fair	Main Distribution Panel, 120/240 V, 200 Amp [No tag/plate found]	1	10	1628600
D5012	Garage	Fair	Transfer Switch, 60 AMP [No tag/plate found]	1	3	1628597
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	2,792 SF	5	1649379
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	2,792 SF	3	1649380
D5092	Site	Fair	Generator, 12 kW [No tag/plate found]	1	3	1628594

Fire Alarm & Comm

D5037	Throughout building	NA	Fire Alarm System, Basic/Zoned, Install	2,792 SF	2	1649378
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Pavement

G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	850 SF	1	1649372
G2022	Site	Fair	Parking Lots, Concrete Pavement	225 SF	5	1628595
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Mill & Overlay	850 SF	1	1628601

Site Development

G2048	Site	Fair	Flagpole, Metal	1	10	1628602
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Bourne / Fire Station #3 - Sagamore

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
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Facade

B2011	Building Exterior	Fair	Exterior Wall, Vinyl Siding, 1-2 Stories	1,500 SF	16	1580691
B2011	Building Exterior	Fair	Exterior Wall, Joint Caulking 0" to 1/2", 3+ Stories	1,500 LF	5	1580715
B2021	Building Exterior	Fair	Window, Aluminum Double-Glazed 24 SF, 1-2 Stories	5	16	1580631
B2021	Building Exterior	Fair	Window, Aluminum Double-Glazed 12 SF, 1-2 Stories	16	16	1580674
B2022	Building Exterior	Good	Curtain Wall, Aluminum-Framed System w/ Glazing	1,350 SF	36	1580649
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	6	16	1580681
B2034	Building Exterior	Fair	Overhead/Dock Door, Aluminum 288 SF	2	16	1580658
B2034	Building Exterior	Fair	Overhead/Dock Door, Aluminum Glazed 244 SF	3	16	1580733

Roofing

B3011	Roof	Poor	Roof, Single-Ply TPO/PVC Membrane	9,000 SF	2	1580724
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Interiors

C1021	Throughout Building	Fair	Interior Door, Steel	10	26	1580710
C1021	Throughout Building	Fair	Interior Door, Wood Solid-Core Decorative High-End	17	26	1580712
C1021	Throughout Building	Fair	Interior Door, Wood Solid-Core w/ Glazing Decorative High-End	5	26	1580728
C1021	Throughout Building	Fair	Interior Door, Steel Fire, 90-Minutes and Over	4	26	1580718
C1031	Restrooms	Fair	Toilet Partitions, Metal	13	10	1580730
C1033	Bunk Rooms	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	12	12	1580703
C3012	Throughout	Fair	Interior Wall Finish, any surface, Prep & Paint	12,000 SF	6	1580660
C3012	Lobby	Fair	Interior Wall Finish, Wood Paneling	300 SF	16	1580671
C3012	Restrooms	Fair	Interior Wall Finish, Ceramic Tile	1,000 SF	26	1580640
C3012	Building Exterior	Fair	Interior Wall Finish, any surface, Prep & Paint	8,500 SF	5	1580661
C3024	Restrooms	Fair	Interior Floor Finish, Ceramic Tile	1,500 SF	26	1580666
C3024	Gymnasium	Fair	Interior Floor Finish, Rubber Tile	800 SF	3	1580626
C3024	Atrium	Fair	Interior Floor Finish, Stone Tile	2,500 SF	26	1580678
C3024	Apparatus Bay	Fair	Interior Floor Finish, Vinyl Tile Plank	500 SF	7	1580719
C3024	3rd Floor Kitchen	Fair	Interior Floor Finish, Ceramic Tile	1,500 SF	26	1580628
C3025	Throughout Building	Fair	Interior Floor Finish, Carpet Commercial Standard	2,500 SF	5	1580692
C3025	Throughout Building	Fair	Interior Floor Finish, Carpet Commercial Tile	6,500 SF	5	1580689

Bourne / Fire Station #3 - Sagamore

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C3031	Throughout	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	1,200 SF	5	1580720
C3031	Office	Poor	Interior Ceiling Finish, Gypsum Board/Plaster	200 SF	1	1580641
C3032	Throughout Building	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	9,500 SF	11	1580663
Elevators						
D1011	Elevator	Fair	Elevator, Hydraulic, 1500 to 2500 LB, 4 Floors, Renovate [36-P-51]	1	16	1580643
D1019	Elevator	Fair	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	10	1580698
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	10	16	1580634
D2012	Restrooms	Fair	Urinal, Standard	1	17	1580687
D2014	Kitchen 3rd Floor	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	2	16	1580662
D2014	Restrooms	Fair	Sink/Lavatory, Vanity Top, Enameled Steel	13	16	1580675
D2017	Restrooms	Fair	Shower, Ceramic Tile	5	16	1580713
D2018	Throughout building	Fair	Drinking Fountain, Interior	3	7	1580645
D2023	Boiler room	Fair	Domestic Circulation Pump, 2 HP	1	3	1580731
D2023	Boiler room	Fair	Domestic Circulation Pump, 0.75 HP [Inaccessible]	1	3	1580725
D2023	Boiler room	Fair	Water Heater, Gas, Commercial, 100 GAL (200 MBH)	1	6	1580644
D2023	Boiler room	Fair	Domestic Circulation Pump, 1.5 HP [PUMP 5]	1	3	1580721
D2023	Boiler room	Fair	Water Heater, Gas, Commercial, 100 GAL (200 MBH)	1	6	1580708
D2023	Boiler room	Fair	Domestic Circulation Pump, 0.75 HP [PUMP 1]	1	3	1580622
D2023	Boiler room	Fair	Domestic Circulation Pump, 0.75 HP [PUMP 4]	1	3	1580655
D2034	Site	Good	Sewage Ejector Pump, 10 - 15 HP	2	25	1580702
Fire Suppression						
D4011	Fire Sprinkler Room	Fair	Backflow Preventer, Fire Suppression, 6" [No tag/plate found]	1	16	1580684
D4019	Throughout Building	Fair	Sprinkler Heads (per SF)	16,320 SF	11	1580632
HVAC						
D3021	Boiler room	Fair	Boiler, Gas, 1,001 to 2,000 MBH [BOILER 1]	1	16	1580654
D3023	Boiler room	Fair	Heat Exchanger, Plate & Frame, 41 to 75 GPM	1	21	1580714
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [ACCU-2]	1	3	1580679
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [ACCU-4]	1	3	1580699
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 21 to 30 Ton [ACCU-6]	1	3	1580653
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [ACCU-1]	1	3	1580673
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [ACCU-3]	1	3	1580709
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [ACCU-5]	1	3	1580669
D3041	Mechanical room	Fair	Air Handler (AHU), Interior, 6,001 to 8,000 CFM [AHU-1R]	1	16	1586508
D3041	Throughout building	Fair	Unit Ventilator, 300 to 750 CFM (approx. 2 Ton)	2	6	1580683
D3041	Apparatus Bay	Fair	Fan, Axial Flow In-Line, 3,001 to 5,000 CFM (1 HP) [EF-5]	1	6	1580706
D3041	Mechanical room	Fair	Air Handler (AHU), Interior, 6,001 to 8,000 CFM [AHU-1]	1	16	1580672
D3041	Throughout building	Fair	Variable Air Volume (VAV) Unit, 100 to 400 CFM	5	11	1580722
D3041	Mechanical room	Fair	Fan, Axial Flow In-Line, 3,001 to 5,000 CFM (1 HP) [EF-2]	1	6	1580646
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM	1	6	1580647
D3042	Apparatus Bay	Fair	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM	1	6	1580686
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [EF-12]	1	6	1580707
D3042	Electrical room	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [EF-6]	1	6	1580700
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-8]	1	6	1580723
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-14]	1	6	1580701

Bourne / Fire Station #3 - Sagamore

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3042	Apparatus Bay	Fair	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM	1	6	1580664
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-7]	1	6	1580696
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-11]	1	6	1580705
D3042	Roof	Fair	Exhaust Fan, Centrifugal, 20,001 to 30,000 CFM (5 HP) [SEF-1]	1	11	1580727
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-13]	1	6	1580637
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [EF-9]	1	6	1580695
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 50 to 500 CFM [EF-1]	1	6	1580625
D3049	Apparatus Bay	Fair	HVAC System Radiant Floor Hydronic Piping	5,500 SF	26	1580624
D3049	Site	Fair	Radiant Pavement System Hydronic Piping, Glycol System	2,000 SF	26	1580690
D3051	Throughout building	Fair	Unit Heater, Electric, 1 to 2 kW	5	6	1580657
D3068	Throughout building	Poor	BAS/HVAC Controls, Extensive/Robust BMS or Smart Building System, Install	16,320 SF	2	1580688
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 120/208 V, 400 Amp	1	16	1580629
D5012	Electrical room	Fair	Main Distribution Panel, 277/480 V, 400 Amp	1	16	1580627
D5012	Electrical room	Fair	Transfer Switch, Automatic (ATS), 400 Amp [ATS-1]	1	11	1580682
D5012	Boiler room	Fair	Motor Control Center, 800 Amp	1	16	1580726
D5012	Electrical room	Fair	Secondary Transformer, Dry, 30 kVA	1	16	1580693
D5012	Electrical room	Fair	Main Distribution Panel, 277/480 V, 400 Amp	1	16	1580650
D5012	Electrical room	Fair	Transfer Switch, Automatic (ATS), 400 Amp [ATS-2]	1	11	1580623
D5012	Electrical room	Fair	Secondary Transformer, Dry, 112.5 kVA	1	16	1580667
D5022	Building Exterior	Fair	Light Fixture, any type w/ LED Replacement, 250 W	6	6	1580670
D5029	Throughout building	Good	Lighting System, Interior, Medium Density & Standard Fixtures	16,320 SF	19	1580697
D5092	Site	Fair	Generator, 240 kW [No tag/plate found]	1	11	1580635
Fire Alarm & Comm						
D5037	Electrical room	Fair	Fire Alarm Control Panel, Addressable	1	3	1580685
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Install	16,320 SF	6	1580651
D5037	Lobby	Fair	Annunciator Alarm Panel [No tag/plate found]	1	3	1580639
D5038	Throughout building	Fair	Security/Surveillance System, Cameras and CCTV, Upgrade/Install	16,320 SF	5	1580711
Equipment/Special						
E1016	Decon Restroom	Fair	Commercial Laundry, Dryer, 76 to 100 LB	1	5	1580652
E1028	Throughout Building	Fair	Defibrillator (AED), Cabinet Mounted	2	5	1580642
E1094	3rd Floor Laundry Room	Fair	Residential Appliances, Clothes Washer	1	5	1580694
E1094	3rd Floor Laundry Room	Fair	Residential Appliances, Clothes Dryer	1	3	1580680
E1094	Kitchen 3rd Floor	Fair	Residential Appliances, Range, Gas	1	8	1580677
E1094	Kitchen 3rd Floor	Fair	Residential Appliances, Refrigerator, 14-18 CF	2	7	1580656
E2012	Kitchen 3rd Floor	Fair	Kitchen Cabinetry, Stock Hardwood	15 LF	10	1580729
E2012	Kitchen 3rd Floor	Fair	Kitchen Counter, Plastic Laminate, Postformed	15 LF	7	1580676
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	10,300 SF	3	1580704
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	10,300 SF	12	1580716
G2022	Site	Good	Parking Lots, Curb & Gutter, Stone	650 LF	36	1580648
G2031	Site	Fair	Pedestrian Pavement, Sidewalk, Clay Brick/Masonry Pavers	1,200 SF	16	1580630
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Large Areas	950 SF	36	1580668
Site Development						
G2041	Site	Fair	Fences & Gates, Chain Link, 6' High	60 LF	26	1580621

Bourne / Fire Station #3 - Sagamore

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2041	Site	Fair	Fences & Gates, Chain Link, 4' High	350 LF	26	1580659
G2042	Site	Good	Retaining Wall, Cast-in-place Concrete (per SF Face)	950 SF	36	1580633
Site Lighting						
G4021	Site	Fair	Site Pole Light, 20' High, 400 W (LED Lamp Replacement)	15	7	1580638

Bourne / Fire Station #4 - Pocasset

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A2023	Basement	Poor	Basement Wall, Insulation & Waterproofing of Exterior Face, Install	760 SF	0	1580619
B1012	Garage bays (Apparatus bay) and basement areas	Poor	Structural Flooring/Decking, Concrete, Repair	1,000 SF	0	1541857
B1015	Front of building	Failed	Exterior Retaining Wall Rails, Metal	24 LF	0	1541858
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Wood Shakes/Shingles	2,400 SF	0	1541847
B2011	Rooftop chimney	Poor	Exterior Wall, Brick or Brick Veneer, Repair	100 SF	0	1541854
B2011	Building Exterior (wood trim components)	Poor	Exterior Wall, any Painted Surface, Prep & Paint	1,300 SF	0	1541884
B2011	Building exterior walls (wood shingle siding)	NA	Exterior Wall, any Painted Surface, Prep & Paint	2,400 SF	10	1581121
B2011	Building Exterior	Poor	Wood Trim, Exterior Building Envelope Penetrations, Potential LBP Hazardous Materials Handling/Disposal	1,300 LF	0	1581120
B2021	Building exterior	Fair	Window, Vinyl-Clad Double-Glazed 12 SF	18	5	1541889
B2032	Rear exterior door	Poor	Exterior Door, Steel, With Vision Panels	1	0	1541862
B2032	Building exterior	Poor	Exterior Door, Wood Solid-Core w/ Glazing Decorative High-End	3	0	1541879
B2034	Building exterior overhead doors	Fair	Overhead/Dock Door, Aluminum 288 SF	3	10	1541876
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 20-Year	2,055 SF	3	1541869
B3016	Roof drainage	Failed	Gutters & Downspouts, Aluminum w/ Fittings, Install	140 LF	0	1541852
Interiors						
C1021	Interior door	Fair	Interior Door, Steel	2	10	1541887
C1021	Interior doors	Fair	Interior Door, Wood Solid-Core	9	5	1541841
C1033	Interior lockers	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	8	3	1541885
C2011	Interior stairs	Poor	Interior Stairs, Wood	100 SF	0	1541845
C2011	Garage Bay stairs to addition (Apparatus bay)	Failed	Interior Stair/Ramp Rails, Metal, Install	6 LF	0	1541863
C3012	Garage Bay (Apparatus bay)	Poor	Interior Wall Finish, Wood Paneling	240 SF	0	1581119
C3012	Interior walls	Poor	Interior Wall Finish, any surface, Prep & Paint	3,800 SF	0	1541868
C3021	Interior floors (garage bays)	Poor	Interior Floor Finish, any surface w/ Paint or Sealant, Prep & Paint	1,600 SF	0	1541883
C3024	Interior floors	Fair	Interior Floor Finish, Wood Strip, Refinish	1,400 SF	3	1541851
C3024	Interior floors	Fair	Interior Floor Finish, Vinyl Tile (VCT)	200 SF	5	1541859
C3031	Interior ceilings	Poor	Interior Ceiling Finish, any flat surface, Prep & Paint	3,100 SF	0	1541890
C3032	Interior ceilings	Poor	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	100 SF	0	1541846
Plumbing						
D2011	First floor common area bathroom	Poor	Toilet, Residential Water Closet	1	0	1541867
D2011	Second floor bathroom	Good	Toilet, Residential Water Closet	1	20	1541848
D2014	Garage Bay (Apparatus bay)	Fair	Service Sink, Laundry	1	3	1541871
D2014	Second floor bathroom	Good	Sink/Lavatory, Pedestal, Vitreous China	1	20	1541855
D2014	Kitchen	Fair	Sink, Vanity Top, Stainless Steel	1	5	1580954
D2014	First floor common area bathroom	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	10	1541864
D2017	First floor common area bathroom	Poor	Shower, Fiberglass	1	0	1541875

Bourne / Fire Station #4 - Pocasset

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2017	Second floor bathroom	Fair	Shower, Fiberglass	1	5	1541872
D2021	Basement mechanical room	Fair	Backflow Preventer, Domestic, 0.75" [No tag/plate found]	1	10	1541843
D2023	Basement mechanical room	Poor	Heating System Circulation Pump, 0.5 HP [No tag/plate found]	3	0	1541880
D2023	Basement mechanical room	Good	Water Heater, Gas, Residential, 40 GAL [No tag/plate found]	1	10	1541866
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	3,596 SF	3	1541853
D2043	Basement mechanical room	Fair	Sump Pump, 3 HP [No tag/plate found]	1	3	1541860
D2091	Garage Bay (Apparatus bay)	Fair	Air Compressor, 6.5 HP [No tag/plate found]	1	6	1541874
Fire Suppression						
D4019	Throughout building	NA	Sprinkler System, Full Retrofit, Medium Density/Complexity, Install	3,596 SF	4	1582265
D4031	Interior Fire Extinguishers	Fair	Fire Extinguisher, Type ABC, up to 20 LB	3	3	1541886
HVAC						
D3021	Basement mechanical room	Fair	Boiler, Gas, 210 MBH [No tag/plate found]	1	3	1541842
D3022	Basement mechanical room	Fair	Expansion Tank, 40 GAL [Inaccessible]	1	3	1541865
D3042	Garage Bay (Apparatus bay)	Fair	Vehicle Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM [No tag/plate found]	1	5	1541844
D3049	Throughout building	Fair	HVAC System Hydronic Piping, 2-Pipe	3,596 SF	3	1541882
D3051	Garage Bay addition (Apparatus bay)	Fair	Unit Heater, Hydronic, 35 MBH [Inaccessible]	1	3	1541888
D3051	Throughout building	Poor	Radiator, Cast Iron, Column or Cabinet Style, 3 to 4 LF [No tag/plate found]	15	1	1541873
D3051	Window A/C units	Fair	Air Conditioner, Residential Window [No tag/plate found]	5	3	1541839
Electrical						
D5019	Throughout building	Fair	Full Electrical System Upgrade, Medium Density/Complexity	3,596 SF	3	1582360
D5019	Garage Bay (Apparatus bay)	Fair	Load Center, 120/240 V, 200 Amp, Single Phase Residential [No tag/plate found]	1	10	1541850
D5022	Front of building	Failed	Light Fixture, any type w/ LED Replacement, 100 W	1	0	1541840
D5022	Building exterior	Good	Light Fixture, any type w/ LED Replacement, 100 W	5	12	1580749
D5029	Throughout building	Poor	Lighting System, Interior, Medium Density & Standard Fixtures	3,596 SF	1	1541870
D5092	Interior exit signs	Fair	Exit Sign Light Fixture, LED	2	3	1541878
D5092	Site	Good	Generator, Gas or Gasoline, 20 kW [No tag/plate found]	1	17	1541877
Fire Alarm & Comm						
D5037	Throughout building	Failed	Fire Alarm System, Standard Addressable, Install	3,596 SF	0	1582314
Equipment/Special						
E1028	Install Defibrillator (AED)	Failed	Defibrillator (AED), Cabinet Mounted, Install	1	0	1581721
E1094	Kitchen	Fair	Residential Appliances, Refrigerator, 14-18 CF	1	5	1580952
E1094	Kitchen	Fair	Residential Appliances, Range, Electric	1	5	1580951
E2012	Kitchen	Fair	Kitchen Cabinetry, Stock Hardwood	16 LF	5	1580955
E2012	Kitchen	Fair	Kitchen Counter, Plastic Laminate, Postformed	12 LF	5	1580953
Pavement						
G2022	Install at gravel lot (rear elevation)	Poor	Parking Lots, Asphalt Pavement, Full Depth (includes sub-base), Install	1,000 SF	0	1541856
G2022	Throughout asphalt pavement areas (north and east elevations)	Poor	Parking Lots, Asphalt Pavement, Mill & Overlay	3,790 SF	0	1541849
G2022	Throughout asphalt pavement areas	NA	Parking Lots, Asphalt Pavement, Seal & Stripe	3,790 SF	5	1581446
Site Development						
G2042	Front of building	Failed	Retaining Wall, Cast-in-place Concrete (per SF Face)	50 SF	0	1580918
Follow-up Studies						
P000X	Structural study	Poor	Engineer, Structural, Superstructure, Evaluate/Report	1	0	1580620
P000X	Water intrusion study	Poor	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	1	0	1580618
Accessibility						
Z105X	ADA Study	NA	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	1	0	1551108 Help

Bourne / Jonathan Bourne Library

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Brick Veneer, 1-2 Stories	4,875 SF	30	1628526
B2021	Building Exterior	Fair	Window, Aluminum Double-Glazed 24 SF, 1-2 Stories	45	20	1628505
B2031	Building Exterior	Good	Exterior Door, Aluminum-Framed Fully-Glazed	3	18	1628506
B2032	Building Exterior	Fair	Exterior Door, Wood Solid-Core w/ Glazing Decorative High-End	10	20	1628518
Interiors						
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	18,350 SF	6	1645599
C3025	Throughout building	Poor	Interior Floor Finish, Carpet Commercial Standard	9,500 SF	0	1645597
C3031	Throughout building	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	12,350 SF	6	1645598
Plumbing						
D2011	Restroom	Good	Toilet, Commercial Water Closet	4	18	1628508
D2014	Restroom	Good	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	5	18	1628514
D2018	Throughout building	Fair	Drinking Fountain, Interior	1	3	1628531
D2023	Boiler room	Fair	Water Heater, 40 GAL	1	3	1628510
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	17,880 SF	28	1645596
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Wet Chemical/CO2	3	7	1628523
HVAC						
D3021	Boiler room	Good	Boiler, 126 - 250 MBH [No tag/plate found]	1	23	1628524
D3021	Boiler room	Good	Boiler, 399 MBH [No tag/plate found]	1	23	1628513
D3031	Site	Fair	Chiller, 44 TON [No tag/plate found]	1	10	1628512
D3041	Attic	Fair	Air Handler (AHU), Interior, 1,201 to 2,400 CFM [No tag/plate found]	1	5	1628530
D3041	Throughout building	Fair	HVAC System Ductwork, Medium Density	17,880 SF	18	1645592
D3041	Lobby	Fair	Unit Ventilator, 1,501 to 2,000 CFM (approx. 5 Ton) [No tag/plate found]	1	4	1628529
D3041	Throughout building	Fair	Unit Ventilator, 1,501 to 2,000 CFM (approx. 5 Ton) [No tag/plate found]	5	8	1628515
D3041	Attic	Fair	Air Handler (AHU), Interior, 8,001 to 10,000 CFM [No tag/plate found]	1	10	1628527
D3042	Throughout building	Fair	Exhaust Fan, 2000 CFM [No tag/plate found]	8	5	1628520
D3042	Attic	Poor	Exhaust Fan, 1 CFM [EF-5]	1	1	1628511
D3045	Boiler room	Fair	Distribution Pump, 5 HP [No tag/plate found]	1	19	1628522
D3045	Boiler room	Fair	Distribution Pump, 1 HP [No tag/plate found*]	1	9	1628525
D3045	Boiler room	Fair	Distribution Pump, 1 HP [No tag/plate found]	1	9	1628519
Electrical						
D5012	Electrical room	Good	Main Distribution Panel, 400 AMP [PP1]	1	24	1628509
D5019	Throughout building	Fair	Full Electrical System Upgrade, Medium Density/Complexity	17,880 SF	28	1645595
D5029	Throughout building	Fair	Lighting System, Interior, Medium Density & Standard Fixtures	17,880 SF	8	1645593
D5092	Throughout building	Fair	Exit Sign Light Fixture, LED	6	6	1628516
Fire Alarm & Comm						
D5037	Electrical room	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	9	1628517
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable	17,880 SF	8	1645594
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	18,825 SF	3	1645591
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	18,825 SF	3	1628521
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Clay Brick/Masonry Pavers	250 SF	18	1628528
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Sections/Small Areas	565 SF	28	1628507

Bourne / Keith Field - Concession Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A1011	Building Exterior	Good	Foundation Wall, Concrete or CMU w/ Continuous Footings	95 LF	50	1580740
B1012	Throughout Building	Poor	Structural Flooring/Decking, Wood	500 SF	1	1580744
B101X	Throughout Building	Poor	Structural Frame	300 SF	1	1580741
B1022	Roof	Poor	Roof Structure, Pitched, Wood Rafters	500 SF	1	1580736
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Wood Clapboard Siding, 1-2 Stories	300 SF	1	1580738
B2032	Building Exterior	Poor	Exterior Door, Steel	1	1	1580742
B2034	Building Exterior	Poor	Overhead/Dock Door, Steel 144 SF	2	1	1580734
Roofing						
B3011	Roof	Poor	Roof, Asphalt Shingle 20-Year	500 SF	1	1580735
Plumbing						
D2014	Throughout building	Poor	Sink/Lavatory, Vanity Top, Stainless Steel	1	1	1580737
D2023	Throughout building	Good	Water Heater, Electric, Residential, 6 GAL	1	14	1580743
HVAC						
D3042	Throughout building	Poor	Exhaust Fan, Propeller, 1,000 CFM (less than 0.25 HP) [Inaccessible]	1	1	1580748
Electrical						
D5012	Throughout building	Poor	Main Distribution Panel, 120/240 V, 100 Amp Residential-Style	1	1	1580747
D5019	Throughout building	Poor	Full Electrical System Upgrade, Low Density/Complexity	500 SF	1	1580746
D5029	Throughout building	Poor	Lighting System, Interior, Low Density & Standard Fixtures	500 SF	1	1580745
Site Development						
G2042	Site	Fair	Retaining Wall, Cast-in-place Concrete (per SF Face)	175 SF	25	1580739

Bourne / Monument Beach Field - Concession Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
B1015	Building exterior	Fair	Exterior Stairs, Wood	35 SF	3	1649416
Facade						
B2011	Building exterior	Fair	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	450 SF	4	1649417
B2011	Building exterior	Fair	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	450 SF	18	1649415
B2021	Building exterior	Good	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories	5	18	1649405
B2032	Building exterior	Good	Exterior Door, Steel	3	28	1649406
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 30-Year	625 SF	18	1649414
Plumbing						
D2023	Ground floor	Fair	Water Heater, Electric, Residential, 5 to 15 GAL [No tag/plate found]	1	3	1628614
D2029	Throughout building	Good	Plumbing System, Supply & Sanitary, Very Low Density (excl fixtures)	500 SF	28	1649409
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	18	1628617
D5012	Second floor	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	18	1628615
D5019	Throughout building	Good	Full Electrical System Upgrade, Low Density/Complexity	500 SF	28	1649408
D5022	Site	Fair	Light Fixture, Interior High Bay (w/ LED Replacement), 200 W	4	5	1628616
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	500 SF	8	1649407
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	500 SF	8	1649412

Bourne / Monument Beach Field - Concession Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Equipment/Special						
E1027	Ground floor	Fair	Sink, Laboratory, Stainless Steel w/ Drainboard	1	3	1649402
Site Development						
G2041	Site	Good	Fences & Gates, Chain Link, 8' High	890 LF	28	1649403
G2042	Site	Good	Retaining Wall, Brick/Stone (per SF Face)	25 SF	28	1649404

Bourne / Pocasset Field - Concession Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Exterior upper walls	Fair	Exterior Wall, Vinyl Siding	800 SF	10	1541688
B2011	Exterior walls, soffits, fascia, windows	Poor	Exterior Wall, any Painted Surface, Prep & Paint	925 SF	1	1541694
B2021	Building exterior	Fair	Window, Aluminum Double-Glazed 24 SF	2	10	1541700
B2021	Building exterior	Fair	Window, Aluminum Double-Glazed 12 SF	2	10	1541682
B2032	Building exterior	Fair	Exterior Door, Steel	3	3	1541693
B2032	Building exterior	Poor	Exterior Door, Steel	1	1	1541701
Roofing						
B3011	Secondary Roof - west side of building	Fair	Roof, Asphalt Shingle 20-Year	100 SF	8	1577266
B3011	Primary Roof	Fair	Roof, Modified Bituminous	400 SF	8	1541695
B3016	Roof drainage	Failed	Gutters & Downspouts, Aluminum w/ Fittings	70 LF	0	1541699
Interiors						
C3012	Interior walls	Fair	Interior Wall Finish, any surface, Prep & Paint	750 SF	3	1541686
C3031	Interior ceilings	Poor	Interior Ceiling Finish, any flat surface, Prep & Paint	500 SF	1	1541690
Plumbing						
D2014	1st floor concession area	Fair	Sink, Vanity Top, Stainless Steel	1	5	1541684
D2021	Install a backflow prevent	Failed	Backflow Preventer, Domestic, 1"	1	0	1541687
D2023	1st floor inside cabinet below sink	Good	Water Heater, Electric, Residential, 6 GAL [No tag/plate found]	1	13	1541692
D2029	Plumbing pipes	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	250 SF	10	1541697
Fire Suppression						
D4019	Throughout building	NA	Sprinkler System, Full Retrofit, Medium Density/Complexity, Install	500 SF	4	1577389
D4031	1st floor concession area	Fair	Fire Extinguisher, Type ABC, up to 20 LB	1	3	1577383
D4031	1st floor concession area	Fair	Fire Extinguisher, Wet Chemical/CO2	1	3	1541685
D4091	Kitchen hood	Fair	Fire Suppression System, Commercial Kitchen (per LF of Hood) [No tag/plate found]	4 LF	7	1541681
HVAC						
D3042	Building exterior	Fair	Exhaust Fan, Centrifugal, 1,000 CFM (12" Damper) [No tag/plate found]	1	4	1541696
Electrical						
D5012	2nd floor of building	Fair	Main Distribution Panel, 120/208 V, 200 Amp	1	10	1541691
D5019	Throughout building	Fair	Full Electrical System Upgrade, Medium Density/Complexity	500 SF	10	1577390
D5029	Interior lights	Poor	Lighting System, Interior, Medium Density & Standard Fixtures	500 SF	1	1541680
Fire Alarm & Comm						
D5037	Throughout building	NA	Fire Alarm System, Standard Addressable, Install	500 SF	0	1577388
Equipment/Special						
E1093	1st floor concession area	Fair	Commercial Kitchen, Exhaust Hood, 4 LF [No tag/plate found]	4	7	1541689
E2012	1st floor concession area	Fair	Kitchen Counter, Plastic Laminate, Postformed	24 LF	3	1541698
E2012	1st floor concession area	Fair	Kitchen Cabinetry, Stock Hardwood	28 LF	5	1541683

Pavement

Bourne / Pocasset Field - Concession Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2022	Site- parking area adjacent to concession building and play areas	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	8,000 SF	13	1550508
G2022	Site- parking area adjacent to concession building and play areas	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	8,000 SF	3	1550507
Accessibility						
Z105X	ADA Study	NA	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	1	0	1550980

Bourne / Police Station - 175 Main St

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
A1031	Garage	Poor	Foundations	2,138 SF	1	1642836
Facade						
B2021	Building exterior	Poor	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories	15	1	1642835
B2034	Building Exterior	Fair	Overhead/Dock Door, Steel 144 SF	3	3	1595200
Roofing						
B3011	Lower Roof	Fair	Roof, Single-Ply EPDM Membrane	2,760 SF	6	1595235
B3011	Roof	Poor	Roof, Single-Ply TPO/PVC Membrane	2,650 SF	1	1595230
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	18	17	1595236
C3012	Restrooms	Fair	Interior Wall Finish, Ceramic Tile	250 SF	17	1595223
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	12,450 SF	4	1595212
C3021	Locker room	Fair	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	850 SF	5	1595220
C3024	Lobby	Poor	Interior Floor Finish, Vinyl Tile (VCT) w/ Asbestos Abatement	1,250 SF	1	1595241
C3024	Restrooms	Fair	Interior Floor Finish, Ceramic Tile	235 SF	17	1595233
C3024	Throughout building	Poor	Interior Floor Finish, Vinyl Tile (VCT)	3,522 SF	1	1595240
C3025	Throughout building	Fair	Interior Floor Finish, Carpet Commercial Standard	4,250 SF	3	1595221
C3032	Throughout building	Poor	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	5,250 SF	2	1595222
C3032	Throughout building	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	7,500 SF	4	1595206
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	4	7	1595237
D2012	Restrooms	Good	Urinal, Standard	2	27	1595207
D2014	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	4	7	1595239
D2014	Holding cells	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	4	7	1595201
D2017	Locker rooms	Good	Shower, Fiberglass	2	17	1595229
D2018	Throughout building	Fair	Drinking Fountain, Interior	2	7	1595202
D2021	Utility closet	Fair	Backflow Preventer, Domestic, 2" [No tag/plate found]	1	7	1595211
D2023	Holding cells	Good	Water Heater, Mini, 2.7 GAL [No tag/plate found]	1	12	1595217
D2023	Boiler room	Fair	Water Heater, Gas, Residential, 50 GAL [No tag/plate found]	1	8	1595244
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	8,188 SF	6	1596568
D2034	Mens locker room	Good	Sewage Ejector Pump, 10 - 15 HP [No tag/plate found]	1	21	1595227
D2043	Boiler room	Good	Sump Pump, 3 HP [No tag/plate found]	1	13	1595199
Fire Suppression						
D4031	Throughout building	Good	Fire Extinguisher, Wet Chemical/CO2	12	5	1595210
HVAC						
D3021	Boiler room	Good	Boiler, Gas, 251 to 500 MBH [No tag/plate found]	1	26	1595242
D3032	Roof	Fair	Condensing Unit, Split System, 3.5 Ton [No tag/plate found]	1	3	1595204
D3032	Roof	Fair	Condensing Unit/Heat Pump, Split System, 4 Ton [No tag/plate found]	1	3	1595214

Bourne / Police Station - 175 Main St

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3041	Server room	Fair	Air Handler (AHU), Interior, 1,201 to 2,400 CFM [No tag/plate found]	1	2	1595208
D3041	Server room	Fair	Air Handler (AHU), Interior, 1,201 to 2,400 CFM	1	2	1595245
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM [No tag/plate found]	1	8	1595231
D3044	Boiler room	Fair	Distribution Pump, Heating Water, 3 HP [No tag/plate found]	1	5	1595226
D3044	Boiler room	Fair	Distribution Pump, Heating Water, 3 HP [No tag/plate found]	1	5	1595238
D3044	Boiler room	Fair	Distribution Pump, Heating Water, 3 HP [No tag/plate found]	1	3	1595243
D3044	Boiler room	Fair	Distribution Pump, Heating Water, 3 HP [No tag/plate found]	1	3	1595209
D3044	Boiler room	Fair	Distribution Pump, Heating Water, 3 HP [No tag/plate found]	1	3	1595228
D3051	Throughout building	Fair	Radiator, Hydronic Baseboard (per LF) [No tag/plate found]	450 LF	7	1595232
Electrical						
D5012	Garage	Fair	Transfer Switch, Automatic (ATS), 400 Amp [No tag/plate found]	1	5	1595216
D5012	Garage	Poor	Main Distribution Panel, 400 AMP [No tag/plate found]	1	2	1595213
D5019	Throughout building	Fair	Full Electrical System Upgrade, Medium Density/Complexity	8,188 SF	17	1596567
D5029	Throughout building	Fair	Lighting System, Interior, Medium Density & Standard Fixtures	8,188 SF	3	1596565
D5092	Throughout building	Poor	Emergency/Exit Combo LED	12	1	1595224
D5092	Site	Good	Generator, Gas or Gasoline, 40 kW to 80 kW [No tag/plate found]	1	17	1595215
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Install	8,188 SF	3	1596566
Equipment/Special						
E1026	Holding cells	Fair	Toilet & Wash Basin, Stainless Steel, Detention Fixture	20	7	1595203
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	22,460 SF	2	1595219
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	22,460 SF	3	1596343
Site Development						
G2048	Site	Good	Flagpole, Metal	1	10	1595218
Bourne / Town Hall						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Brick Veneer, 1-2 Stories	4,560 SF	31	1580502
B2011	Building Exterior	Good	Exterior Wall, Brick Veneer, 3+ Stories	2,855 SF	30	1580525
B2011	Building Exterior	Fair	Exterior Wall, Vinyl Siding, 1-2 Stories	2,750 SF	11	1580495
B2021	Building Exterior	Fair	Window, Wood Historical 24 SF	50	24	1580490
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	6	11	1580516
B2032	Building Exterior	Fair	Exterior Door, Fiberglass	4	10	1580507
Roofing						
B3011	Main roof	Fair	Roof, Asphalt Shingle 30-Year	7,465 SF	10	1584223
B3011	Lower roof	Good	Roof, Single-Ply EPDM Membrane	2,495 SF	6	1584314
Interiors						
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	24,545 SF	6	1596256
C3024	Restrooms	Good	Interior Floor Finish, Ceramic Tile	1,750 SF	38	1596258
C3025	Restrooms	Good	Interior Floor Finish, Carpet Commercial Standard	13,550 SF	6	1596335
C3032	Throughout building	Good	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	12,350 SF	19	1596257
Elevators						
D1011	Elevator	Fair	Elevator, 1500 LB, Renovate [No tag/plate found]	1	3	1580526

Bourne / Town Hall

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D1019	Elevator	Fair	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	7	1580522
Plumbing						
D2011	Restrooms	Good	Toilet, Commercial Water Closet	4	29	1596254
D2014	Restrooms	Good	Sink/Lavatory, Wall-Hung, Enameled Steel	4	29	1596255
D2023	Boiler room	Fair	Water Heater, Gas, Residential, 40 GAL [No tag/plate found]	1	6	1580514
D2034	Mechanical room	Fair	Sewage Ejector Pump, 10 to 15 HP [No tag/plate found]	1	11	1580511
Fire Suppression						
D4011	Sprinkler room	Fair	Backflow Preventer, 4 INCH [No tag/plate found]	1	21	1580493
D4019	Throughout building	Fair	Sprinkler System, Full Retrofit, Medium Density/Complexity, Renovate	18,752 SF	17	1596253
D4031	Throughout building	Fair	Fire Extinguisher, Type ABC, up to 20 LB	20	5	1596320
HVAC						
D3021	Boiler room	Fair	Boiler, 399 MBH [No tag/plate found]	1	24	1580506
D3021	Boiler room	Fair	Boiler, 399 MBH [No tag/plate found]	1	24	1580508
D3032	Building exterior	Good	Ductless Split System, Single Zone, 0.75 to 1 Ton	1	12	1580489
D3032	Site	Fair	Condensing Unit/Heat Pump, 15 TON [No tag/plate found]	1	3	1580500
D3032	Site	Fair	Condensing Unit/Heat Pump, 15 TON [No tag/plate found]	1	3	1580513
D3032	Building exterior	Good	Ductless Split System, Single Zone, 2.5 Ton [No tag/plate found]	1	10	1580527
D3032	Building exterior	Good	Ductless Split System, Single Zone, 1 Ton [No tag/plate found]	1	8	1580524
D3032	Site	Poor	Condensing Unit/Heat Pump, 5 TON [No tag/plate found]	1	1	1580535
D3032	Site	Fair	Condensing Unit/Heat Pump, Split System, 3.5 Ton [No tag/plate found]	1	3	1580517
D3032	Building exterior	Good	Ductless Split System, Single Zone, 0.75 to 1 Ton [No tag/plate found]	1	8	1580488
D3041	Breakroom	Fair	Air Handler (AHU), 6000 CFM [AC-4]	1	7	1580501
D3041	Assessors	Fair	Air Handler (AHU), 6000 CFM [AC-04****]	1	7	1580497
D3041	Workroom	Fair	Air Handler (AHU), 6000 CFM [No tag/plate found]	1	7	1580520
D3041	Clerk	Fair	Air Handler (AHU), 6000 CFM [AC-04***]	1	7	1580491
D3041	Utility closet	Fair	Air Handler (AHU), 6000 CFM [FCU-05]	1	7	1580503
D3041	Throughout building	Fair	Unit Ventilator, 300 to 750 CFM (approx. 2 Ton) [No tag/plate found]	3	5	1580515
D3041	Chiller pump room	Fair	Air Handler (AHU), 6000 CFM [FCU-04]	1	7	1580519
D3041	Planning	Fair	Air Handler (AHU), Interior, 4,001 to 6,000 CFM [No tag/plate found]	1	7	1580521
D3041	Utility closet	Fair	Air Handler (AHU), 6000 CFM [No tag/plate found]	1	7	1580505
D3041	Inspection services	Fair	Air Handler (AHU), 6000 CFM [No tag/plate found]	1	7	1580528
D3041	Basement	Fair	Air Handler (AHU), 6000 CFM [No tag/plate found]	1	7	1580492
D3041	Selectman storage	Fair	Air Handler (AHU), 6000 CFM [AC-04]	1	7	1580523
D3045	Chiller pump room	Fair	Distribution Pump, 1.5 HP [P-2]	1	6	1580498
D3045	Chiller pump room	Fair	Distribution Pump, 1.5 HP [P-1]	1	6	1580512
Electrical						
D5012	Electrical room	Good	Transfer Switch, 600 AMP [No tag/plate found]	1	16	1580510
D5012	Electrical room	Fair	Main Distribution Panel, 600 AMP [No tag/plate found]	1	7	1580499
D5019	Throughout building	Fair	Full Electrical System Upgrade8, Medium Density/Complexity	18,752 SF	17	1596563
D5029	Throughout building	Fair	Lighting System, Interior, Medium Density & Standard Fixtures	18,752 SF	6	1596564
D5092	Site	Fair	Generator, 60 kW [No tag/plate found]	1	11	1580518
D5092	Throughout building	Fair	Emergency/Exit Combo LED, Type ABC, up to 20 LB	15	3	1596333
D5092	Electrical room	Fair	Uninterruptible Power Supply (UPS), 150 kVA [No tag/plate found]	1	6	1580504
Fire Alarm & Comm						
D5037	Throughout building	Poor	Fire Alarm System, Basic/Zoned, Install	18,752 SF	2	1596317

Bourne / Town Hall

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5037	Sprinkler room	Poor	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	0	1580509
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	32,500 SF	3	1580496
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	32,500 SF	11	1585892
Site Development						
G2048	Site	Fair	Flagpole, Metal	1	16	1580494

Bourne / Town Hall - DNR Garage

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Fair	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	1,920 SF	18	1624145
B2021	Building Exterior	Fair	Window, Vinyl-Clad Double-Glazed 12 SF, 3+ Stories	5	10	1580531
B2032	Building exterior	Fair	Exterior Door, Wood Solid-Core	1	7	1624142
B2034	Building exterior	Fair	Overhead/Dock Door, Aluminum 288 SF	2	8	1624143
Roofing						
B3011	Building exterior	Fair	Roof, Asphalt Shingle 30-Year	4,325 SF	10	1624146
Interiors						
C3012	Workshop	Fair	Interior Wall Finish, any surface, Prep & Paint	1,250 SF	5	1624212
HVAC						
D3051	Mechanical closet	Poor	Furnace, Gas, 51 to 100 MBH [No tag/plate found]	1	1	1580530
D3051	Workshop	Fair	Unit Heater, Hydronic, 37 to 85 MBH [Inaccessible]	2	8	1624071
Electrical						
D5012	Workshop	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	14	1580529
D5019	Throughout interior	Fair	Full Electrical System Upgrade, Low Density/Complexity	3,000 SF	18	1624536
D5029	Throughout interior	Fair	Lighting System, Interior, Low Density & Standard Fixtures	3,000 SF	8	1624219
D5092	Workshop	NA	Exit Sign Light Fixture, LED	1	0	1624218
Fire Alarm & Comm						
D5037	Throughout interior	Fair	Fire Alarm System, Basic/Zoned, Install	3,000 SF	8	1624220

BPS / BPS - Bourne High School

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Structure						
B1014	Site	Fair	Exterior Ramp, Wood	350 SF	10	1577623
B1015	Building Exterior	Fair	Exterior Stairs, Metal or Pan-Filled	750 SF	20	1577580
B1019	Building Exterior	Fair	Loading Dock, Concrete	150 SF	25	1577641
B1019	Site	Poor	Loading Dock, Concrete	75 SF	2	1577657
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Concrete, Repair	500 SF	0	1577601
B2011	Building Exterior	Fair	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	4,500 SF	6	1577584
B2011	Building Exterior	Poor	Exterior Wall, Joint Caulking 1/2" to 1"	3,500 LF	1	1577593
B2011	Building Exterior	Fair	Exterior Wall, Fiberglass Panel	4,500 SF	6	1577631
B2021	Building Exterior	Fair	Window, 24 SF	28	16	1577637
B2021	Building Exterior	Fair	Window, 12 SF	86	16	1577607
B2021	Building Exterior	Fair	Window, 12 SF	364	16	1577595
B2023	Building Exterior	Fair	Storefront, Metal-Framed Windows w/out Door(s)	1,200 SF	8	1577579

BPS / BPS - Bourne High School

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	20	15	1577624
B2032	Building Exterior	Fair	Exterior Door, Steel	31	20	1577589
B2034	Building Exterior	Fair	Overhead/Dock Door, 144 SF	1	10	1577586
B2034	Building Exterior	Fair	Overhead/Dock Door, 144 SF	2	20	1577620
Roofing						
B3011	Roof	Fair	Roof, Single-Ply TPO/PVC Membrane	1,150 SF	13	1577591
B3011	Roof	Poor	Roof, Single-Ply EPDM Membrane	1,400 SF	1	1577644
B3011	Roof	Poor	Roof, Built-Up	108,550 SF	1	1577588
B3011	Building Exterior	Fair	Roof, Metal	625 SF	11	1577598
B3021	Roof	Poor	Roof Skylight, per unit (9-20 SF)	3	1	1577642
B3021	Roof	Fair	Roof Skylight, per unit (9-20 SF)	8	20	1577635
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	255	20	1577602
C1031	Restrooms	Fair	Toilet Partitions, Metal	40	10	1537579
C1033	Throughout building	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	940	10	1577622
C1033	Locker Room	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	350	15	1577572
C2021	Throughout building	Fair	Interior Stair Treads, Raised Rubber Tile	600 SF	9	1577669
C3012	Auditorium	Fair	Interior Wall Finish, Wood Paneling	1,750 SF	15	1577638
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	115,000 SF	5	1577577
C3021	Throughout building	Fair	Interior Floor Finish, any surface w/ Paint or Sealant, Prep & Paint	3,500 SF	5	1577667
C3024	Throughout building	Fair	Interior Floor Finish, Rubber Tile	1,500 SF	7	1577603
C3024	Kitchen	Fair	Interior Floor Finish, Quarry Tile	1,000 SF	21	1577599
C3024	Locker Room	Fair	Interior Floor Finish, Ceramic Tile	200 SF	20	1577582
C3024	Throughout building	Good	Interior Floor Finish, Vinyl Tile (VCT)	75,000 SF	12	1577647
C3024	Throughout building	Fair	Interior Floor Finish, Terrazzo	25,000 SF	25	1577613
C3024	Gymnasium	Fair	Interior Floor Finish, Maple Sports Floor	9,750 SF	17	1577662
C3025	Auditorium	Poor	Interior Floor Finish, Carpet Commercial Standard	2,000 SF	1	1577643
C3025	Library	Fair	Interior Floor Finish, Carpet Commercial Standard	4,500 SF	6	1577659
C3031	Gymnasium	Fair	Interior Ceiling Finish, Plywood	9,750 SF	15	1577615
C3032	Throughout building	Poor	Interior Ceiling Finish, Hard Tile Ceiling w/ ACT	42,000 SF	1	1577629
C3032	Throughout building	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	98,000 SF	8	1577585
Elevators						
D1011	Elevator machine room	Poor	Elevator Controls, Automatic, 1 Car, Modernize [No tag/plate found]	1	1	1537511
D1011	Elevator machine room	Poor	Elevator, Hydraulic, 2000 LB, 2 Floors, Renovate [No tag/plate found]	1	1	1537598
D1011	Elevator machine room B2	Fair	Elevator Controls, Automatic, 1 Car, Modernize [No tag/plate found]	1	15	1537528
D1011	Elevator machine room B2	Poor	Elevator, Hydraulic, 2000 LB, 2 Floors, Renovate [No tag/plate found]	1	1	1537522
D1019	Elevator cab	Fair	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	5	1537572
D1019	Elevator cab	Fair	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	8	1537562
Plumbing						
D2011	Restrooms	Poor	Toilet, Commercial Water Closet	42	1	1537570
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	20	10	1537626
D2012	Restrooms	Fair	Urinal, Standard	7	10	1537541
D2012	Restrooms	Poor	Urinal, Standard	23	1	1537612
D2014	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	21	5	1537532
D2014	Utility closet	Fair	Service Sink, Wall-Hung	9	5	1537597

BPS / BPS - Bourne High School

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2014	Restrooms	Fair	Sink, Solid Surface, Trough Style, Vandalism Resistant	8	5	1537509
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 3-Bowl	1	15	1577596
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 2-Bowl	1	15	1577625
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 2-Bowl	1	15	1577616
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	1	15	1577604
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	1	15	1577665
D2014	Science/Lab classrooms	Poor	Sink/Lavatory, Vanity Top, Solid Surface and Sink	48	0	1537503
D2017	Locker rooms	Good	Shower, Fiberglass	2	15	1537536
D2017	Boys locker room showers	Fair	Shower Head w/ Valve	20	5	1537559
D2017	Girls locker room showers	Fair	Shower Head w/ Valve	12	10	1537542
D2018	Corridor	Fair	Drinking Fountain, Interior	2	6	1537521
D2018	Corridor	Good	Drinking Fountain, Interior	1	13	1537618
D2018	Corridor	Fair	Drinking Fountain, Interior	1	8	1537589
D2018	Corridors	Poor	Drinking Fountain, Interior	6	1	1537605
D2019	Science/Lab classrooms	Good	Emergency Eye Wash [No tag/plate found]	8	15	1537637
D2019	Science/Lab classrooms	Failed	Emergency Eye Wash & Shower Station [No tag/plate found]	8	0	1537586
D2021	Various mechanical rooms, the tunnel, above 2nd floor corridor ceiling, and in locker rooms	Poor	Pipe Insulation, Fiberglass, Heating Water/Steam	5,000 LF	1	1595044
D2021	Art Level Boiler room	Fair	Backflow Preventer, Domestic, 2" [No tag/plate found]	1	5	1537632
D2023	Art Level Boiler room	Poor	Domestic Circulation Pump, 2 HP [No tag/plate found]	1	2	1537580
D2023	Art Level Boiler room	Fair	Water Heater, Indirect, 119 GAL [No tag/plate found]	1	8	1577646
D2023	Art Level Boiler room	Fair	Domestic Boiler, Gas, 399 MBH [No tag/plate found]	1	18	1577581
D2023	Art Level Mechanical Room	Fair	Domestic Circulation Pump, HP	1	8	1577648
D2023	Art Level Mechanical Room	Fair	Domestic Circulation Pump, HP	1	8	1577573
D2023	Art Level Mechanical Room	Fair	Domestic Circulation Pump, HP	1	8	1577664
D2023	Heating system pumps in Tunnel	Poor	Domestic Circulation Pump, 1/8 HP [No tag/plate found]	8	1	1537610
D2023	Art Level Boiler room	Fair	Water Heater, Indirect, 119 GAL [No tag/plate found]	1	8	1577630
D2023	Art Level Mechanical Room	Fair	Domestic Circulation Pump, HP	1	8	1577651
D2023	Art Level Mechanical Room	Fair	Domestic Circulation Pump, HP	1	8	1577639
D2023	Art Level Boiler room	Good	Water Heater, Indirect, 109.4 GAL [No tag/plate found]	1	12	1577660
D2029	Throughout building	Poor	Plumbing System, Supply & Sanitary, High Density (excl fixtures)	159,517 SF	1	1537576
D2034	Kitchen	NA	Grease Trap/Interceptor, Undercounter, Install	1	0	1595814
D2043	Art Level Boiler room	Fair	Sump Pump, 3 HP [No tag/plate found]	1	5	1537555
D2043	C-Wing Boiler room	Fair	Sump Pump, 3 HP [No tag/plate found]	1	5	1537533
D2091	Art Level Mechanical Room	Fair	Air Compressor, 10 HP	1	4	1577627
Fire Suppression						
D4011	Stage	Fair	Backflow Preventer, Fire Suppression, 4"	1	10	1537584
D4019	Throughout building, except for stage	NA	Sprinkler System, Full Retrofit, High Density/Complexity, Renovate	157,517 SF	1	1537617
D4019	Stage	Fair	Sprinkler Heads (per SF)	2,000 SF	3	1537577
D4031	Interior Fire Extinguishers	Fair	Fire Extinguisher, Type ABC, up to 20 LB	28	4	1537510
D4091	Kitchen	Fair	Fire Suppression System, Commercial Kitchen (per LF of Hood), Install/Replace	20 LF	10	1577600
HVAC						
D3021	Art Level Boiler room	Poor	Boiler, Gas, 5,610 MBH [Boiler-1]	1	1	1537520
D3021	C-Wing Boiler room	Poor	Boiler, Gas, 3,578 MBH [Boiler-1]	1	1	1537504
D3021	C-Wing Boiler room	Poor	Boiler, Gas, 3,578 MBH [Boiler-2]	1	1	1537588
D3021	Art Level Boiler room	Poor	Boiler, Gas, 5,610 MBH [Boiler-2]	1	1	1537635

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3022	C-Wing Boiler room	Poor	Shot Feed Tank, 5 GAL [No tag/plate found]	1	1	1537565
D3022	Art Level Boiler room	Fair	Air Separator, 4" [Inaccessible]	1	3	1537640
D3022	C-Wing Boiler room	Fair	Expansion Tank, 200 GAL [No tag/plate found]	1	11	1537604
D3022	C-Wing Boiler room	Fair	Air Separator, 4" [Inaccessible]	1	3	1537518
D3022	Art Level Boiler room	Fair	Expansion Tank, 200 GAL [No tag/plate found]	1	11	1537630
D3022	Art Level Boiler room	Poor	Shot Feed Tank, 5 GAL [No tag/plate found]	1	1	1537500
D3032	Roof (above science/lab classrooms)	Poor	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton [No tag/plate found]	1	1	1537573
D3032	Courtyard	Good	Ductless Split System, Single Zone, 3 Ton [Library]	1	12	1537505
D3032	Roof (above science/lab classrooms)	Poor	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton [403]	1	1	1537621
D3032	Courtyard	Good	Ductless Split System, Single Zone, 3 Ton [Library]	1	12	1537596
D3032	Courtyard	Good	Ductless Split System, Single Zone, 1 Ton [Library]	1	12	1537602
D3032	Courtyard	Good	Ductless Split System, Single Zone, 2 Ton [Library]	1	12	1537552
D3032	Courtyard	Fair	Ductless Split System, Single Zone, 2 Ton [Robotics classroom]	1	6	1537568
D3032	Courtyard	Fair	Ductless Split System, Single Zone, 1.5 Ton [Student services]	1	6	1537537
D3032	Courtyard	Good	Ductless Split System, Single Zone, 3 Ton [Library]	1	12	1537585
D3032	Courtyard	Good	Ductless Split System, Single Zone, 2 Ton [Professional Library]	1	12	1537599
D3032	Roof (above science/lab classrooms)	Poor	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton [No tag/plate found]	1	1	1537514
D3041	Classrooms	Poor	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton)	49	1	1537603
D3041	Mechanical room	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537567
D3041	Kitchen	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1577628
D3041	Mechanical room	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537574
D3041	Library	Poor	Unit Ventilator, 1,251 to 1,500 CFM (approx. 4 Ton)	2	1	1537582
D3041	HVAC metal ducts	Fair	HVAC System Ductwork, Medium Density	40,000 SF	10	1537527
D3041	Mechanical room	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537554
D3041	Art classroom	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537512
D3041	Art Level Boiler room	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537578
D3041	C-Wing Boiler room	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537557
D3041	Graphics art classroom	Poor	Air Handler (AHU), Interior, 5,000 CFM [No tag/plate found]	1	1	1537547
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,500 CFM [AUD / EF-21]	1	1	1537623
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-2]	1	1	1537540
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,500 CFM [Kitchen]	1	1	1537639
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-23]	1	1	1537575
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [300 / EF-16]	1	0	1537569
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [No tag/plate found]	1	0	1537616
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [G1]	1	0	1537545
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-8]	1	1	1537516
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [1]	1	0	1537506
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [G2]	1	0	1537628
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [No tag/plate found]	1	0	1537581
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [290 / EF-25]	1	1	1537590
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [280 / EF-27]	1	1	1537519
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [240]	1	1	1537548
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-3]	1	0	1537633
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [No tag/plate found]	1	1	1537609
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [No tag/plate found]	1	0	1537631

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3042	Roof	Poor	Exhaust Fan, Centrifugal, 1,500 CFM (16" Damper) [No tag/plate found]	1	0	1537643
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-18]	1	1	1537498
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 600 CFM [Dish washer]	1	0	1537530
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-19]	1	1	1537641
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [No tag/plate found]	1	0	1537614
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [No tag/plate found]	1	1	1537525
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-22]	1	1	1537535
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [260 / EF-9]	1	1	1537592
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [310 / EF-15]	1	0	1537507
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-5]	1	1	1537508
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-1]	1	0	1537563
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [400]	1	0	1537529
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [302]	1	1	1537624
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [2 / 401]	1	0	1537619
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-4]	1	1	1537551
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [No tag/plate found]	1	0	1537553
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 300 CFM [Inaccessible]	1	1	1537502
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [No tag/plate found]	1	0	1537544
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [No tag/plate found]	1	0	1537620
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-20]	1	1	1537499
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [250 / EF-10]	1	1	1537629
D3042	Roof	Poor	Exhaust Fan, Centrifugal, 1,000 CFM (12" Damper) [No tag/plate found]	1	0	1537561
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [No tag/plate found]	1	1	1537597
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 300 CFM [303]	1	1	1537549
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [270 / EF-26]	1	1	1537558
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-7]	1	1	1537513
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 400 CFM [No tag/plate found]	1	1	1537517
D3042	Roof	Poor	Exhaust Fan, Centrifugal, 1,500 CFM (16" Damper) [No tag/plate found]	1	0	1537564
D3042	Roof	Poor	Exhaust Fan, Roof or Wall Mounted, 250 CFM [311 / EF-17]	1	1	1537627
D3044	Art Level Boiler room	Poor	Distribution Pump, Heating Water, 15 HP [P-1]	1	2	1537607
D3044	C-Wing Boiler room	Poor	Distribution Pump, Heating Water, 7.5 HP [P-7]	1	1	1537543
D3044	C-Wing Boiler room	Poor	Distribution Pump, Heating Water, 7.5 HP [P-6]	1	1	1537625
D3044	Art Level Boiler room	Poor	Distribution Pump, Heating Water, 10 HP [P-4]	1	1	1537636
D3044	Art Level Boiler room	Poor	Distribution Pump, Heating Water, 15 HP [P-2]	1	2	1537591
D3044	C-Wing Boiler room	Poor	Distribution Pump, Heating Water, 7.5 HP [P-8]	1	0	1537594
D3044	Art Level Boiler room	Poor	Distribution Pump, Heating Water, 7.5 HP [P-3]	1	2	1537606
D3049	Throughout building	Poor	HVAC System Hydronic Piping, 2-Pipe	159,517 SF	2	1537546
D3052	Roof (above Auditorium)	Fair	Packaged Unit (RTU), 20 Ton [No tag/plate found]	1	7	1537634
D3052	Roof (above music wing area)	Good	Packaged Unit (RTU), 7.5 Ton [No tag/plate found]	1	16	1537534
D3052	Roof (above music wing area)	Poor	Packaged Unit (RTU), 7.5 Ton [No tag/plate found]	1	1	1537615
D3052	Roof (above office area)	Poor	Packaged Unit (RTU), 7.5 Ton [No tag/plate found]	1	1	1537622
D3052	Roof (above music wing area)	Poor	Packaged Unit (RTU), 7.5 Ton [No tag/plate found]	1	1	1537642
D3052	Roof (above office area)	Poor	Packaged Unit (RTU), 7.5 Ton [No tag/plate found]	1	1	1537595
D3052	Roof (above Auditorium)	Fair	Packaged Unit (RTU), 20 Ton [No tag/plate found]	1	7	1537613
D3068	Throughout building	Poor	BAS/HVAC Controls, Extensive/Robust BMS or Smart Building System, Upgrade	159,517 SF	1	1537600

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Electrical						
D5012	Art Level Boiler room	Poor	Main Distribution Panel, 120/208 V, 200 Amp [No tag/plate found]	6	1	1537556
D5012	Tunnel Electrical room	Fair	Building/Main Switchboard, 277/480 V, 1,600 Amp [Main Electric]	1	11	1537524
D5012	Stage Electrical room	Fair	Main Distribution Panel, 277/480 V, 800 Amp [DP2]	1	3	1537515
D5012	Electrical / Fire Alarm Panel Room	Fair	Building/Main Switchboard, 277/480 V, 1,200 Amp [DPI]	1	11	1537593
D5012	Stage Electrical room	Fair	Secondary Transformer, Dry, 150 kVA [No tag/plate found]	1	13	1537560
D5012	Electrical / Fire Alarm Panel Room	Fair	Secondary Transformer, Dry, 300 kVA [T1]	1	13	1537638
D5012	Stage Electrical room	Fair	Secondary Transformer, Dry, 150 kVA [No tag/plate found]	1	13	1537611
D5019	Throughout building	Fair	Full Electrical System Upgrade, Medium Density/Complexity	159,517 SF	11	1595195
D5022	Building Exterior	Good	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W	28	18	1577612
D5029	Replace T-12 with LED in mechanical/boiler rooms, elevator cabs and stairs leading to C-Wing boiler room	Poor	Lighting System, Interior, Medium Density & Standard Fixtures	800 SF	0	1537566
D5029	Throughout building	Good	Lighting System, Interior, Medium Density & Standard Fixtures	159,517 SF	20	1537571
D5092	Interior illuminated exit signs	Fair	Exit Sign Light Fixture, LED	42	3	1537539
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Install	159,517 SF	5	1595145
D5037	Electrical / Fire Alarm Panel Room	Fair	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	5	1537523
D5038	Throughout building	Fair	Security/Surveillance System, Cameras and CCTV, Upgrade	159,517 SF	8	1537501
Equipment/Special						
E1028	Corridor by Gym	Good	Defibrillator (AED), Cabinet Mounted [No tag/plate found]	1	6	1537608
E1028	Corridor by auditorium	Good	Defibrillator (AED), Cabinet Mounted [No tag/plate found]	1	6	1537526
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Double [No tag/plate found]	1	5	1577661
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table	1	8	1577632
E1093	Kitchen	Fair	Commercial Kitchen, Tilting Skillet	1	10	1577652
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	9	1577645
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	8	1577606
E1093	Kitchen	Fair	Commercial Kitchen, 8 - 10 LF	1	7	1577587
E1093	Kitchen	Fair	Commercial Kitchen, Broiler	1	8	1577633
E1093	Kitchen	Fair	Commercial Kitchen, 8 - 10 LF	1	8	1577571
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 2-Door Reach-In	1	10	1577666
E1093	Kitchen	Fair	Commercial Kitchen, Walk-In Freezer	1	10	1577668
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table	1	8	1577656
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 2-Door Reach-In	1	7	1577618
E1093	Kitchen	Fair	Commercial Kitchen, 3 - 6 LF	1	7	1577574
E1093	Kitchen	Fair	Commercial Kitchen, Range/Oven, 4-Burner	1	8	1577576
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Double	1	5	1577597
E1093	Kitchen	Good	Commercial Kitchen, Steam Kettle	1	15	1577663
E1093	Kitchen	Fair	Commercial Kitchen, Steamer, Tabletop	1	5	1577608
E1093	Kitchen	Fair	Commercial Kitchen, Dishwasher	1	5	1577611
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table	1	7	1577619
E1093	Kitchen	Fair	Commercial Kitchen, Walk-In Refrigerator	1	10	1577590
E1093	Kitchen	Fair	Commercial Kitchen, Heat Lamps/Food Warming Fixture	1	5	1577655
E1093	Kitchen	Fair	Commercial Kitchen, Heat Lamps/Food Warming Fixture	1	5	1577650
E1099	Gymnasium	Good	Bleacher, 1 - 15 TIER, Replace (per Seat)	665	17	1577583
E2015	Auditorium	Fair	Auditorium Seating, Fixed Metal with Cushion	857	10	1577654
Pavement						

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2012	Site	Poor	Roadways, Asphalt Pavement, Seal & Stripe	76,000 SF	1	1577634
G2012	Site	Fair	Roadways, Asphalt Pavement, Mill & Overlay	76,000 SF	11	1577649
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	116,750 SF	10	1577626
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	116,750 SF	1	1577658
G2022	Site	Fair	Parking Lots, Curb & Gutter, Concrete	1,250 LF	20	1577653
G2031	Site	Fair	Pedestrian Pavement, Sidewalk, Concrete Large Areas	2,800 SF	25	1577592
G2031	Site	Fair	Pedestrian Pavement, Sidewalk, Asphalt	14,000 SF	10	1577570
Site Development						
G2042	Site	Fair	Retaining Wall, Concrete Masonry Unit (per SF Face)	185 SF	20	1577594
G2044	Site	Fair	Signage, Property, Monument/Pylon, Replace/Install	1	10	1577636
G2045	Site	Fair	Site Furnishings, Picnic Table, Plastic-Coated Metal	7	12	1577670
G2045	Site	Fair	Site Furnishings, Park Bench, Metal/Wood/Plastic	3	10	1577610
G2047	Gymnasium	Fair	Sports Apparatus, Scoreboard	2	13	1577621
G2047	Gymnasium	Fair	Sports Apparatus, Basketball Backstop	6	13	1577569
Site Lighting						
G4021	Site	Good	Site Pole Light, 20' High, 400 W (LED Lamp Replacement)	33	18	1577605
Follow-up Studies						
P000X	ACM Study	Poor	Engineer, Environmental, Sample for ACMs, Evaluate/Report	1	0	1537583
P000X	HVAC Study	Poor	Engineer, Mechanical/HVAC, General, Mechanical/HVAC Design	1	0	1595102
Accessibility						
Z105X	Throughout building	NA	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	1	0	1577609

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2021	Building Exterior	Excellent	Window, 24 SF	42	30	1662239
B2021	Building Exterior	Excellent	Window, 12 SF	25	30	1662166
B2023	Building Exterior	Excellent	Storefront, Metal-Framed Windows w/out Door(s)	2,750 SF	30	1662275
B2023	Building Exterior	Excellent	Storefront, Metal-Framed 3' x 7' Swinging Door Only	26	30	1662197
B2032	Building Exterior	Excellent	Exterior Door, Steel	6	40	1662185
B2034	Kitchen	Excellent	Overhead/Dock Door, 144 SF	1	30	1662153
Roofing						
B3011	Roof	Excellent	Roof, Single-Ply TPO/PVC Membrane	54,800 SF	20	1662258
B3021	Roof	Excellent	Roof Skylight, per SF of glazing	450 SF	30	1662250
Interiors						
C1021	Throughout building	Excellent	Interior Door, Aluminum-Framed Fully-Glazed	2	40	1662231
C1021	Throughout building	Excellent	Interior Door, Wood Solid-Core	121	40	1662279
C1021	Throughout building	Excellent	Interior Door, Steel	11	40	1662228
C1031	Restrooms	Excellent	Toilet Partitions, Plastic/Laminate	24	20	1662182
C1033	Throughout building	Excellent	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	500	20	1662294
C3012	Throughout building	Excellent	Interior Wall Finish, Acoustical Tile (ACT)	4,800 SF	25	1662280
C3012	Throughout building	Excellent	Interior Wall Finish, any surface, Prep & Paint	112,500 SF	10	1662271
C3012	Restrooms	Excellent	Interior Wall Finish, Ceramic Tile	4,900 SF	40	1662160
C3021	Throughout building	Excellent	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	72,680 SF	10	1662225
C3024	Gymnasium	Excellent	Interior Floor Finish, Wood Strip	5,600 SF	30	1662219

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C3024	Stage	Excellent	Interior Floor Finish, Wood Strip	1,400 SF	30	1662218
C3024	Cafeteria	Excellent	Interior Floor Finish, Vinyl Sheeting	4,000 SF	15	1662252
C3024	Throughout building	Excellent	Interior Floor Finish, Vinyl Tile (VCT)	38,500 SF	15	1662173
C3025	Throughout building	Excellent	Interior Floor Finish, Carpet Commercial Standard	64,800 SF	10	1662168
C3031	Throughout building	Excellent	Interior Ceiling Finish, any flat surface, Prep & Paint	14,500 SF	10	1662169
C3032	Throughout building	Excellent	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	55,800 SF	25	1662215
Elevators						
D1011	Elevator	Excellent	Elevator, 3500 LB, Renovate	1	30	1662162
D1019	Elevator	Excellent	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	15	1662240
Plumbing						
D2011	Restrooms	Excellent	Toilet, Commercial Water Closet	33	30	1662155
D2012	Restrooms	Excellent	Urinal, Standard	2	30	1662205
D2014	Utility closet	Excellent	Service Sink, Floor	3	35	1662214
D2014	Throughout building	Excellent	Sink/Lavatory, Vanity Top, Stainless Steel	1	30	1662263
D2014	Restrooms	Excellent	Sink/Lavatory, Wall-Hung, Vitreous China	19	30	1662272
D2014	Kitchen	Excellent	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	1	30	1662299
D2014	Kitchen	Excellent	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	1	30	1662159
D2014	Kitchen	Excellent	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	2	30	1662164
D2014	Kitchen	Excellent	Commercial Kitchen Sink, Stainless Steel, 3-Bowl	1	30	1662151
D2017	Shower 159	Excellent	Shower, Ceramic Tile	1	30	1662217
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1662249
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1662283
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1662236
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1662295
D2018	Cafeteria	Excellent	Drinking Fountain, Interior	1	15	1662176
D2018	Cafeteria	Excellent	Drinking Fountain, Interior	1	15	1662248
D2021	Mechanical room 166	Excellent	Backflow Preventer, 3 INCH	1	30	1662224
D2021	Mechanical room 166	Excellent	Backflow Preventer, 1 INCH	1	30	1662288
D2021	Mechanical room 137	Excellent	Backflow Preventer, 1 INCH	1	30	1662266
D2023	Mechanical room 166	Excellent	Domestic Circulation Pump, 1 HP	1	15	1662191
D2023	Mechanical room 137	Excellent	Water Heater, 116 GAL	1	20	1662289
D2023	Mechanical room 166	Excellent	Water Storage Tank, 200 GAL	1	30	1662300
D2023	Mechanical room 137	Excellent	Domestic Circulation Pump, 1 HP [RP-2]	1	15	1662175
D2023	Mechanical room 166	Excellent	Domestic Boiler, 260 MBH	1	25	1662158
D2023	Mechanical room 166	Excellent	Domestic Circulation/Booster Pump, 5 HP	1	25	1662296
D2023	Mechanical room 166	Excellent	Domestic Circulation/Booster Pump, 5 HP	1	25	1662152
D2029	Throughout building	Excellent	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	72,680 SF	40	1662203
Fire Suppression						
D4011	Mechanical room 166	Excellent	Backflow Preventer, 6 INCH	1	30	1662298
D4031	Throughout building	Excellent	Fire Extinguisher, Wet Chemical/CO2	1	10	1662212
D4091	Kitchen	Excellent	Fire Suppression System, Commercial Kitchen (per LF of Hood), Install/Replace	15 LF	20	1662276
HVAC						
D3021	Mechanical room 166	Excellent	Boiler, 1500 MBH [B-1]	1	30	1662187
D3021	Mechanical room 166	Excellent	Boiler, 1500 MBH [B-2]	1	30	1662308
D3022	Mechanical room 137	Excellent	Expansion Tank, 35 GAL	1	40	1662208

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D3022	Mechanical room 166	Excellent	Expansion Tank, 35 GAL	1	40	1662184
D3022	Mechanical room 166	Excellent	Expansion Tank, 125 GAL	1	40	1662150
D3022	Mechanical room 137	Excellent	Expansion Tank, 125 GAL	1	40	1662302
D3022	Mechanical room 137	Excellent	Chemical Feed System [GF-2]	1	25	1662237
D3022	Mechanical room 166	Excellent	Chemical Feed System	1	25	1662306
D3031	Roof	Excellent	Chiller, 60 TON [CH-1]	1	25	1662304
D3032	Elevator Machine a Room	Excellent	Ductless Split System, 3 TON	1	15	1662242
D3032	Elevator Machine a Room	Excellent	Ductless Split System, 1.5 - 2 TON	1	15	1662241
D3041	Throughout building	Excellent	Fan Coil Unit, 1000 CFM	2	20	1662149
D3041	Throughout building	Excellent	Variable Air Volume (VAV) Unit, 500 CFM	32	25	1662211
D3041	Penthouse 2	Excellent	Air Handler (AHU), 8240 CFM [AHU-2]	1	30	1662235
D3041	Roof	Excellent	Make-Up Air Unit, 6000 CFM	1	20	1662180
D3041	Throughout building	Excellent	HVAC System Ductwork, Medium Density	72,680 SF	30	1662285
D3041	Penthouse 1	Excellent	Air Handler (AHU), 8025 CFM [AHU-1]	1	30	1662244
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-6]	1	20	1662204
D3042	Mechanical room 137	Excellent	Exhaust Fan, 150 CFM	1	25	1662259
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-12]	1	20	1662192
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-2]	1	20	1662174
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-4]	1	20	1662220
D3042	Roof	Excellent	Exhaust Fan, 500 CFM [EF-7]	1	20	1662261
D3042	Roof	Excellent	Exhaust Fan, 500 CFM [EF-8]	1	20	1662230
D3042	Roof	Excellent	Exhaust Fan, 2000 CFM	1	20	1662194
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-3]	1	20	1662267
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-13]	1	20	1662207
D3042	Roof	Excellent	Exhaust Fan, 750 CFM [EF-9]	1	20	1662172
D3042	Roof	Excellent	Exhaust Fan, 1000 CFM [EF-10]	1	20	1662238
D3042	Roof	Excellent	Exhaust Fan, 250 CFM [EF-5]	1	20	1662188
D3044	Mechanical room 137	Excellent	Distribution Pump, 7.5 HP [P-3]	1	25	1662273
D3044	Mechanical room 166	Excellent	Distribution Pump, 5 HP [P-1]	1	25	1662148
D3044	Mechanical room 137	Excellent	Distribution Pump, 3 HP	1	15	1662170
D3044	Mechanical room 137	Excellent	Distribution Pump, 7.5 HP	1	25	1662206
D3044	Mechanical room 137	Excellent	Distribution Pump, 3 HP	1	15	1662247
D3044	Mechanical room 166	Excellent	Distribution Pump, 5 HP [P-2]	1	25	1662256
D3049	Throughout building	Excellent	HVAC System Hydronic Piping, 2-Pipe	72,680 SF	40	1662157
D3051	Throughout building	Excellent	Unit Heater, 50 MBH [UH-2]	1	20	1662257
D3052	Roof	Excellent	Packaged Unit (RTU), 10 TON [RTU-4]	1	20	1662181
D3052	Roof	Excellent	Packaged Unit (RTU), 25 TON [RTU-2]	1	20	1662209
D3052	Roof	Excellent	Packaged Unit (RTU), 25 TON [RTU-1]	1	20	1662284
D3052	Roof	Excellent	Packaged Unit (RTU), 10 TON [RTU-3]	1	20	1662202
D3068	Throughout building	Excellent	BAS/HVAC Controls, Extensive/Robust BMS or Smart Building System, Upgrade/Install	72,680 SF	15	1662254
Electrical						
D5012	Mechanical room 137	Excellent	Main Distribution Panel, 600 AMP	1	30	1662269
D5012	Electrical room 163	Excellent	Transfer Switch, 600 AMP	1	25	1662297
D5012	Mechanical room 137	Excellent	Secondary Transformer, 30 kVA	1	30	1662268
D5012	Electrical room 215	Excellent	Secondary Transformer, 75 kVA	1	30	1662277

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D5012	Electrical room 165	Excellent	Main Distribution Panel, 400 AMP	1	30	1662307
D5012	Electrical room 215	Excellent	Secondary Transformer, 45 kVA	1	30	1662193
D5012	Mechanical room 137	Excellent	Secondary Transformer, 30 kVA	1	30	1662163
D5012	Electrical room 165	Excellent	Building/Main Switchboard, 1600 AMP	1	40	1662274
D5012	Electrical room 215	Excellent	Main Distribution Panel, 400 AMP	1	30	1662221
D5012	Electrical room 165	Excellent	Secondary Transformer, 45 kVA	1	30	1662255
D5012	Electrical room 165	Excellent	Transfer Switch, 600 AMP	1	25	1662165
D5012	Electrical room 165	Excellent	Secondary Transformer, 30 kVA	1	30	1662251
D5012	Electrical room 165	Excellent	Main Distribution Panel, 400 AMP	1	30	1662245
D5012	Electrical room 165	Excellent	Secondary Transformer, 112.5 kVA	1	30	1662199
D5019	Throughout building	Excellent	Electrical Wiring & Switches, Average or Low Density/Complexity	72,680 SF	40	1662200
D5022	Building exterior	Excellent	Light Fixture, 100 WATT	6	20	1662303
D5092	Throughout building	Excellent	Exit Sign Light Fixture, LED	18	10	1662171
D5092	Site	Excellent	Generator, 250 kW	1	25	1662196
Fire Alarm & Comm						
D5037	Foyer	Excellent	Annunciator Alarm Panel	1	15	1662179
D5037	Throughout building	Excellent	Fire Alarm System, Standard Addressable, Upgrade/Install	72,680 SF	20	1662270
D5037	Electrical room 165	Excellent	Fire Alarm Control Panel, Addressable	1	15	1662301
D5038	Throughout building	Excellent	Security/Surveillance System, Cameras and CCTV, Upgrade/Install	72,680 SF	15	1662186
Equipment/Special						
E1023	Cafeteria	Excellent	Stage Curtain, Medium Weight Velour, Flameproof (per SF)	600 SF	15	1662223
E1093	Kitchen	Excellent	Commercial Kitchen, Steam Kettle	1	20	1662195
E1093	Roof	Excellent	Commercial Kitchen, Walk-In Refrigerator/Freezer, Condenser	1	15	1662210
E1093	Kitchen	Excellent	Commercial Kitchen, Walk-In Refrigerator	1	20	1662183
E1093	Kitchen	Excellent	Commercial Kitchen, Dishwasher	1	10	1662281
E1093	Kitchen	Excellent	Commercial Kitchen, Garbage Disposal, 1 to 3 HP	1	15	1662189
E1093	Kitchen	Excellent	Commercial Kitchen, Walk-In Refrigerator/Freezer, Evaporator	1	15	1662167
E1093	Kitchen	Good	Commercial Kitchen, Range/Oven, 6-Burner	1	15	1662161
E1093	Kitchen	Excellent	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	15	1662282
E1093	Kitchen	Excellent	Commercial Kitchen, Garbage Disposal, 1 to 3 HP	1	15	1662233
E1093	Kitchen	Excellent	Commercial Kitchen, Food Warmer	1	15	1662293
E1093	Kitchen	Excellent	Commercial Kitchen, Refrigerator, 2-Door Reach-In	1	15	1662229
E1093	Kitchen	Excellent	Commercial Kitchen, Convection Oven, Double	1	10	1662246
E1093	Roof	Excellent	Commercial Kitchen, Walk-In Refrigerator/Freezer, Condenser	1	15	1662262
E1093	Kitchen	Excellent	Commercial Kitchen, Steamer, Freestanding	1	10	1662201
E1093	Kitchen	Excellent	Commercial Kitchen, Food Warmer	1	15	1662198
E1093	Kitchen	Excellent	Commercial Kitchen, Exhaust Hood, 15 LF	1	15	1662253
E1093	Kitchen	Excellent	Commercial Kitchen, Tilting Skillet	1	20	1662286
E1093	Kitchen	Excellent	Commercial Kitchen, Dishwasher	1	10	1662290
E1093	Kitchen	Excellent	Commercial Kitchen, Walk-In Refrigerator/Freezer, Evaporator	1	15	1662305
E1093	Kitchen	Excellent	Commercial Kitchen, Convection Oven, Double	1	10	1662213
E1093	Kitchen	Excellent	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	15	1662243
E1093	Kitchen	Excellent	Commercial Kitchen, Walk-In Freezer	1	20	1662156
E2012	Throughout building	Excellent	Kitchen Cabinetry, Stock Hardwood	360 LF	20	1662190
E2012	Throughout building	Excellent	Kitchen Counter, Solid Surface	360 LF	40	1662234

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Pavement						
G2022	Site	Excellent	Parking Lots, Asphalt Pavement, Mill & Overlay	325,000 SF	25	1662264
G2022	Site	Excellent	Parking Lots, Asphalt Pavement, Seal & Stripe	325,000 SF	5	1662222
Site Development						
G2041	Site	Excellent	Fences & Gates, Metal Tube, 4' High	550 LF	40	1662227
G2047	Site	Excellent	Play Surfaces & Sports Courts, Asphalt, Mill & Overlay	3,300 SF	25	1662278
G2047	Site	Excellent	Play Structure, Small	4	20	1662265
G2047	Site	Excellent	Sports Apparatus, Basketball Backstop	2	25	1662178
G2047	Site	Excellent	Play Surfaces & Sports Courts, Poured-in-place Rubber	2,500 SF	20	1662216
G2047	Site	Excellent	Play Structure, Very Small	3	20	1662287
G2047	Site	Excellent	Play Structure, Large	1	20	1662291
G2047	Site	Excellent	Play Surfaces & Sports Courts, Asphalt, Seal & Stripe	3,300 SF	5	1662260
G2047	Gymnasium	Excellent	Sports Apparatus, Scoreboard	1	25	1662226
G2047	Gymnasium	Excellent	Sports Apparatus, Basketball Backstop	6	25	1662177
G2049	Site	Excellent	Charging Station, Electric Vehicle, Free Standing, Exterior Mounted	1	15	1662232
G2049	Site	Excellent	Charging Station, Electric Vehicle, Free Standing, Exterior Mounted	1	15	1662154
Site Lighting						
G4021	Site	Excellent	Site Pole Light, 105 - 200 WATT, Replace/Install	38	20	1662292

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Structure						
B1019	Site	Fair	Loading Dock, Concrete	60 SF	55	1562794
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Joint Caulking 1/2" to 1"	2,500 LF	1	1562800
B2021	Building Exterior	Fair	Window, 24 SF	164	10	1562807
B2021	Building Exterior	Fair	Window, 24 SF	17	10	1562822
B2023	Building Exterior	Fair	Storefront, Metal-Framed Windows w/out Door(s)	45 SF	10	1562802
B2031	Building Exterior	Fair	Exterior Door, Aluminum-Framed Fully-Glazed	32	15	1562805
B2032	Building Exterior	Fair	Exterior Door, Steel	14	20	1562824
B2034	Building Exterior	Fair	Overhead/Dock Door, 144 SF	2	10	1562797
Roofing						
B3011	Roof	Poor	Roof, Built-Up	15,250 SF	1	1562786
B3011	Roof	Poor	Roof, Asphalt Shingle 20-Year	83,750 SF	1	1562823
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	225	22	1562767
C1021	Throughout building	Fair	Interior Door, Steel Fire, 90-Minutes and Over	28	20	1562761
C1021	Gymnasium	Fair	Interior Door, Steel	9	20	1562813
C1031	Restrooms	Fair	Toilet Partitions, Metal	30	10	1562782
C1033	Locker Rooms	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	242	10	1562815
C1033	Throughout building	Fair	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	465	10	1562787
C2021	Interior Stairs	Fair	Interior Stair Treads, Raised Rubber Tile	1,600 SF	8	1562771
C3012	Lobby	Fair	Interior Wall Finish, Ceramic Tile	250 SF	20	1562819
C3012	Throughout Building	Fair	Interior Wall Finish, any surface, Prep & Paint	220,000 SF	6	1562766
C3021	Throughout building	Fair	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	2,500 SF	5	1562776

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C3021	Kitchen	Fair	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	1,000 SF	5	1562770
C3024	Lobby	Fair	Interior Floor Finish, Ceramic Tile	2,000 SF	20	1562760
C3024	Throughout Building	Fair	Interior Floor Finish, Vinyl Tile (VCT)	128,000 SF	7	1562755
C3024	Gymnasium	Fair	Interior Floor Finish, Maple Sports Floor	11,250 SF	10	1562809
C3025	Library	Fair	Interior Floor Finish, Carpet Commercial Standard	5,500 SF	5	1562754
C3031	Throughout Building	Fair	Interior Ceiling Finish, Plastic Fiberglass-Reinforced	12,000 SF	15	1562772
C3032	Throughout building	Poor	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	7,500 SF	2	1562774
C3032	Throughout building	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	136,000 SF	10	1562759
Elevators						
D1011	Elevator machine room 1st floor	Fair	Elevator Controls, Automatic, 1 Car, Modernize [No tag/plate found]	1	3	1531454
D1011	Elevator machine room 1st floor	Fair	Elevator, Hydraulic, 2500 LB, 2 Floors, Renovate [No tag/plate found]	1	11	1531405
D1019	Elevator cab	Fair	Elevator Cab Finishes, Standard w/ Stainless Steel Doors	1	5	1531479
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	39	11	1531416
D2012	Restrooms	Fair	Urinal, Standard	18	11	1531436
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 3-Bowl	1	15	1562778
D2014	Science classrooms	Fair	Sink/Lavatory, Vanity Top, Solid Surface and Sink	12	11	1531493
D2014	Restrooms	Fair	Sink, Solid Surface, Trough Style, Vandalism Resistant	8	11	1531434
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 2-Bowl	1	15	1562758
D2014	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	12	11	1531459
D2014	Kitchen	Fair	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	4	15	1562756
D2017	Locker rooms boys and girls	Good	Shower, Fiberglass	9	10	1531486
D2018	Drinking faucet in classroom 218	Failed	Drinking Fountain, Interior	1	0	1531485
D2018	Corridors	Fair	Drinking Fountain, Interior [No tag/plate found]	9	8	1595270
D2018	Corridor	Good	Drinking Fountain, Interior [No tag/plate found]	1	13	1531473
D2019	Science classrooms	Fair	Emergency Eye Wash & Shower Station [No tag/plate found]	4	3	1531467
D2021	Penthouse Mechanical room	NA	Backflow Preventer, Domestic, 3", Install	1	0	1531406
D2023	Main Mechanical room	Fair	Domestic Boiler, Gas, 200 MBH [No tag/plate found]	1	18	1531412
D2023	Main Mechanical room	Fair	Water Storage Tank, 80 GAL [No tag/plate found]	1	23	1531489
D2023	Main Mechanical room	Excellent	Domestic Circulation Pump, 1/6 HP [No tag/plate found]	1	15	1531470
D2023	Main Mechanical room	Fair	Water Storage Tank, 80 GAL [No tag/plate found]	1	23	1531477
D2029	Throughout building	Good	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	156,574 SF	21	1589846
D2034	Site	Fair	Grease Trap/Interceptor, Underground [No tag/plate found]	1	10	1551746
D2034	Kitchen	Fair	Grease Trap/Interceptor, Undercounter	1	10	1562757
Fire Suppression						
D4011	Penthouse Mechanical room	Fair	Backflow Preventer, Fire Suppression, 6" [No tag/plate found]	1	11	1531497
D4019	Throughout building	Fair	Sprinkler Heads (per SF)	156,574 SF	6	1531415
D4031	Interior Fire Extinguishers	Fair	Fire Extinguisher, Type ABC, up to 20 LB	20	4	1531481
D4091	Kitchen	Fair	Fire Suppression System, Commercial Kitchen (per LF of Hood)	20 LF	5	1562785
HVAC						
D3016	Roof	Fair	Solar Panel, 24 SF	540	5	1531492
D3021	Main Mechanical room	Fair	Boiler, Gas, 4,517 MBH [Boiler-3]	1	11	1531452
D3021	Main Mechanical room	Fair	Boiler, Gas, 4,517 MBH [Boiler-1]	1	11	1531482
D3021	Main Mechanical room	Fair	Boiler, Gas, 4,517 MBH [Boiler-2]	1	11	1531460
D3022	Main Mechanical room	Fair	Expansion Tank, 211 GAL [EXP-2]	1	21	1531448

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D3022	Main Mechanical room	Fair	Expansion Tank, 80 GAL [EXP-3]	1	21	1531414
D3022	Main Mechanical room	Fair	Shot Feed Tank, 5 GAL [No tag/plate found]	2	11	1531450
D3022	Main Mechanical room	Fair	Air Separator, 4" [No tag/plate found]	1	5	1531471
D3022	Main Mechanical room	Fair	Expansion Tank, 211 GAL [EXP-1]	1	21	1531487
D3022	Main Mechanical room	Excellent	Chemical Feed System [No tag/plate found]	1	15	1531461
D3031	Site	Fair	Chiller, Air-Cooled, 200 Ton [No tag/plate found]	1	6	1531495
D3032	Site adjacent to building (south elevation)	Poor	Ductless Split System, Single Zone, 2 Ton [No tag/plate found]	1	0	1531480
D3032	Site adjacent to building	Fair	Ductless Split System, Single Zone, 2 Ton [No tag/plate found]	1	6	1531494
D3041	Penthouse Mechanical room 1	Fair	Air Handler (AHU), Interior, 15,000 CFM [AHU-10]	1	11	1531488
D3041	Above ceiling throughout building	Fair	Variable Air Volume (VAV) Unit, 400 CFM [Inaccessible]	106	6	1531428
D3041	Roof	Fair	Air Handler (AHU), Exterior, 15,000 CFM [RTU-3]	1	3	1531457
D3041	Roof	Fair	Air Handler (AHU), Exterior, 20,000 CFM [RTU-2]	1	3	1531453
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 10,000 CFM [AHU-8]	1	11	1531447
D3041	Roof	Fair	Air Handler (AHU), Exterior, 20,000 CFM [RTU-1]	1	3	1531432
D3041	Penthouse Mechanical room 1	Fair	Air Handler (AHU), Interior, 12,000 CFM [AHU-3]	1	11	1531451
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 15,000 CFM [AHU-5]	1	11	1531420
D3041	Throughout building	Fair	HVAC System Ductwork, Medium Density	156,574 SF	11	1531410
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 15,000 CFM [AHU-7]	1	11	1531468
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 12,000 CFM [AHU-4]	1	11	1531413
D3041	Penthouse Mechanical room 1	Fair	Air Handler (AHU), Interior, 8,500 CFM [AHU-1]	1	11	1531458
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 8,500 CFM [AHU-6]	1	11	1531411
D3041	Penthouse Mechanical room 2	Fair	Air Handler (AHU), Interior, 8,500 CFM [AHU-11]	1	11	1531422
D3041	Penthouse Mechanical room 1	Fair	Air Handler (AHU), Interior, 15,000 CFM [AHU-9]	1	11	1531455
D3041	Penthouse Mechanical room 1	Fair	Air Handler (AHU), Interior, 15,000 CFM [AHU-2]	1	11	1531463
D3042	Penthouse Mechanical room 1	Fair	Exhaust Fan, Centrifugal, 1,000 CFM (12" Damper) [EF-10]	1	6	1624211
D3042	Penthouse Mechanical room 1	Fair	Exhaust Fan, Centrifugal, 1,000 CFM (12" Damper) [EF-12]	1	6	1624214
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 800 CFM [EF-4]	1	3	1531443
D3042	Penthouse Mechanical room 2	Fair	Exhaust Fan, Centrifugal, 8,500 CFM (28" Damper) [No tag/plate found]	1	6	1624217
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-3]	1	3	1531419
D3042	Penthouse Mechanical room 1	Fair	Exhaust Fan, Centrifugal, 8,500 CFM (28" Damper) [No tag/plate found]	1	6	1624041
D3042	Penthouse Mechanical room 2	Fair	Exhaust Fan, Centrifugal, 8,500 CFM (28" Damper) [RF-7]	1	6	1624216
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 800 CFM [EF-5]	1	3	1531421
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-6]	1	3	1531466
D3042	Penthouse Mechanical room 1	Fair	Exhaust Fan, Centrifugal, 8,500 CFM (28" Damper) [No tag/plate found]	1	6	1624215
D3042	Penthouse Mechanical rooms	Fair	Exhaust Fan, Centrifugal, 1,500 CFM (16" Damper) [No tag/plate found]	4	6	1531496
D3044	Main Mechanical room	Fair	Distribution Pump, Heating Water, 20 HP [Pump-1]	1	6	1531418
D3044	Main Mechanical room	Fair	Distribution Pump, Heating Water, 20 HP [Pump-3]	1	6	1531424
D3044	Main Mechanical room	Fair	Distribution Pump, Heating Water, 20 HP [Pump-2]	1	6	1531484
D3045	Main Mechanical room	Fair	Distribution Pump, Chiller & Condenser Water, 15 HP [Pump-4]	1	6	1531439
D3049	Throughout building	Good	HVAC System Hydronic Piping, 2-Pipe	156,574 SF	21	1531440
D3051	Mechanical room	Fair	Unit Heater, Hydronic, 35 MBH [No tag/plate found]	8	5	1531441
D3051	Interior stairs and adjacent exterior doors	Fair	Unit Heater, Hydronic, 50 MBH [No tag/plate found]	7	5	1531427
D3068	Throughout building	Fair	BAS/HVAC Controls, Basic System or Legacy Upgrades, Upgrade	156,574 SF	6	1589845
Electrical						
D5012	Main Mechanical room (2 sections)	Fair	Motor Control Center w/ Main Breaker, 600 Amp [MCCE]	1	11	1531430

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5012	Gymnasium storage room	Fair	Secondary Transformer, Dry, 30 kVA [No tag/plate found]	1	11	1531456
D5012	Custodial Electric room	Fair	Transfer Switch, Automatic (ATS), 200 Amp [ATSEQ]	1	6	1531446
D5012	Emergency / Main Electric room	Fair	Building/Main Switchboard, 277/480 V, 1,200 Amp [Main Electric]	1	21	1531423
D5012	2nd floor Electric Room	Fair	Secondary Transformer, Dry, 30 kVA [T7]	1	11	1531435
D5012	Emergency / Main Electric room	Fair	Secondary Transformer, Dry, 30 kVA [T2]	1	11	1531437
D5012	Emergency / Main Electric room	Fair	Secondary Transformer, Dry, 75 kVA [TE4]	1	11	1531465
D5012	Custodial Electric room	Fair	Secondary Transformer, Dry, 15 kVA [T2EE]	1	11	1531491
D5012	Custodial Electric room	Fair	Distribution Panel, 277/480 V, 400 Amp [EDPEQ]	1	11	1531444
D5012	2nd floor Electric Room	Fair	Secondary Transformer, Dry, 30 kVA [T9]	1	11	1531426
D5012	computer/ head end	Fair	Secondary Transformer, Dry, 30 kVA [TIG1]	1	11	1531449
D5012	Emergency / Main Electric room	Fair	Secondary Transformer, Dry, 30 kVA [TIG2]	1	11	1531478
D5012	Emergency / Main Electric room	Fair	Secondary Transformer, Dry, 30 kVA [TE3]	1	11	1531469
D5012	Custodial Electric room	Fair	Transfer Switch, Automatic (ATS), 200 Amp [ATSLS]	1	6	1531462
D5012	1st floor Electric Room	Fair	Secondary Transformer, Dry, 30 kVA [T1E]	1	11	1531431
D5012	2nd floor Electric Room	Fair	Secondary Transformer, Dry, 30 kVA [T8]	1	11	1531433
D5012	Main Mechanical room	Fair	Secondary Transformer, Dry, 15 kVA [T4]	1	11	1531483
D5012	Custodial Electric room	Fair	Secondary Transformer, Dry, 30 kVA [T1E]	1	11	1531429
D5012	2nd floor Electric Room	Fair	Secondary Transformer, Dry, 30 kVA [TIG4]	1	11	1531476
D5012	Main Mechanical room (8 sections)	Fair	Motor Control Center w/ Main Breaker, 600 Amp [MCC]	1	11	1531472
D5012	Emergency / Main Electric room	Fair	Distribution Panel, 277/480 V, 400 Amp [HKE]	1	11	1531407
D5019	Throughout building	Good	Full Electrical System Upgrade, Medium Density/Complexity	156,574 SF	21	1589847
D5022	Building Exterior	Fair	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W	14	3	1562818
D5029	Throughout building	Excellent	Lighting System, Interior, Medium Density & Standard Fixtures	156,574 SF	20	1531475
D5092	Site	Fair	Generator, Gas or Gasoline, 210 kW [No tag/plate found]	1	6	1531417
D5092	Interior illuminated exit signs	Good	Exit Sign Light Fixture, LED	32	8	1531409
Fire Alarm & Comm						
D5037	Vestibule	Good	Annunciator Alarm Panel [No tag/plate found]	1	13	1531403
D5037	Custodial office	Good	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	13	1531445
D5037	Throughout building	Good	Fire Alarm System, Standard Addressable, Upgrade	156,574 SF	18	1589848
D5038	Throughout building	Good	Security/Surveillance System, Cameras and CCTV, Upgrade	156,574 SF	10	1531408
Equipment/Special						
E1027	Classrooms	Fair	Sink, Laboratory, Stainless Steel w/ Drainboard	52	11	1531490
E1028	Front office	Good	Defibrillator (AED), Cabinet Mounted [No tag/plate found]	1	7	1531425
E1028	Gymnasium	Good	Defibrillator (AED), Cabinet Mounted [No tag/plate found]	1	7	1531438
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Double [No tag/plate found]	1	5	1562780
E1093	Kitchen	Fair	Commercial Kitchen, 8 - 10 LF [No tag/plate found]	1	5	1562751
E1093	Kitchen	Fair	Commercial Kitchen, Steam Kettle	1	10	1562788
E1093	Kitchen	Fair	Commercial Kitchen, Steamer, Tabletop	1	5	1562769
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table	1	5	1562762
E1093	Kitchen	Fair	Commercial Kitchen, Walk-In Refrigerator	1	10	1562764
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Double	2	5	1562791
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	5	1562779
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table [Inaccessible]	1	5	1562790
E1093	Kitchen	Fair	Commercial Kitchen, Convection Oven, Double [No tag/plate found]	1	5	1562777
E1093	Kitchen	Fair	Commercial Kitchen, Tilting Skillet	1	10	1562750

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1093	Kitchen	Fair	Commercial Kitchen, Dishwasher	1	5	1562753
E1093	Kitchen	Fair	Commercial Kitchen, Walk-In Freezer	1	10	1562773
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	10	1562775
E1093	Kitchen	Fair	Commercial Kitchen, Griddle	1	5	1562768
E1093	Kitchen	Fair	Commercial Kitchen, Range/Oven, 4-Burner	1	5	1562784
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	10	1562781
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	10	1562763
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	5	1562752
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	5	1562765
E1093	Kitchen	Fair	Commercial Kitchen, Salad Table	1	5	1562789
E1093	Kitchen	Fair	Commercial Kitchen, 8 - 10 LF [No tag/plate found]	1	7	1562783
E1099	Gymnasium	Fair	Bleacher, Replace (per Seat)	584	12	1562820
Pavement						
G2012	Site	Fair	Roadways, Asphalt Pavement, Mill & Overlay	55,300 SF	12	1562814
G2012	Site	Poor	Roadways, Asphalt Pavement, Seal & Stripe	55,300 SF	1	1562808
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	76,550 SF	12	1562795
G2022	Site	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	76,550 SF	1	1562793
G2022	Site	Fair	Parking Lots, Curb & Gutter, Concrete	2,900 LF	30	1562810
G2031	Site	Fair	Pedestrian Pavement, Sidewalk, Concrete Large Areas	9,500 SF	30	1562798
G2031	Site	Fair	Pedestrian Pavement, Sidewalk, Concrete Large Areas	15,000 SF	31	1562811
Site Development						
G2041	Site	Good	Fences & Gates, Vinyl, 4' High	68 LF	20	1562812
G2041	Site	Fair	Fences & Gates, Chain Link, 8' High	95 LF	20	1562806
G2042	Site	Fair	Retaining Wall, Concrete Masonry Unit (per SF Face)	250 SF	20	1562796
G2045	Site	Fair	Site Furnishings, Picnic Table, Plastic-Coated Metal	10	5	1562803
G2045	Site	Fair	Site Furnishings, Park Bench, Metal/Wood/Plastic	4	10	1562821
G2047	Site	Fair	Sports Apparatus, Basketball Backstop	2	10	1562825
G2047	Gymnasium	Good	Sports Apparatus, Scoreboard	2	20	1562804
G2047	Site	Poor	Play Surfaces & Sports Courts, Asphalt	11,200 SF	2	1562816
G2047	Gymnasium	Fair	Sports Apparatus, Basketball Backstop	6	13	1562799
Site Lighting						
G4021	Site	Good	Site Pole Light, 20' High, 400 W (LED Lamp Replacement)	24	15	1562801

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2021	Building Exterior	Good	Window, 12 SF	261	20	1662004
B2023	Building Exterior	Good	Storefront, Metal-Framed Windows w/out Door(s)	450 SF	20	1662010
B2023	Building Exterior	Good	Storefront, Metal-Framed 3' x 7' Swinging Door Only	38	20	1662052
B2031	Building Exterior	Good	Exterior Door, Aluminum-Framed Fully-Glazed	12	20	1662018
B2032	Building Exterior	Good	Exterior Door, Steel	6	30	1662079
B2034	Building Exterior	Good	Overhead/Dock Door, 144 SF	2	20	1661978
Roofing						
B3011	Roof	Fair	Roof, Single-Ply EPDM Membrane	6,500 SF	10	1662057
B3011	Roof	Fair	Roof, Single-Ply TPO/PVC Membrane	46,250 SF	10	1662050

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3021	Roof	Good	Roof Skylight, per SF of glazing	250 SF	20	1661952
Interiors						
C1012	Music Room	Good	Movable Partitions, Fabric Office 6' Height	30 LF	15	1662056
C1021	Throughout building	Good	Interior Door, Wood Solid-Core w/ Glazing Decorative High-End	48	30	1661987
C1021	Throughout building	Good	Interior Door, Steel	26	30	1662000
C1021	Throughout building	Good	Interior Door, Aluminum-Framed Fully-Glazed	2	30	1662019
C1021	Throughout building	Good	Interior Door, Wood Solid-Core	37	30	1661996
C1031	Restrooms	Good	Toilet Partitions, Plastic/Laminate	18	15	1662071
C1033	Kitchen	Good	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H	10	14	1662100
C3012	Throughout building	Good	Interior Wall Finish, any surface, Prep & Paint	185,000 SF	7	1662074
C3012	Restrooms	Good	Interior Wall Finish, Ceramic Tile	8,750 SF	30	1662027
C3024	Throughout building	Good	Interior Floor Finish, Vinyl Tile (VCT)	32,500 SF	10	1662028
C3024	Gymnasium	Fair	Interior Floor Finish, Linoleum	2,500 SF	5	1662091
C3024	Kitchen	Good	Interior Floor Finish, Quarry Tile	6,500 SF	40	1662012
C3024	Throughout building	Good	Interior Floor Finish, Rubber Tile	400 SF	10	1662049
C3024	Restrooms	Good	Interior Floor Finish, Ceramic Tile	5,400 SF	30	1662039
C3025	Throughout building	Good	Interior Floor Finish, Carpet Commercial Standard	15,500 SF	6	1662017
C3031	Throughout building	Good	Interior Ceiling Finish, any flat surface, Prep & Paint	8,000 SF	7	1661992
C3032	Throughout building	Good	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	60,348 SF	18	1661982
Elevators						
D1011	Elevator	Good	Elevator, 3000 LB, Renovate	1	20	1662046
D1019	Elevator	Good	Elevator Cab Finishes, Standard w/out Stainless Steel Doors	1	7	1661981
Plumbing						
D2011	Restrooms	Good	Toilet, Commercial Water Closet	33	20	1662023
D2012	Restrooms	Good	Urinal, Standard	3	20	1661974
D2014	Kitchen	Good	Commercial Kitchen Sink, Stainless Steel, 2-Bowl	1	20	1662090
D2014	Kitchen	Good	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	5	20	1662065
D2014	Kitchen	Good	Commercial Kitchen Sink, Stainless Steel, 3-Bowl	1	20	1661989
D2014	Throughout building	Good	Sink/Lavatory, Vanity Top, Stainless Steel	29	20	1661984
D2014	Can Wash	Good	Service Sink, Laundry	1	20	1662045
D2014	Restrooms	Good	Sink/Lavatory, Wall-Hung, Vitreous China	16	20	1661971
D2014	Restrooms	Good	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China	12	20	1662082
D2014	Kitchen	Good	Commercial Kitchen Sink, Stainless Steel, 1-Bowl	2	20	1662060
D2014	Utility closet	Good	Service Sink, Floor	2	25	1662069
D2018	Hallway, Floor 2	Excellent	Drinking Fountain, Interior	1	15	1662063
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1662026
D2018	Hallway	Excellent	Drinking Fountain, Interior	1	15	1661956
D2018	Hallway, Floor 2	Excellent	Drinking Fountain, Interior	1	15	1662072
D2021	Storage E5	Good	Backflow Preventer, 4 INCH	1	20	1661972
D2023	Mechanical room E2	Good	Water Softener, 10 GPM	1	15	1661994
D2023	Mechanical room E2	Good	Water Storage Tank, 200 GAL	1	20	1662001
D2023	Mechanical room E2	Good	Domestic Boiler, 715 MBH	1	15	1662095
D2023	Mechanical room E2	Fair	Domestic Circulation Pump, .5 HP	1	5	1662020
D2029	Throughout building	Good	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	68,348 SF	30	1661979
Fire Suppression						

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D4011	Storage E5	Good	Backflow Preventer, 6 INCH	1	20	1662054
D4019	Throughout building	Good	Sprinkler Heads (per SF)	68,348 SF	15	1661975
D4031	Throughout building	Good	Fire Extinguisher, Wet Chemical/CO2	1	7	1662058
D4091	Kitchen	Good	Fire Suppression System, Commercial Kitchen (per LF of Hood), Install/Replace	20 LF	15	1662007
HVAC						
D3016	Mechanical room E2	Fair	Solar Inverter, 7500 WATTS	1	5	1662073
D3016	Roof	Good	Solar Panel, 24 SF	101	15	1661963
D3016	Mechanical room E2	Fair	Solar Inverter, 7500 WATTS	1	5	1661976
D3021	Mechanical room E2	Good	Boiler, 792 MBH [B-1]	1	20	1662068
D3021	Mechanical room E2	Good	Boiler, 792 MBH [B-2]	1	20	1662061
D3022	Mechanical room E2	Good	Chemical Feed System	1	15	1662016
D3022	Mechanical room E2	Good	Expansion Tank, 50 GAL	1	30	1661980
D3022	Mechanical room E2	Good	Air Separator, 4 INCH	1	9	1662041
D3022	Mechanical room E2	Good	Shot Feed Tank, 5 GAL	1	20	1662032
D3022	Mechanical room E2	Good	Expansion Tank, 20 GAL	1	30	1662078
D3022	Mechanical room E2	Good	Expansion Tank, 30 GAL	1	30	1662087
D3022	Mechanical room E2	Good	Air Separator, 4 INCH	1	9	1662042
D3031	Roof	Good	Chiller, 17 TON	1	15	1662009
D3032	Computer Lab A8	Good	Ductless Split System, 3 TON	1	12	1662036
D3032	Cafeteria Storage	Fair	Ductless Split System, 3 TON	1	5	1661985
D3032	Computer Lab A8	Fair	Ductless Split System, 3 TON	1	5	1662011
D3032	IDF Room A6	Fair	Ductless Split System, 1.5 TON	1	5	1661991
D3041	Throughout building	Good	HVAC System Ductwork, Medium Density	68,348 SF	20	1662085
D3041	Roof	Fair	Make-Up Air Unit, 4000 CFM	1	10	1661964
D3041	Roof	Fair	Make-Up Air Unit, 4000 CFM	1	10	1661960
D3041	Roof	Fair	Energy Recovery Unit, 5000	1	5	1662070
D3041	Throughout building	Fair	Fan Coil Unit, 1200 CFM	26	10	1661965
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-11]	1	10	1662064
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-9]	1	10	1662047
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-10]	1	10	1662089
D3042	Roof	Fair	Exhaust Fan, 2000 CFM [EF-2]	1	10	1662006
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-1]	1	10	1661999
D3042	Mechanical room E2	Good	Exhaust Fan, 500 CFM	1	15	1662076
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-7]	1	10	1662030
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-8]	1	10	1662040
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-12]	1	10	1661958
D3042	Roof	Fair	Exhaust Fan, 1250 CFM [EF-3]	1	10	1661977
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-4]	1	10	1662094
D3042	Roof	Fair	Exhaust Fan, 1000 CFM [EF-6]	1	10	1662093
D3044	Mechanical room E2	Good	Distribution Pump, 5 HP	1	15	1661993
D3044	Mechanical room E2	Good	Distribution Pump, 5 HP	1	15	1662098
D3051	Throughout building	Good	Unit Heater, 50 MBH [No tag/plate found]	1	13	1661973
D3052	Roof	Fair	Packaged Unit (RTU), 20 TON [RTU-3]	1	10	1662031
D3052	Roof	Fair	Packaged Unit (RTU), 25 TON	1	10	1662003
D3052	Roof	Fair	Packaged Unit (RTU), 25 TON	1	10	1662092

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3068	Mechanical room E2	Good	BAS/HVAC Controls, Extensive/Robust BMS or Smart Building System, Upgrade/Install	68,348 SF	9	1661998
Electrical						
D5012	Electrical room D14	Good	Main Distribution Panel, 800 AMP	1	20	1662077
D5012	Electrical room E1	Good	Building/Main Switchboard, 1600 AMP	1	30	1662014
D5012	Electrical room D14	Good	Secondary Transformer, 75 kVA	1	20	1662083
D5012	Electrical room E1	Good	Transfer Switch, 600 AMP [ATS-LS]	1	15	1662044
D5012	Electrical room J9	Good	Secondary Transformer, 30 kVA	1	20	1662005
D5012	Electrical room E1	Good	Secondary Transformer, 45 kVA	1	20	1662088
D5012	Electrical room E1	Good	Secondary Transformer, 45 kVA	1	20	1661988
D5012	Electrical room E1	Good	Transfer Switch, 600 AMP [ATS-OS]	1	15	1662101
D5012	Electrical room E1	Good	Secondary Transformer, 45 kVA	1	20	1661969
D5012	Electrical room D14	Good	Secondary Transformer, 30 kVA	1	20	1661966
D5012	Electrical room E1	Good	Secondary Transformer, 45 kVA	1	20	1661959
D5019	Throughout building	Good	Electrical Wiring & Switches, Average or Low Density/Complexity	68,348 SF	30	1662015
D5022	Gymnasium	Good	Light Fixture, 250 WATT	20	13	1662048
D5022	Building exterior	Fair	Light Fixture, 100 WATT	3	10	1661995
D5022	Building exterior	Fair	Light Fixture, 100 WATT	12	10	1661990
D5029	Throughout building	Good	Lighting System, Interior, Medium Density & Standard Fixtures	68,348 SF	13	1661962
D5092	Site	Good	Generator, 130 kW	1	15	1662086
D5092	Throughout building	Good	Exit Sign Light Fixture, LED	37	7	1662055
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Upgrade/Install	68,348 SF	10	1661967
D5037	Office	Fair	Fire Alarm Control Panel, Addressable	1	5	1662053
D5038	Throughout building	Fair	Security/Surveillance System, Cameras and CCTV, Upgrade/Install	68,348 SF	5	1662038
Equipment/Special						
E1023	Music Room	Good	Stage Curtain, Medium Weight Velour, Flameproof (per SF)	45 SF	10	1662059
E1093	Kitchen	Good	Commercial Kitchen, Mixer, Freestanding	1	19	1662043
E1093	Kitchen	Good	Commercial Kitchen, Walk-In Freezer	1	13	1662062
E1093	Roof	Fair	Commercial Kitchen, Walk-In Refrigerator/Freezer, Condenser	1	8	1661961
E1093	Kitchen	Good	Commercial Kitchen, Steamer, Tabletop	1	6	1662084
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	5	1662035
E1093	Kitchen	Good	Commercial Kitchen, Convection Oven, Double	1	6	1661986
E1093	Kitchen	Good	Commercial Kitchen, Walk-In Refrigerator/Freezer, Evaporator	1	9	1661953
E1093	Kitchen	Fair	Commercial Kitchen, Steam Kettle	1	10	1662025
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	5	1661983
E1093	Kitchen	Good	Commercial Kitchen, Range/Oven, 4-Burner	1	9	1662099
E1093	Kitchen	Good	Commercial Kitchen, Food Processor	1	6	1662097
E1093	Kitchen	Good	Commercial Kitchen, Slicer	1	6	1662034
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	5	1662037
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	5	1661954
E1093	Kitchen	Good	Commercial Kitchen, LF	20	9	1662075
E1093	Kitchen	Fair	Commercial Kitchen, Food Warmer	1	5	1662033
E1093	Kitchen	Good	Commercial Kitchen, Convection Oven, Double	1	6	1662008
E1093	Kitchen	Fair	Commercial Kitchen, Refrigerator, 1-Door Reach-In	1	5	1662096
E1093	Kitchen	Good	Commercial Kitchen, Walk-In Refrigerator	1	12	1662067

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E1093	Kitchen	Good	Commercial Kitchen, Walk-In Refrigerator/Freezer, Evaporator	1	9	1661968
E1093	Kitchen	Good	Commercial Kitchen, Dishwasher	1	6	1661957
E2012	Work Room	Fair	Kitchen Cabinetry, Stock Hardwood	12 LF	10	1662013
E2012	Work Room	Fair	Kitchen Counter, Plastic Laminate, Postformed	186 LF	5	1662081
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	375,000 SF	4	1662066
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	375,000 SF	15	1662024
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Asphalt	3,800 SF	15	1662102
G2031	Site	Good	Pedestrian Pavement, Sidewalk, Concrete Large Areas	9,800 SF	40	1662022
Site Development						
G2041	Site	Good	Fences & Gates, Chain Link, 4' High	740 LF	30	1662051
G2047	Gymnasium	Good	Sports Apparatus, Basketball Backstop	3	15	1662029
G2047	Site	Fair	Play Structure, Large	1	10	1662002
G2047	Site	Fair	Play Surfaces & Sports Courts, Rubber Tiles	1,500 SF	10	1661970
G2047	Site	Fair	Play Structure, Large	1	10	1662080
G2047	Site	Poor	Play Surfaces & Sports Courts, Poured-in-place Rubber	2,530 SF	2	1661997
G2049	Site	Good	Shed, Wooden Framed, Asphalt Shingles	200 SF	20	1661955
Site Lighting						
G4021	Site	Fair	Site Pole Light, 105 - 200 WATT, Replace/Install	24	10	1662021

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	2,850 SF	5	1661914
B2011	Building Exterior	Fair	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	2,850 SF	10	1661925
B2021	Building Exterior	Fair	Window, 12 SF	33	12	1661951
B2032	Building Exterior	Fair	Exterior Door, Steel	1	16	1661946
B2032	Building Exterior	Good	Exterior Door, Steel	1	30	1661939
Roofing						
B3011	Roof	Good	Roof, Asphalt Shingle 30-Year	5,950 SF	20	1661947
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	20	18	1661948
C1031	Restrooms	Fair	Toilet Partitions, Metal	3	7	1661926
C3012	Restrooms	Fair	Interior Wall Finish, Ceramic Tile	240 SF	7	1661944
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	3,390 SF	5	1661935
C3012	Throughout building	Good	Interior Wall Finish, Wallpaper	2,940 SF	9	1661920
C3024	Throughout building	Fair	Interior Floor Finish, Ceramic Tile	750 SF	20	1661949
C3025	Throughout building	Good	Interior Floor Finish, Carpet Commercial Standard	2,700 SF	6	1661936
C3031	Throughout building	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	2,485 SF	5	1661931
C3032	Basement	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	1,350 SF	5	1661917
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	3	4	1661937
D2011	Restrooms	Fair	Toilet, Residential Water Closet	2	15	1661915
D2014	Restrooms	Fair	Service Sink, Wall-Hung	1	8	1661941
D2014	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	2	5	1661916

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UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2023	Boiler room	Good	Water Heater, 6.5 GPM	1	10	1661933
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures)	3,835 SF	19	1661913
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Wet Chemical/CO2	1	5	1661942
HVAC						
D3021	Boiler room	Good	Boiler, 150 MBH	1	18	1661940
D3049	Throughout building	Good	HVAC System Hydronic Piping, 2-Pipe	3,835 SF	30	1661921
D3051	Conference Room	Fair	Air Conditioner, 1 TON	1	5	1661928
D3051	Office	Fair	Air Conditioner, 1 TON	1	5	1661930
D3051	Conference Room	Fair	Air Conditioner, 1 TON	1	5	1661922
D3051	Office	Fair	Air Conditioner, 1 TON	1	5	1661950
Electrical						
D5012		Fair	Main Distribution Panel, 200 AMP	1	15	1661945
D5019	Throughout building	Fair	Electrical Wiring & Switches, Average or Low Density/Complexity	3,835 SF	15	1661938
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	3,835 SF	11	1661918
D5092	Throughout building	Fair	Emergency Light, 2-Head w/ Battery	3	5	1661934
D5092	Throughout building	Fair	Emergency/Exit Combo LED	3	5	1661923
D5092	Throughout building	Fair	Exit Sign Light Fixture, LED	1	5	1661924
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Upgrade/Install	3,835 SF	10	1661932
D5037	Basement	Fair	Fire Alarm Control Panel, Addressable	1	6	1661927
Equipment/Special						
E2012	Restrooms	Good	Bathroom Vanity Cabinet, Wood, with Solid Surface Sink Top, 24 to 30"	2	16	1661943
Pavement						
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	2,250 SF	13	1661929
G2022	Site	Fair	Parking Lots, Asphalt Pavement, Seal & Stripe	2,250 SF	3	1661919

BPS / BPS - School Wastewater Plant

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building exterior	Poor	Exterior Wall, Joint Caulking 1/2" to 1"	400 LF	1	1531401
B2032	Building exterior	Fair	Exterior Door, Steel	11	21	1531396
Roofing						
B3011	Roof	Fair	Roof, Built-Up	4,180 SF	6	1537464
B3016	Roof	Fair	Gutters & Downspouts, Aluminum w/ Fittings	30 LF	6	1531402
Interiors						
C1021	Throughout building	Fair	Interior Door, Steel	4	21	1537484
C3012	Restroom walls	Fair	Interior Wall Finish, Ceramic Tile	270 SF	21	1537480
C3024	Electrical room floor	Fair	Interior Floor Finish, Vinyl Sheeting	200 SF	3	1537482
C3024	Restroom floor	Fair	Interior Floor Finish, Ceramic Tile	100 SF	21	1537445
C3032	Interior ceiling (restroom)	Fair	Interior Ceiling Finish, Suspended Acoustical Tile (ACT)	100 SF	6	1537478
Plumbing						
D2011	Restrooms	Fair	Toilet, Commercial Water Closet	1	11	1537444
D2014	Main wastewater room	Fair	Service Sink, Floor	1	16	1537457
D2014	Restroom	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	11	1537448

BPS / BPS - School Wastewater Plant

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2019	Main wastewater room	Fair	Emergency Eye Wash [Eye Wash Station]	1	11	1537489
D2021	Mechanical room - Fire-Domestic-Water Heater	Fair	Backflow Preventer, Domestic, 1.5" [No tag/plate found]	1	11	1537473
D2023	Mechanical room - Fire-Domestic-Water Heater	Good	Water Heater, Gas, Residential, 40 GAL [No tag/plate found]	1	13	1537459
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Low Density (excl fixtures)	4,180 SF	21	1537492
Fire Suppression						
D4011	Mechanical room - Fire-Domestic-Water Heater	Fair	Backflow Preventer, Fire Suppression, 4" [No tag/plate found]	1	11	1537472
D4019	Throughout building	Fair	Sprinkler Heads (per SF)	4,180 SF	6	1537481
D4031	Interior Fire Extinguishers	Fair	Fire Extinguisher, Type ABC, up to 20 LB	5	3	1537451
HVAC						
D3022	Main wastewater room	Fair	Chemical Feed System [No tag/plate found]	1	5	1537439
D3041	Ceiling suspended centrally in building	Fair	HVAC System Ductwork, Low Density	4,180 SF	11	1537460
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM [EF-19 / 6]	1	3	1537447
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 400 CFM [EF-21 / 4]	1	3	1537465
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,200 CFM [EF-23 / 1]	1	3	1537436
D3042	Mechanical room	Fair	Fume Exhauster, Centrifugal, 5,000 CFM (24" Damper) [No tag/plate found]	1	6	1537467
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 500 CFM [EF-24 / 2]	1	3	1537437
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 300 CFM [EF-20 / 5]	1	3	1537443
D3042	Roof	Fair	Exhaust Fan, Roof or Wall Mounted, 600 CFM [EF-22 / 3]	1	3	1537488
D3042	Roof	Fair	Intake Hood, Roof or Wall Mounted, 2,000 CFM [No tag/plate found]	1	3	1537461
D3051	Ceiling-suspended in main wastewater room	Poor	Furnace, Gas, 1,583 MBH [No tag/plate found]	1	1	1537485
D3051	Restrooms	Poor	Unit Heater, Electric, 2 kW [No tag/plate found]	1	1	1537454
D3051	Generator room	Fair	Unit Heater, Electric, 5 kW [No tag/plate found]	1	3	1537468
D3051	Mechanical room	Fair	Unit Heater, Electric, 5 kW [No tag/plate found]	1	3	1537456
Electrical						
D5012	Electrical room	Fair	Motor Control Center w/ Main Breaker, 800 Amp [No tag/plate found]	1	11	1537493
D5012	Wastewater room	Fair	Motor, 7.5 HP, Open Drip Proof, Premium Efficiency [No tag/plate found]	1	7	1537446
D5012	Electrical room	Fair	Main Distribution Panel, 120/208 V, 225 Amp [LP]	1	11	1537462
D5012	Electrical room	Fair	Secondary Transformer, Dry, 30 kVA [PNL HP CRT 7, 9 & 11]	1	11	1537486
D5012	Wastewater room	Fair	Motor, 5 HP, Open Drip Proof, Premium Efficiency [No tag/plate found]	1	7	1537455
D5012	Wastewater room	Fair	Motor, 5 HP, Open Drip Proof, Premium Efficiency [No tag/plate found*]	1	7	1537491
D5012	Electrical room	Fair	Transfer Switch, Automatic (ATS), 100 Amp [ATS/HP]	1	6	1537474
D5012	Electrical room	Fair	Main Distribution Panel, 277/480 V, 200 Amp [HP]	1	11	1537471
D5019	Throughout building	Good	Full Electrical System Upgrade, Medium Density/Complexity	4,180 SF	21	1623705
D5022	Building exterior	Fair	Light Fixture, any type w/ LED Replacement, 100 W	6	3	1531394
D5029	Throughout building	Fair	Lighting System, Interior, Medium Density & Standard Fixtures	4,180 SF	5	1537449
D5092	Generator room	Fair	Generator, Gas or Gasoline, 135 kW [No tag/plate found]	1	6	1537440
D5092	Throughout building	Fair	Exit Sign Light Fixture, LED	6	4	1537466
Fire Alarm & Comm						
D5037	Electrical room	Poor	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	1	1537469
D5037	Throughout building	Fair	Fire Alarm System, Standard Addressable, Upgrade	4,180 SF	10	1623707
Equipment/Special						
E1028	Install	NA	Defibrillator (AED), Cabinet Mounted, Install	1	0	1623704
Pavement						
G2022	Parking area (west side of building)	Poor	Parking Lots, Curb & Gutter, Granite	10 LF	0	1593844
G2022	Site asphalt pavement areas	Poor	Parking Lots, Asphalt Pavement, Seal & Stripe	4,200 SF	1	1531399

BPS / BPS - School Wastewater Plant

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2022	Parking area (west side of building)	Good	Parking Lots, Curb & Gutter, Granite	60 LF	31	1531400
G2022	Site asphalt pavement areas	Fair	Parking Lots, Asphalt Pavement, Mill & Overlay	4,200 SF	12	1593520
G2031	Site pedestrian pavement	Fair	Pedestrian Pavement, Sidewalk, Asphalt, Overlay	800 SF	12	1531395
Site Lighting						
G4021	Site	Good	Site Pole Light, 20' High, 400 W (LED Lamp Replacement)	3	15	1531398
Follow-up Studies						
P000X	Building interior and exterior	Poor	Mold/Biological Growth, Remediation, Clean and Seal	3,000 SF	0	1531397
P000X	Masonry study; interior and exterior walls	Poor	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	1	0	1537441

BPS / BPS - Storage Garage

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	1,650 SF	5	1661882
B2021	Building Exterior	Fair	Window, 12 SF	8	5	1661895
B2034	Building Exterior	Fair	Overhead/Dock Door, 144 SF	3	12	1661879
Roofing						
B3011	Roof	Excellent	Roof, Asphalt Shingle 20-Year	1,850 SF	20	1661893
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	1	10	1661896
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	2,550 SF	5	1661885
C3031	Throughout building	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	1,850 SF	5	1661884
Plumbing						
D2011	Restrooms	Fair	Toilet, Residential Water Closet	1	10	1661891
D2014	Restrooms	Fair	Sink/Lavatory, Wall-Hung, Vitreous China	1	10	1661886
D2029	Throughout building	Fair	Plumbing System, Supply & Sanitary, Very Low Density (excl fixtures)	1,248 SF	10	1661892
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Wet Chemical/CO2	4	4	1661897
HVAC						
D3011	Garage	Fair	Fuel Storage Tank, 101 - 275 GAL	1	10	1661880
D3041	Throughout building	Fair	HVAC System Ductwork, Low Density	1,248 SF	10	1661887
D3051	Garage	Fair	Furnace, 51 - 100 MBH	1	10	1661889
Electrical						
D5012	Throughout building	Fair	Main Distribution Panel, 100 AMP	1	10	1661888
D5019	Throughout building	Fair	Electrical Wiring & Switches, Average or Low Density/Complexity	1,248 SF	7	1661881
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	1,248 SF	10	1661883
Pavement						
G2022	Site	Excellent	Parking Lots, Asphalt Pavement, Mill & Overlay	3,450 SF	25	1661894
G2022	Site	Excellent	Parking Lots, Asphalt Pavement, Seal & Stripe	3,450 SF	5	1661890

BPS / BPS - Storage Maintenance

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Fair	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories	1,800 SF	10	1661908
B2021	Building Exterior	Fair	Window, 12 SF	14	5	1661912
B2032	Building Exterior	Fair	Exterior Door, Wood Solid-Core	1	7	1661911

BPS / BPS - Storage Maintenance

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2034	Building Exterior	Fair	Overhead/Dock Door, 144 SF	4	7	1661909
Roofing						
B3011	Roof	Fair	Roof, Asphalt Shingle 20-Year	1,600 SF	3	1661900
Interiors						
C1021	Throughout building	Fair	Interior Door, Wood Solid-Core	1	8	1661901
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	3,500 SF	5	1661907
C3024	Throughout building	Fair	Interior Floor Finish, Vinyl Tile (VCT)	100 SF	5	1661902
C3025	Throughout building	Fair	Interior Floor Finish, Carpet Commercial Standard	150 SF	5	1661898
C3031		Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	2,600 SF	5	1662311
Electrical						
D5012	Storage	Fair	Main Distribution Panel, 100 AMP	1	20	1661904
D5019	Throughout building	Fair	Electrical Wiring & Switches, Average or Low Density/Complexity	2,000 SF	8	1661899
D5022	Building exterior	Fair	Light Fixture, 100 WATT	3	7	1661903
D5029	Throughout building	Fair	Lighting System, Interior, Low Density & Standard Fixtures	2,000 SF	8	1661910
Pavement						
G2022	Site	Good	Parking Lots, Asphalt Pavement, Seal & Stripe	1,850 SF	5	1661906
G2022	Site	Good	Parking Lots, Asphalt Pavement, Mill & Overlay	1,850 SF	18	1661905

ISWM / ISWM - Maintenance Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2011	Building Exterior	Poor	Exterior Wall, Textured Plywood (T1-11)	180 SF	1	1595349
B2011	Building Exterior	Poor	Exterior Wall, Concrete, 1-2 Stories, Repair	4,970 SF	0	1595345
B2021	Building Exterior	Fair	Window, Wood 12 SF, 1-2 Stories	2	4	1595350
B2032	Building Exterior	Poor	Exterior Door, Steel	2	1	1595351
B2034	Building Exterior	Fair	Overhead/Dock Door, Aluminum 288 SF	4	15	1595358
Roofing						
B3011	Roof	Poor	Roof, Asphalt Shingle 20-Year	16,000 SF	0	1595354
Plumbing						
D2011	Restroom	Fair	Toilet, Residential Water Closet	1	10	1595342
D2014	Restroom	Fair	Sink/Lavatory, Wall-Hung, Enameled Steel	1	11	1595359
D2017	Locker room	Fair	Shower, Fiberglass	1	8	1595343
D2023	Mechanical room	Good	Water Heater, Electric, Commercial, 30 to 80 GAL (12 KW) [No tag/plate found]	1	14	1595348
Fire Suppression						
D4031	Throughout building	Fair	Fire Extinguisher, Wet Chemical/CO2	4	7	1595344
HVAC						
D3041	Mezzanine	Poor	Air Handler (AHU), Interior, 1,201 to 2,400 CFM [No tag/plate found]	1	1	1595352
D3042	Throughout building	NA	Exhaust Fan, Roof or Wall Mounted, 5,001 to 8,500 CFM, Install [No tag/plate found]	4	0	1625032
D3051	Workshop	Good	Furnace, 250 MBH [No tag/plate found]	1	20	1595346
D3051	Vehicle storage	Fair	Unit Heater, Hydronic, 13 to 36 MBH [No tag/plate found]	1	9	1595356
Electrical						
D5012	Vehicle room	Fair	Main Distribution Panel, 225 AMP [No tag/plate found]	1	10	1595353
D5012	Workshop	Fair	Main Distribution Panel, 200 AMP [No tag/plate found]	1	10	1595357
D5012	Workshop	Fair	Main Distribution Panel, 400 AMP [No tag/plate found]	1	10	1595347
D5019	Throughout building	Fair	Full Electrical System Upgrade, Low Density/Complexity	13,000 SF	23	1625035

ISWM / ISWM - Maintenance Bldg

UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D5029	Throughout building	Fair	Lighting System, Interior, Medium Density & Standard Fixtures	13,000 SF	3	1625034
Fire Alarm & Comm						
D5037	Throughout building	Fair	Fire Alarm System, Basic/Zoned, Install	13,000 SF	3	1625033
D5037	Throughout building	Fair	Fire Alarm Control Panel, Addressable [No tag/plate found]	1	10	1595355
Sewer / Sewer Pump Station-B. Bay						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2032	Building exterior	Fair	Exterior Door, Steel	1	10	1665035
Roofing						
B3011	Lower roof	Good	Roof, Single-Ply EPDM Membrane	300 SF	15	1624047
B3011	Upper roof	Good	Roof, Asphalt Shingle 30-Year	510 SF	23	1624046
Interiors						
C3012	Throughout building	Fair	Interior Wall Finish, any surface, Prep & Paint	1,750 SF	6	1603331
C3021	Throughout building	Good	Interior Floor Finish, any surface w/ Elastomeric Coating, Prep & Paint	1,200 SF	7	1603329
C3031	Throughout interior	Fair	Interior Ceiling Finish, any flat surface, Prep & Paint	1,200 SF	6	1603328
Plumbing						
D2023	Lower level	Fair	Water Heater, Electric, Residential, 5 to 15 GAL [No tag/plate found]	1	5	1603323
Fire Suppression						
D4031	Throughout interior	Fair	Fire Extinguisher, Type ABC, up to 20 LB	2	5	1603324
HVAC						
D3041	Lower roof	Fair	Make-Up Air Unit, 6,000 CFM [No tag/plate found]	1	10	1603321
D3042	Lower roof	Fair	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM [No tag/plate found]	1	15	1603319
D3042	Upper level	Fair	Exhaust Fan, Roof or Wall Mounted, 8,501 to 15,000 CFM [No tag/plate found]	1	8	1603332
D3051	Throughout building	Good	Unit Heater, Electric, 6 to 10 kW [No tag/plate found]	2	15	1603320
D3051	Upper level	Fair	Unit Heater, Electric, 11 to 20 kW [No tag/plate found]	1	6	1603322
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 225 AMP [No tag/plate found]	1	16	1603325
D5012	Upper level	Excellent	Transfer Switch, Automatic (ATS), 200 Amp	1	25	1603326
D5092	Main floor	Excellent	Generator, Gas or Gasoline, 25 kW to 35 kW [No tag/plate found]	1	25	1603330
Fire Alarm & Comm						
D5037	Main level	Good	Fire Alarm Control Panel, Basic/Zoned [No tag/plate found]	1	10	1603327
Sewer / Sewer Pump Station-Hid Vil						
UF Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Electrical						
D5012	Electrical room	Fair	Main Distribution Panel, 225 AMP [No tag/plate found]	1	4	1603426
D5012	Electrical room	Excellent	Transfer Switch, 225 AMP [No tag/plate found]	1	25	1603424
D5092	Site	Excellent	Generator, 35 kW [No tag/plate found]	1	25	1603423
Pavement						
G2012	Site	Good	Roadways, Asphalt Pavement	850 SF	10	1603472
Site Development						
G2041	Site	Fair	Fences & Gates, Chain Link, 8' High	150 LF	14	1603425
G2049	Site	Good	Shed, Wooden Framed, Asphalt Shingles	196 SF	25	1603471

Appendix D: Replacement Reserves

Replacement Reserves Report

3/25/2020

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate		
Bourne	Bourne Archives Bldg	B2011	1628568	Exterior Wall, Stucco, 1-2 Stories,	10	4	6	250	SF	\$3.20	\$800							\$800																\$1,600	
Bourne	Bourne Archives Bldg	B2021	1628573	Window, Wood Historical 24 SF,	30	10	20	16	EA	\$3,600.00	\$57,600																					\$57,600	\$57,600		
Bourne	Bourne Archives Bldg	B2032	1628574	Exterior Door, Wood Solid-Core w/ Glazing Decorative High-End, Replace	25	8	17	2	EA	\$2,100.00	\$4,200																							\$4,200	
Bourne	Bourne Archives Bldg	B3011	1628578	Roof, Modified Bituminous, Replace	20	13	7	339	SF	\$10.00	\$3,390								\$3,390															\$3,390	
Bourne	Bourne Archives Bldg	C3012	1645576	Interior Wall Finish, any surface, Prep & Paint	10	4	6	1850	SF	\$1.50	\$2,775								\$2,775															\$2,775	
Bourne	Bourne Archives Bldg	C3012	1645577	Interior Wall Finish, Wood Paneling, Refinish	10	3	7	1550	SF	\$2.00	\$3,100								\$3,100															\$3,100	
Bourne	Bourne Archives Bldg	C3025	1645575	Interior Floor Finish, Carpet Commercial Tile, Replace	10	4	6	2850	SF	\$6.50	\$18,525							\$18,525																\$18,525	
Bourne	Bourne Archives Bldg	C3031	1645579	Interior Ceiling Finish, any flat surface, Prep & Paint	10	4	6	3432	SF	\$2.00	\$6,864							\$6,864																\$6,864	
Bourne	Bourne Archives Bldg	D2011	1645588	Toilet, Residential Water Closet, Replace	30	20	10	1	EA	\$700.00	\$700											\$700												\$700	
Bourne	Bourne Archives Bldg	D2014	1645589	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	20	10	1	EA	\$1,500.00	\$1,500											\$1,500												\$1,500	
Bourne	Bourne Archives Bldg	D2023	1628572	Water Heater, Electric, Residential, 5 to 15 GAL, Replace	15	11	4	1	EA	\$550.00	\$550					\$550															\$550			\$550	
Bourne	Bourne Archives Bldg	D3032	1628576	Condensing Unit/Heat Pump, Split System, 4 Ton, Replace	15	8	7	1	EA	\$5,200.00	\$5,200								\$5,200																\$5,200
Bourne	Bourne Archives Bldg	D3032	1628567	Condensing Unit/Heat Pump, Split System, 2 Ton, Replace	15	2	13	1	EA	\$3,400.00	\$3,400														\$3,400										\$3,400
Bourne	Bourne Archives Bldg	D3052	1628566	Heat Pump or Gas-Pack, Wall-Mounted, 2.5 to 3 Ton, Replace	20	2	18	1	EA	\$4,400.00	\$4,400																				\$4,400			\$4,400	
Bourne	Bourne Archives Bldg	D4031	1645584	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	3	7	1	EA	\$150.00	\$150								\$150															\$150	
Bourne	Bourne Archives Bldg	D5029	1645585	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	10	10	3432	SF	\$6.00	\$20,592											\$20,592													\$20,592
Bourne	Bourne Archives Bldg	D5037	1645583	Fire Alarm System, Basic/Zoned, Install	20	17	3	3432	SF	\$2.00	\$6,864					\$6,864																			\$6,864
Bourne	Bourne Archives Bldg	D5037	1628575	Fire Alarm Control Panel, Addressable, Replace	15	9	6	1	EA	\$15,000.00	\$15,000							\$15,000																	\$15,000
Bourne	Bourne Archives Bldg	D5092	1645590	Exit Sign Light Fixture, LED, Replace	10	3	7	1	EA	\$220.00	\$220								\$220																\$220
Bourne	Bourne Archives Bldg	G2022	1628571	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	8480	SF	\$0.45	\$3,816					\$3,816									\$3,816										\$3,816
Bourne	Bourne Archives Bldg	G2022	1645506	Parking Lots, Asphalt Pavement, Mill & Overlay	25	18	7	8480	SF	\$3.50	\$29,680								\$29,680																\$29,680
Bourne	Bourne Archives Bldg	G2048	1628570	Flagpole, Metal, Replace	30	15	15	1	EA	\$2,500.00	\$2,500															\$2,500									\$2,500
Bourne	Bourne Archives Bldg	B2011	1649263	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	10	3	7	1250	SF	\$3.00	\$3,750								\$3,750																\$3,750
Bourne	Bourne Archives Bldg	B2011	1649262	Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Replace	30	10	20	1250	SF	\$30.00	\$37,500																							\$37,500	
Bourne	Bourne Archives Bldg	B2021	1649261	Window, Wood Historical 12 SF	30	10	20	12	EA	\$2,300.00	\$27,600																							\$27,600	
Bourne	Bourne Archives Bldg	B2032	1663464	Exterior Door, Wood Solid-Core Decorative High-End, Replace	25	6	19	2	EA	\$1,500.00	\$3,000																							\$3,000	
Bourne	Bourne Archives Bldg	B3011	1649264	Roof, Asphalt Shingle 30-Year, Replace	30	15	15	1350	SF	\$5.50	\$7,425																\$7,425								\$7,425
Bourne	Bourne Archives Bldg	C3012	1628589	Interior Wall Finish, any surface, Prep & Paint	10	3	7	950	SF	\$1.50	\$1,425								\$1,425																\$1,425
Bourne	Bourne Archives Bldg	C3012	1628582	Interior Wall Finish, Wood Paneling, Refinish	10	2	8	650	SF	\$2.00	\$1,300									\$1,300															\$1,300
Bourne	Bourne Archives Bldg	C3024	1628586	Interior Floor Finish, Wood Strip, Refinish	10	2	8	875	SF	\$4.00	\$3,500									\$3,500															\$3,500
Bourne	Bourne Archives Bldg	C3031	1628585	Interior Ceiling Finish, any flat surface, Prep & Paint	10	3	7	875	SF	\$2.00	\$1,750								\$1,750																\$1,750
Bourne	Bourne Archives Bldg	D2011	1628587	Toilet, Residential Water Closet, Replace	30	15	15	1	EA	\$700.00	\$700																								\$700
Bourne	Bourne Archives Bldg	D2014	1628591	Sink/Lavatory, Vanity Top, Enameled Steel, Replace	30	15	15	1	EA	\$1,100.00	\$1,100																								\$1,100
Bourne	Bourne Archives Bldg	D2021	1628583	Backflow Preventer, Domestic, 3", Replace	30	15	15	1	EA	\$5,200.00	\$5,200																								\$5,200
Bourne	Bourne Archives Bldg	D2023	1628581	Water Heater, Electric, Residential, 5 to 15 GAL, Replace	15	14	1	1	EA	\$550.00	\$550					\$550																			\$550
Bourne	Bourne Archives Bldg	D3032	1628588	Ductless Split System, Single Zone, 3 Ton, Replace	15	0	15	1	EA	\$6,100.00	\$6,100																								\$6,100
Bourne	Bourne Archives Bldg	D5012	1628590	Main Distribution Panel, 120/240 V, 200 Amp, Replace	30	15	15	1	EA	\$2,500.00	\$2,500																								\$2,500
Bourne	Bourne Archives Bldg	D5029	1649268	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	10	10	875	SF	\$6.00	\$5,250																								\$5,250
Bourne	Bourne Archives Bldg	D5037	1649265	Fire Alarm System, Basic/Zoned, Install	20	10	10	875	SF	\$2.00	\$1,750																								\$1,750
Bourne	Bourne Archives Bldg	B2011	1649281	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	10	3	7	240	SF	\$3.00	\$720									\$720															\$720
Bourne	Bourne Archives Bldg	B3011	1628579	Roof, Asphalt Shingle 20-Year, Replace	20	9	11	580	SF	\$3.80	\$2,204																								\$2,204
Bourne	Bourne Archives Bldg	C3021	1649371	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	10	4	6	240	SF	\$12.00	\$2,880								\$2,880																\$2,880
Bourne	Bourne Archives Bldg	C3031	1649282	Interior Ceiling Finish, exposed irregular elements, Prep & Paint	10	3	7	350	SF	\$2.50	\$875									\$875															\$875
Bourne	Bourne Archives Bldg	D5029	1649280	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	17	3	240	SF	\$6.00	\$1,440																								\$1,440
Bourne	Bourne Archives Bldg	B2011	1649275	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	10	3	7	1250	SF	\$3.00	\$3,750									\$3,750															\$3,750
Bourne	Bourne Archives Bldg	B2011	1649278	Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Replace	30	10	20	1250	SF	\$30.00	\$37,500																								\$37,500
Bourne	Bourne Archives Bldg	B2021	1649273	Window, Wood Historical 12 SF	30																														

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate					
Bourne	Clark Field - Storage Bldg	D3051	1580762	Baseboard Heater, Electric, 4', 1000 Watts, Replace	25	5	20	1	EA	\$210.00	\$210																					\$210	\$210					
Bourne	Clark Field - Storage Bldg	D5012	1580751	Main Distribution Panel, 120/240 V, 100 Amp Residential-Style, Replace	30	10	20	1	EA	\$1,100.00	\$1,100																					\$1,100	\$1,100					
Bourne	Clark Field - Storage Bldg	D5022	1580755	Light Fixture, any type w/ LED Replacement, 400 W, Replace	20	20	0	1	EA	\$250.00	\$250	\$250																					\$250	\$500				
Bourne	Clark Field - Storage Bldg	D5029	1580753	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	3	17	450	SF	\$6.00	\$2,700																							\$2,700	\$2,700			
Bourne	Clark Field - Storage Bldg	D5038	1580750	Security/Surveillance System, Cameras and CCTV, Install	15	2	13	450	SF	\$5.00	\$2,250														\$2,250									\$2,250	\$2,250			
Bourne	Clark Field - Storage Bldg	E1031	1580760	Garage Door Opener, Belt Drive, 0.5 HP, Replace	15	5	10	1	EA	\$570.00	\$570											\$570												\$570	\$570			
Bourne	Clark Field - Storage Bldg	G2031	1580758	Pedestrian Pavement, Sidewalk, Concrete Sections/Small Areas, Replace	50	49	1	50	SF	\$20.00	\$1,000		\$1,000																					\$1,000	\$1,000			
Bourne	Community Center	B2011	1580564	Exterior Wall, Vinyl Siding, 1-2 Stories, Replace	30	17	13	8950	SF	\$8.00	\$71,600														\$71,600										\$71,600	\$71,600		
Bourne	Community Center	B2021	1580583	Window, Vinyl-Clad Double-Glazed 24 SF, 1-2 Stories, Replace	30	17	13	45	EA	\$900.00	\$40,500														\$40,500										\$40,500	\$40,500		
Bourne	Community Center	B2031	1580543	Exterior Door, Aluminum-Framed Fully-Glazed, Replace	30	17	13	10	EA	\$1,300.00	\$13,000														\$13,000										\$13,000	\$13,000		
Bourne	Community Center	B3011	1580566	Roof, Single-Ply TPO/PVC Membrane, Replace	20	17	3	14158	SF	\$17.00	\$240,686				\$240,686																				\$240,686	\$240,686		
Bourne	Community Center	B3011	1580561	Roof, Asphalt Shingle 30-Year, Replace	30	17	13	23350	SF	\$5.50	\$128,425														\$128,425											\$128,425	\$128,425	
Bourne	Community Center	B3021	1580600	Roof Skylight, per unit (9-20 SF), Replace	30	17	13	14	EA	\$1,300.00	\$18,200														\$18,200											\$18,200	\$18,200	
Bourne	Community Center	C1031	1595818	Toilet Partitions, Plastic/Laminate, Replace	20	10	10	4	EA	\$750.00	\$3,000											\$3,000													\$3,000	\$3,000		
Bourne	Community Center	C3012	1580575	Interior Wall Finish, any surface, Prep & Paint	10	3	7	45000	SF	\$1.50	\$67,500								\$67,500																\$67,500	\$135,000		
Bourne	Community Center	C3024	1580532	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	5	10	15650	SF	\$5.00	\$78,250												\$78,250													\$78,250	\$78,250	
Bourne	Community Center	C3024	1580572	Interior Floor Finish, Wood Strip, Replace	30	17	13	5250	SF	\$15.00	\$78,750														\$78,750											\$78,750	\$78,750	
Bourne	Community Center	C3025	1580588	Interior Floor Finish, Carpet Commercial Standard, Replace	10	4	6	2865	SF	\$7.50	\$21,488							\$21,488																		\$21,488	\$42,975	
Bourne	Community Center	C3032	1580586	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	17	8	20350	SF	\$3.50	\$71,225											\$71,225															\$71,225	\$71,225
Bourne	Community Center	C3032	1580612	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	17	8	2540	SF	\$3.50	\$8,890										\$8,890															\$8,890	\$8,890	
Bourne	Community Center	D2011	1580594	Toilet, Commercial Water Closet, Replace	30	17	13	8	EA	\$1,300.00	\$10,400														\$10,400											\$10,400	\$10,400	
Bourne	Community Center	D2012	1595803	Urinal, Standard, Replace	30	17	13	6	EA	\$1,100.00	\$6,600														\$6,600											\$6,600	\$6,600	
Bourne	Community Center	D2014	1580545	Commercial Kitchen Sink, Stainless Steel, 3-Bowl, Replace	30	17	13	1	EA	\$2,500.00	\$2,500														\$2,500											\$2,500	\$2,500	
Bourne	Community Center	D2014	1580542	Sink/Lavatory, Vanity Top, Enameled Steel, Replace	30	17	13	12	EA	\$1,100.00	\$13,200														\$13,200											\$13,200	\$13,200	
Bourne	Community Center	D2017	1580537	Shower, Ceramic Tile, Replace	30	17	13	6	EA	\$2,500.00	\$15,000														\$15,000											\$15,000	\$15,000	
Bourne	Community Center	D2018	1580578	Drinking Fountain, Interior, Replace	15	7	8	4	EA	\$1,900.00	\$7,600										\$7,600															\$7,600	\$7,600	
Bourne	Community Center	D2023	1580579	Domestic Boiler, 300 MBH, Replace	25	14	11	1	EA	\$22,500.00	\$22,500												\$22,500													\$22,500	\$22,500	
Bourne	Community Center	D2023	1580591	Water Storage Tank, 300 GAL, Replace	30	14	16	1	EA	\$5,000.00	\$5,000																								\$5,000	\$5,000		
Bourne	Community Center	D3021	1580563	Boiler, 634 MBH, Replace	30	14	16	1	EA	\$26,200.00	\$26,200															\$26,200										\$26,200	\$26,200	
Bourne	Community Center	D3021	1580554	Boiler, 635 MBH, Replace	30	14	16	1	EA	\$26,200.00	\$26,200															\$26,200										\$26,200	\$26,200	
Bourne	Community Center	D3032	1580604	Ductless Split System, Single Zone, 1 Ton, Replace	15	12	3	1	EA	\$3,500.00	\$3,500				\$3,500																					\$3,500	\$7,000	
Bourne	Community Center	D3032	1580589	Condensing Unit/Heat Pump, Split System, 20 Ton, Replace	15	12	3	1	EA	\$37,800.00	\$37,800				\$37,800																					\$37,800	\$75,600	
Bourne	Community Center	D3041	1580547	Unit Ventilator, 751 - 1250 CFM, Replace	20	16	4	5	EA	\$9,000.00	\$45,000					\$45,000																					\$45,000	\$45,000
Bourne	Community Center	D3041	1580581	Unit Ventilator, 1500 CFM, Replace	20	14	6	12	EA	\$7,400.00	\$88,800																										\$88,800	\$88,800
Bourne	Community Center	D3041	1580565	Make-Up Air Unit, 20000 CFM, Replace	20	14	6	1	EA	\$80,000.00	\$80,000								\$80,000																		\$80,000	\$80,000
Bourne	Community Center	D3041	1580599	Make-Up Air Unit, 20000 CFM, Replace	20	14	6	1	EA	\$80,000.00	\$80,000								\$80,000																		\$80,000	\$80,000
Bourne	Community Center	D3041	1580573	Make-Up Air Unit, 2,000 to 6,000 CFM, Replace	20	10	10	1	EA	\$35,000.00	\$35,000											\$35,000															\$35,000	\$35,000
Bourne	Community Center	D3041	1595810	HVAC System Ductwork, Medium Density, Replace	30	17	13	27958	SF	\$4.00	\$111,832														\$111,832												\$111,832	\$111,832
Bourne	Community Center	D3041	1580582	Air Handler (AHU), Interior, 20,001 to 25,000 CFM, Replace	30	17	13	1	EA	\$87,000.00	\$87,000														\$87,000												\$87,000	\$87,000
Bourne	Community Center	D3041	1580596	Fan, Axial Flow In-Line, 20,001 to 30,000 CFM (7.5 HP), Replace	20	4	16	1	EA	\$5,600.00	\$5,600																									\$5,600	\$5,600	
Bourne	Community Center	D3041	1580587	Air Handler (AHU), Interior, 20,001 to 25,000 CFM, Replace	30	14	16	1	EA	\$87,000.00	\$87,000																									\$87,000	\$87,000	
Bourne	Community Center	D3042	1580534	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM, Replace	20	17	3	1	EA	\$1,400.00	\$1,400					\$1,400																					\$1,400	\$1,400
Bourne	Community Center	D3042	1580539	Exhaust Fan, Roof or Wall Mounted, 501 to 1,000 CFM, Replace	20	17	3	1	EA	\$1,400.00	\$1,400					\$1,400																					\$1,400	\$1,400
Bourne	Community Center	D3042	1580598	Exhaust Fan, Roof or Wall Mounted, 2,001 to 5,000 CFM, Replace	20	14																																

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
Bourne	Community Center	D5012	1580574	Transfer Switch, 1200 AMP, Replace	25	14	11	1	EA	\$25,000.00	\$25,000												\$25,000										\$25,000			
Bourne	Community Center	D5012	1580603	Main Distribution Panel, 600 AMP, Replace	30	14	16	1	EA	\$5,500.00	\$5,500																						\$5,500	\$5,500		
Bourne	Community Center	D5012	1580577	Main Distribution Panel, 1200 AMP, Replace	30	14	16	1	EA	\$11,500.00	\$11,500																							\$11,500	\$11,500	
Bourne	Community Center	D5012	1580568	Main Distribution Panel, 600 AMP, Replace	30	14	16	1	EA	\$5,500.00	\$5,500																							\$5,500	\$5,500	
Bourne	Community Center	D5022	1580605	Light Fixture, Metal Halide, 1,000 W, Replace	20	17	3	4	EA	\$300.00	\$1,200				\$1,200																			\$1,200	\$1,200	
Bourne	Community Center	D5029	1595811	Lighting System, Interior, Medium Density & Standard Fixtures, Replace	20	5	15	27958	SF	\$8.00	\$223,664																\$223,664							\$223,664	\$223,664	
Bourne	Community Center	D5037	1595805	Fire Alarm System, Standard Addressable, Install	20	17	3	27958	SF	\$4.00	\$111,832				\$111,832																			\$111,832	\$111,832	
Bourne	Community Center	D5037	1595804	Fire Alarm Control Panel, Addressable, Replace	15	6	9	1	EA	\$15,000.00	\$15,000											\$15,000												\$15,000	\$15,000	
Bourne	Community Center	D5092	1595809	Emergency/Exit Combo LED, Type ABC, up to 20 LB, Replace	10	3	7	25	EA	\$300.00	\$7,500								\$7,500															\$7,500	\$15,000	
Bourne	Community Center	D5092	1589775	Generator, Gas or Gasoline, 130 kW to 185 kW, Replace	25	17	8	1	EA	\$120,000.00	\$120,000										\$120,000													\$120,000	\$120,000	
Bourne	Community Center	E1093	1580549	Commercial Kitchen, Range/Oven, 6-Burner w/ Griddle, Replace	15	11	4	1	EA	\$10,200.00	\$10,200					\$10,200																\$10,200		\$10,200	\$20,400	
Bourne	Community Center	E1093	1580580	Commercial Kitchen, Convection Oven, Single, Replace	10	4	6	1	EA	\$5,600.00	\$5,600								\$5,600															\$5,600	\$11,200	
Bourne	Community Center	E1093	1580597	Commercial Kitchen, Dishwasher, Replace	10	4	6	1	EA	\$21,500.00	\$21,500								\$21,500															\$21,500	\$43,000	
Bourne	Community Center	E1093	1580558	Commercial Kitchen, Freezer, 1-Door Reach-In, Replace	15	9	6	1	EA	\$3,100.00	\$3,100								\$3,100															\$3,100	\$3,100	
Bourne	Community Center	E1093	1580555	Commercial Kitchen, Refrigerator, 2-Door Reach-In, Replace	15	5	10	1	EA	\$4,600.00	\$4,600											\$4,600												\$4,600	\$4,600	
Bourne	Community Center	E1093	1580548	Commercial Kitchen, Refrigerator, 1-Door Reach-In, Replace	15	0	15	1	EA	\$2,700.00	\$2,700																	\$2,700						\$2,700	\$2,700	
Bourne	Community Center	G2022	1580562	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	70000	SF	\$0.45	\$31,500				\$31,500																			\$31,500	\$126,000	
Bourne	Community Center	G2022	1595271	Parking Lots, Asphalt Pavement, Mill & Overlay	25	17	8	70000	SF	\$3.50	\$245,000											\$245,000													\$245,000	\$245,000
Bourne	Community Center	G2045	1580569	Site Furnishings, Park Bench, Metal/Wood/Plastic, Replace	20	6	14	1	EA	\$500.00	\$500																\$500							\$500	\$500	
Bourne	Community Center	G2047	1580538	Play Surfaces & Sports Courts, Asphalt, Seal & Stripe	5	2	3	14325	SF	\$0.45	\$6,432				\$6,432																			\$6,432	\$25,728	
Bourne	Community Center	G2047	1580570	Sports Apparatus, Basketball Backstop, Replace	25	17	8	2	EA	\$9,500.00	\$19,000											\$19,000													\$19,000	\$19,000
Bourne	Community Center	G2048	1580540	Flagpole, Metal, Replace	30	17	13	1	EA	\$2,500.00	\$2,500																\$2,500							\$2,500	\$2,500	
Bourne	DNR - Marine Bldg - Monument Beach	B2011	1649429	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	10	3	7	1735	SF	\$3.00	\$5,205																								\$5,205	\$10,410
Bourne	DNR - Marine Bldg - Monument Beach	B2021	1649428	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories, Replace	30	25	5	6	EA	\$600.00	\$3,600						\$3,600																		\$3,600	\$3,600
Bourne	DNR - Marine Bldg - Monument Beach	B2032	1649427	Exterior Door, Steel, Replace	40	25	15	2	EA	\$600.00	\$1,200																\$1,200								\$1,200	\$1,200
Bourne	DNR - Marine Bldg - Monument Beach	B3011	1628618	Roof, Asphalt Shingle 30-Year, Replace	30	12	18	1878	SF	\$5.50	\$10,329																								\$10,329	\$10,329
Bourne	DNR - Marine Bldg - Monument Beach	C3012	1649430	Interior Wall Finish, any surface, Prep & Paint	10	3	7	925	SF	\$1.50	\$1,388											\$1,388													\$1,388	\$2,775
Bourne	DNR - Marine Bldg - Monument Beach	C3021	1649426	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	10	7	3	650	SF	\$12.00	\$7,800				\$7,800																				\$7,800	\$15,600
Bourne	DNR - Marine Bldg - Monument Beach	C3031	1649431	Interior Ceiling Finish, any flat surface, Prep & Paint	10	3	7	750	SF	\$2.00	\$1,500											\$1,500													\$1,500	\$3,000
Bourne	DNR - Marine Bldg - Monument Beach	D2011	1628620	Toilet, Commercial Water Closet, Replace	30	12	18	3	EA	\$1,300.00	\$3,900																								\$3,900	\$3,900
Bourne	DNR - Marine Bldg - Monument Beach	D2014	1628621	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	12	18	3	EA	\$1,500.00	\$4,500																								\$4,500	\$4,500
Bourne	DNR - Marine Bldg - Monument Beach	D2017	1628625	Shower, Fiberglass, Replace	20	12	8	2	EA	\$1,600.00	\$3,200											\$3,200													\$3,200	\$3,200
Bourne	DNR - Marine Bldg - Monument Beach	D2023	1628623	Water Heater, Gas, Residential, 30 to 50 GAL, Replace	15	1	14	1	EA	\$1,300.00	\$1,300																\$1,300								\$1,300	\$1,300
Bourne	DNR - Marine Bldg - Monument Beach	D2029	1649437	Plumbing System, Supply & Sanitary, Low Density (excl fixtures), Replace	40	30	10	1428	SF	\$5.00	\$7,140																								\$7,140	\$7,140
Bourne	DNR - Marine Bldg - Monument Beach	D2043	1628624	Sump Pump, 3 HP, Replace	15	10	5	1	EA	\$4,270.00	\$4,270																								\$4,270	\$8,540
Bourne	DNR - Marine Bldg - Monument Beach	D5012	1628622	Main Distribution Panel, 200 AMP, Replace	30	25	5	1	EA	\$2,500.00	\$2,500							\$2,500																	\$2,500	\$2,500
Bourne	DNR - Marine Bldg - Monument Beach	D5029	1649435	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	17	3	1428	SF	\$6.00	\$8,568				\$8,568																				\$8,568	\$8,568
Bourne	DNR - Marine Bldg - Monument Beach	D5037	1649434	Fire Alarm System, Basic/Zoned, Replace	20	17	3	1428	SF	\$2.00	\$2,856				\$2,856																				\$2,856	\$2,856
Bourne	DNR - Marine Bldg - Monument Beach	G2022	1628619	Parking Lots, Asphalt Pavement, Seal & Stripe	5	1	4	83591	SF	\$0.45	\$37,616																								\$37,616	\$150,464
Bourne	DNR - Marine Bldg - Taylors Point	B2011	1595251	Exterior Wall, Vinyl Siding, 1-2 Stories, Replace	30	13	17	1825	SF	\$8.00	\$14,600																								\$14,600	\$14,600
Bourne	DNR - Marine Bldg - Taylors Point	B2021	1595819	Window, Vinyl-Clad Double-Glazed 24 SF, 1-2 Stories, Replace	30	13	17	10	EA	\$900.00	\$9,000																								\$9,000	\$9,000
Bourne	DNR - Marine Bldg - Taylors Point	B2034	1595823	Overhead/Dock Door, Aluminum 144 SF, Replace	30	13	17	1	EA	\$4,400.00	\$4,400																								\$4,400	\$4,400
Bourne	DNR - Marine Bldg - Taylors Point	B3011	1595821	Roof, Asphalt Shingle 30-Year, Replace	30	13	17	2630	SF	\$5.50	\$14,465																								\$14,465	\$14,465
Bourne	DNR - Marine Bldg - Taylors Point	C1031	1595264	Toilet Partitions, Plastic/Laminate, Replace	20	12	8	4	EA	\$750.00	\$3,000											\$3,000													\$3,000	\$3,000
Bourne	DNR - Marine Bldg - Taylors Point	C1033	1595248	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H, Replace	20	13	7	20	EA</																											

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
Bourne	Fire Station #1 - Buzzards Bay	D3032	1595172	Condensing Unit, 3 TON, Replace	15	6	9	1	EA	\$4,000.00	\$4,000										\$4,000											\$4,000	
Bourne	Fire Station #1 - Buzzards Bay	D3041	1595182	Fan Coil Unit, w/furnace, DX Split, 3 Ton, Replace	15	6	9	1	EA	\$3,800.00	\$3,800										\$3,800											\$3,800	
Bourne	Fire Station #1 - Buzzards Bay	D3051	1665033	Radiator, Hydronic Baseboard (per LF), Replace	30	20	10	195	LF	\$150.00	\$29,250											\$29,250										\$29,250	
Bourne	Fire Station #1 - Buzzards Bay	D3051	1665032	Unit Heater, Hydronic, 8 to 12 MBH, Replace	20	10	10	2	EA	\$1,100.00	\$2,200											\$2,200										\$2,200	
Bourne	Fire Station #1 - Buzzards Bay	D4031	1602773	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	7	3	3	EA	\$150.00	\$450				\$450										\$450							\$450	
Bourne	Fire Station #1 - Buzzards Bay	D5019	1602902	Full Electrical System Upgrade, Low Density/Complexity, Replace	40	37	3	7818	SF	\$13.00	\$101,634				\$101,634																		\$101,634
Bourne	Fire Station #1 - Buzzards Bay	D5029	1602909	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	17	3	7818	SF	\$6.00	\$46,908				\$46,908																		\$46,908
Bourne	Fire Station #1 - Buzzards Bay	D5037	1602901	Fire Alarm System, Standard Addressable, Install	20	17	3	7818	SF	\$4.00	\$31,272				\$31,272																		\$31,272
Bourne	Fire Station #1 - Buzzards Bay	D5037	1595171	Fire Alarm Control Panel, Addressable, Replace	15	10	5	1	EA	\$15,000.00	\$15,000						\$15,000														\$15,000	\$30,000	
Bourne	Fire Station #1 - Buzzards Bay	D5092	1602801	Emergency/Exit Combo LED, Replace	10	3	7	3	EA	\$300.00	\$900								\$900														\$900
Bourne	Fire Station #1 - Buzzards Bay	D5092	1595186	Generator, 50 kW, Replace	25	5	20	1	EA	\$52,000.00	\$52,000																						\$52,000
Bourne	Fire Station #1 - Buzzards Bay	E1094	1595169	Residential Appliances, Range, Gas, Replace	15	10	5	1	EA	\$670.00	\$670																						\$670
Bourne	Fire Station #1 - Buzzards Bay	E1094	1595180	Residential Appliances, Refrigerator, 14-18 CF, Replace	15	10	5	1	EA	\$600.00	\$600																						\$600
Bourne	Fire Station #1 - Buzzards Bay	E2012	1595170	Kitchen Cabinetry, Stock Hardwood, Replace	20	12	8	15	LF	\$300.00	\$4,500										\$4,500												\$4,500
Bourne	Fire Station #1 - Buzzards Bay	E2012	1595185	Kitchen Counter, Plastic Laminate, Postformed, Replace	15	5	10	12	LF	\$50.00	\$600												\$600										\$600
Bourne	Fire Station #1 - Buzzards Bay	G2012	1595178	Roadways, Concrete Pavement, Replace	50	49	1	800	SF	\$9.00	\$7,200		\$7,200																				\$7,200
Bourne	Fire Station #1 - Buzzards Bay	G2022	1596696	Parking Lots, Asphalt Pavement, Mill & Overlay	25	24	1	14500	SF	\$3.50	\$50,750		\$50,750																				\$50,750
Bourne	Fire Station #1 - Buzzards Bay	G2022	1595174	Parking Lots, Asphalt Pavement, Seal & Stripe	5	4	1	14500	SF	\$0.45	\$6,525		\$6,525					\$6,525					\$6,525										\$6,525
Bourne	Fire Station #1 - Buzzards Bay	G2048	1595184	Flagpole, Metal, Replace	30	15	15	1	EA	\$2,500.00	\$2,500															\$2,500							\$2,500
Bourne	Fire Station #1 - Buzzards Bay	P000X	1602947	Architect/Engineer, Building Envelope, Masonry, Evaluate/Report	0	0	0	1	EA	\$7,000.00	\$7,000	\$7,000																					\$7,000
Bourne	Fire Station #2 - Monument Beach	B2011	1628598	Exterior Wall, Wood Clapboard Siding, 1-2 Stories, Replace	30	25	5	1865	SF	\$30.00	\$55,950						\$55,950																\$55,950
Bourne	Fire Station #2 - Monument Beach	B2021	1628599	Window, Vinyl-Clad Double-Glazed 12 SF, 1-2 Stories, Replace	30	18	12	20	EA	\$600.00	\$12,000												\$12,000										\$12,000
Bourne	Fire Station #2 - Monument Beach	B2032	1628596	Exterior Door, Steel, Replace	40	35	5	2	EA	\$600.00	\$1,200						\$1,200																\$1,200
Bourne	Fire Station #2 - Monument Beach	B2034	1628603	Overhead/Dock Door, Aluminum 144 SF, Replace	30	27	3	2	EA	\$4,400.00	\$8,800				\$8,800																		\$8,800
Bourne	Fire Station #2 - Monument Beach	B3011	1628593	Roof, Asphalt Shingle 20-Year, Replace	20	17	3	2472	SF	\$3.80	\$9,394				\$9,394																		\$9,394
Bourne	Fire Station #2 - Monument Beach	C3012	1649386	Interior Wall Finish, any surface, Prep & Paint	10	7	3	3250	SF	\$1.50	\$4,875															\$4,875							\$4,875
Bourne	Fire Station #2 - Monument Beach	C3021	1649382	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	10	9	1	1396	SF	\$12.00	\$16,752		\$16,752										\$16,752										\$16,752
Bourne	Fire Station #2 - Monument Beach	C3024	1649385	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	12	3	100	SF	\$5.00	\$500				\$500															\$500			\$500
Bourne	Fire Station #2 - Monument Beach	C3025	1649383	Interior Floor Finish, Carpet Commercial Standard, Replace	10	7	3	1250	SF	\$7.50	\$9,375				\$9,375											\$9,375							\$9,375
Bourne	Fire Station #2 - Monument Beach	C3031	1649381	Interior Ceiling Finish, any flat surface, Prep & Paint	10	9	1	2792	SF	\$2.00	\$5,584		\$5,584										\$5,584										\$5,584
Bourne	Fire Station #2 - Monument Beach	D2011	1649374	Toilet, Residential Water Closet, Replace	30	30	0	1	EA	\$700.00	\$700	\$700																					\$700
Bourne	Fire Station #2 - Monument Beach	D2014	1649376	Sink/Lavatory, Wall-Hung, Enameled Steel, Replace	30	30	0	1	EA	\$1,700.00	\$1,700	\$1,700																					\$1,700
Bourne	Fire Station #2 - Monument Beach	D2017	1649375	Shower, Fiberglass, Replace	20	30	0	1	EA	\$1,600.00	\$1,600	\$1,600																			\$1,600	\$3,200	
Bourne	Fire Station #2 - Monument Beach	D2029	1649377	Plumbing System, Supply & Sanitary, Low Density (excl fixtures), Replace	40	40	0	2792	SF	\$5.00	\$13,960	\$13,960																					\$13,960
Bourne	Fire Station #2 - Monument Beach	D3051	1628592	Furnace, Gas, 51 to 100 MBH, Replace	20	10	10	1	EA	\$4,200.00	\$4,200											\$4,200											\$4,200
Bourne	Fire Station #2 - Monument Beach	D3051	1628604	Unit Heater, 25 MBH, Replace	20	10	10	1	EA	\$4,300.00	\$4,300											\$4,300											\$4,300
Bourne	Fire Station #2 - Monument Beach	D5012	1628597	Transfer Switch, 60 AMP, Replace	25	22	3	1	EA	\$8,500.00	\$8,500				\$8,500																		\$8,500
Bourne	Fire Station #2 - Monument Beach	D5012	1628600	Main Distribution Panel, 120/240 V, 200 Amp, Replace	30	20	10	1	EA	\$2,500.00	\$2,500											\$2,500											\$2,500
Bourne	Fire Station #2 - Monument Beach	D5019	1649379	Full Electrical System Upgrade, Low Density/Complexity, Replace	40	35	5	2792	SF	\$13.00	\$36,296						\$36,296																\$36,296
Bourne	Fire Station #2 - Monument Beach	D5029	1649380	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	17	3	2792	SF	\$6.00	\$16,752				\$16,752																		\$16,752
Bourne	Fire Station #2 - Monument Beach	D5037	1649378	Fire Alarm System, Basic/Zoned, Install	20	18	2	2792	SF	\$2.00	\$5,584			\$5,584																			\$5,584
Bourne	Fire Station #2 - Monument Beach	D5092	1628594	Generator, 12 kW, Replace	25	22	3	1	EA	\$24,000.00	\$24,000																						\$24,000
Bourne	Fire Station #2 - Monument Beach	G2022	1649372	Parking Lots, Asphalt Pavement, Seal & Stripe	5	4	1	850	SF	\$0.45	\$383		\$383					\$383					\$383										\$383
Bourne	Fire Station #2 - Monument Beach	G2022	1628601	Parking Lots, Asphalt Pavement, Mill & Overlay	25	24	1	850	SF	\$3.50	\$2,975		\$2,975																				\$2,975
Bourne	Fire Station #2 - Monument Beach	G2022	1628595	Parking Lots, Concrete Pavement, Replace	50	45	5	225	SF	\$9.00	\$2,025						\$2,025																\$2,025
Bourne	Fire Station #2 - Monument Beach	G2048	1628602	Flagpole, Metal, Replace	30	20	10	1	EA	\$2,500.00	\$2,500											\$2,500											\$2,500
Bourne	Fire Station #3 - Sagamore	B2011	1580715	Exterior Wall, Joint Caulking 0" to 1/2", 3+ Stories, Replace	10	5	5	1500	LF	\$3.50	\$5,250																\$5,250						\$5,250
Bourne	Fire Station #3 - Sagamore	B2011	1580691	Exterior Wall, Vinyl Siding, 1-2 Stories, Replace	30	14	16	1500	SF	\$8.00	\$12,000																						

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
Bourne	Town Hall	B2031	1580516	Exterior Door, Aluminum-Framed Fully-Glazed, Replace	30	19	11	6	EA	\$1,300.00	\$7,800											\$7,800										\$7,800	
Bourne	Town Hall	B2032	1580507	Exterior Door, Fiberglass, Replace	25	15	10	4	EA	\$750.00	\$3,000											\$3,000										\$3,000	
Bourne	Town Hall	B3011	1584314	Roof, Single-Ply EPDM Membrane, Replace	20	14	6	2495	SF	\$11.00	\$27,445						\$27,445															\$27,445	
Bourne	Town Hall	B3011	1584223	Roof, Asphalt Shingle 30-Year, Replace	30	20	10	7465	SF	\$5.50	\$41,058											\$41,058										\$41,058	
Bourne	Town Hall	C3012	1596256	Interior Wall Finish, any surface, Prep & Paint	10	4	6	24545	SF	\$1.50	\$36,818							\$36,818									\$36,818					\$36,818	
Bourne	Town Hall	C3025	1596335	Interior Floor Finish, Carpet Commercial Standard, Replace	10	4	6	13550	SF	\$7.50	\$101,625							\$101,625									\$101,625					\$101,625	
Bourne	Town Hall	C3032	1596257	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	6	19	12350	SF	\$3.50	\$43,225																			\$43,225		\$43,225	
Bourne	Town Hall	D1011	1580526	Elevator, 1500 LB, Renovate	30	27	3	1	EA	\$70,000.00	\$70,000				\$70,000																	\$70,000	
Bourne	Town Hall	D1019	1580522	Elevator Cab Finishes, Standard w/ Stainless Steel Doors, Replace	15	8	7	1	EA	\$9,000.00	\$9,000								\$9,000													\$9,000	
Bourne	Town Hall	D2023	1580514	Water Heater, Gas, Residential, 40 GAL., Replace	15	9	6	1	EA	\$1,900.00	\$1,900							\$1,900														\$1,900	
Bourne	Town Hall	D2034	1580511	Sewage Ejector Pump, 10 to 15 HP, Replace	25	14	11	1	EA	\$7,080.00	\$7,080											\$7,080										\$7,080	
Bourne	Town Hall	D3032	1580535	Condensing Unit/Heat Pump, 5 TON, Replace	15	14	1	1	EA	\$7,100.00	\$7,100		\$7,100														\$7,100					\$7,100	
Bourne	Town Hall	D3032	1580500	Condensing Unit/Heat Pump, 15 TON, Replace	15	12	3	1	EA	\$25,300.00	\$25,300					\$25,300														\$25,300		\$25,300	
Bourne	Town Hall	D3032	1580513	Condensing Unit/Heat Pump, 15 TON, Replace	15	12	3	1	EA	\$25,300.00	\$25,300					\$25,300														\$25,300		\$25,300	
Bourne	Town Hall	D3032	1580517	Condensing Unit/Heat Pump, Split System, 3.5 Ton, Replace	15	12	3	1	EA	\$4,600.00	\$4,600					\$4,600														\$4,600		\$4,600	
Bourne	Town Hall	D3032	1580524	Ductless Split System, Single Zone, 1 Ton, Replace	15	7	8	1	EA	\$3,500.00	\$3,500									\$3,500												\$3,500	
Bourne	Town Hall	D3032	1580488	Ductless Split System, Single Zone, 0.75 to 1 Ton, Replace	15	7	8	1	EA	\$3,500.00	\$3,500									\$3,500												\$3,500	
Bourne	Town Hall	D3032	1580527	Ductless Split System, Single Zone, 2.5 Ton, Replace	15	5	10	1	EA	\$6,100.00	\$6,100											\$6,100										\$6,100	
Bourne	Town Hall	D3032	1580489	Ductless Split System, Single Zone, 0.75 to 1 Ton, Replace	15	3	12	1	EA	\$3,500.00	\$3,500													\$3,500								\$3,500	
Bourne	Town Hall	D3041	1580515	Unit Ventilator, 300 to 750 CFM (approx. 2 Ton), Replace	20	15	5	3	EA	\$7,400.00	\$22,200					\$22,200																\$22,200	
Bourne	Town Hall	D3041	1580501	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580497	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580520	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580491	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580503	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580519	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580521	Air Handler (AHU), Interior, 4,001 to 6,000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580505	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580528	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580492	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3041	1580523	Air Handler (AHU), 6000 CFM, Replace	30	23	7	1	EA	\$31,000.00	\$31,000									\$31,000													\$31,000
Bourne	Town Hall	D3045	1580498	Distribution Pump, 1.5 HP, Replace	15	9	6	1	EA	\$5,100.00	\$5,100							\$5,100															\$5,100
Bourne	Town Hall	D3045	1580512	Distribution Pump, 1.5 HP, Replace	15	9	6	1	EA	\$5,100.00	\$5,100							\$5,100															\$5,100
Bourne	Town Hall	D4019	1596253	Sprinkler System, Full Retrofit, Medium Density/Complexity, Renovate	40	23	17	18752	SF	\$5.00	\$93,760																\$93,760					\$93,760	
Bourne	Town Hall	D4031	1596320	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	5	5	20	EA	\$150.00	\$3,000					\$3,000									\$3,000							\$3,000	
Bourne	Town Hall	D5012	1580499	Main Distribution Panel, 600 AMP, Replace	30	23	7	1	EA	\$5,500.00	\$5,500								\$5,500														\$5,500
Bourne	Town Hall	D5012	1580510	Transfer Switch, 600 AMP, Replace	25	9	16	1	EA	\$25,000.00	\$25,000																\$25,000						\$25,000
Bourne	Town Hall	D5019	1596563	Full Electrical System Upgrade, Medium Density/Complexity, Replace	40	23	17	18752	SF	\$18.00	\$337,536																\$337,536						\$337,536
Bourne	Town Hall	D5029	1596564	Lighting System, Interior, Medium Density & Standard Fixtures, Replace	20	14	6	18752	SF	\$8.00	\$150,016							\$150,016															\$150,016
Bourne	Town Hall	D5037	1580509	Fire Alarm Control Panel, Addressable, Replace	15	15	0	1	EA	\$15,000.00	\$15,000	\$15,000														\$15,000						\$15,000	
Bourne	Town Hall	D5037	1596317	Fire Alarm System, Basic/Zoned, Install	20	18	2	18752	SF	\$2.00	\$37,504			\$37,504																		\$37,504	
Bourne	Town Hall	D5092	1596333	Emergency/Exit Combo LED, Type ABC, up to 20 LB, Replace	10	7	3	15	EA	\$300.00	\$4,500				\$4,500									\$4,500								\$4,500	
Bourne	Town Hall	D5092	1580504	Uninterruptible Power Supply (UPS), 150 kVA, Replace	15	9	6	1	EA	\$70,000.00	\$70,000							\$70,000															\$70,000
Bourne	Town Hall	D5092	1580518	Generator, 60 kW, Replace	25	14	11	1	EA	\$52,000.00	\$52,000												\$52,000										\$52,000
Bourne	Town Hall	G2022	1580496	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	32500	SF	\$0.45	\$14,625				\$14,625					\$14,625					\$14,625				\$14,625				\$14,625
Bourne	Town Hall	G2022	1585892	Parking Lots, Asphalt Pavement, Mill & Overlay	25	14	11	32500	SF	\$3.50	\$113,750												\$113,750										\$113,750
Bourne	Town Hall	G2048	1580494	Flagpole, Metal, Replace	30	14	16	1	EA	\$2,500.00	\$2,500															\$2,500						\$2,500	
Bourne																																	

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate		
BPS	BPS - Bourne High School	B2021	1577607	Window, 12 SF, Replace	30	14	16	86	EA	\$650.00	\$55,900																						\$55,900		
BPS	BPS - Bourne High School	B2021	1577595	Window, 12 SF, Replace	30	14	16	364	EA	\$650.00	\$236,600																							\$236,600	
BPS	BPS - Bourne High School	B2023	1577579	Storefront, Metal-Framed Windows w/out Door(s), Replace	30	22	8	1200	SF	\$55.00	\$66,000									\$66,000														\$66,000	
BPS	BPS - Bourne High School	B2031	1577624	Exterior Door, Aluminum-Framed Fully-Glazed, Replace	30	15	15	20	EA	\$1,300.00	\$26,000																\$26,000							\$26,000	
BPS	BPS - Bourne High School	B2032	1577589	Exterior Door, Steel, Replace	40	20	20	31	EA	\$600.00	\$18,600																					\$18,600	\$18,600		
BPS	BPS - Bourne High School	B2034	1577586	Overhead/Dock Door, 144 SF, Replace	30	20	10	1	EA	\$3,200.00	\$3,200											\$3,200												\$3,200	
BPS	BPS - Bourne High School	B2034	1577620	Overhead/Dock Door, 144 SF, Replace	30	10	20	2	EA	\$4,400.00	\$8,800																					\$8,800	\$8,800		
BPS	BPS - Bourne High School	B3011	1577644	Roof, Single-Ply EPDM Membrane, Replace	20	19	1	1400	SF	\$11.00	\$15,400		\$15,400																					\$15,400	
BPS	BPS - Bourne High School	B3011	1577588	Roof, Built-Up, Replace	25	24	1	108550	SF	\$14.00	\$1,519,700		\$1,519,700																					\$1,519,700	
BPS	BPS - Bourne High School	B3011	1577598	Roof, Metal, Replace	40	29	11	625	SF	\$13.00	\$8,125												\$8,125											\$8,125	
BPS	BPS - Bourne High School	B3011	1577591	Roof, Single-Ply TPO/PVC Membrane, Replace	20	7	13	1150	SF	\$17.00	\$19,550															\$19,550								\$19,550	
BPS	BPS - Bourne High School	B3021	1577642	Roof Skylight, per unit (9-20 SF), Replace	30	29	1	3	EA	\$1,300.00	\$3,900		\$3,900																					\$3,900	
BPS	BPS - Bourne High School	B3021	1577635	Roof Skylight, per unit (9-20 SF), Replace	30	10	20	8	EA	\$1,300.00	\$10,400																					\$10,400	\$10,400		
BPS	BPS - Bourne High School	C1021	1577602	Interior Door, Wood Solid-Core, Replace	40	20	20	255	EA	\$700.00	\$178,500																					\$178,500	\$178,500		
BPS	BPS - Bourne High School	C1031	1537579	Toilet Partitions, Metal, Replace	20	10	10	40	EA	\$850.00	\$34,000											\$34,000												\$34,000	
BPS	BPS - Bourne High School	C1033	1577622	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H, Replace	20	10	10	940	EA	\$500.00	\$470,000											\$470,000												\$470,000	
BPS	BPS - Bourne High School	C1033	1577572	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H, Replace	20	5	15	350	EA	\$500.00	\$175,000																\$175,000							\$175,000	
BPS	BPS - Bourne High School	C2021	1577669	Interior Stair Treads, Raised Rubber Tile, Replace	18	9	9	600	SF	\$10.00	\$6,000											\$6,000												\$6,000	
BPS	BPS - Bourne High School	C3012	1577577	Interior Wall Finish, any surface. Prep & Paint	10	5	5	115000	SF	\$1.50	\$172,500						\$172,500										\$172,500							\$172,500	
BPS	BPS - Bourne High School	C3012	1577638	Interior Wall Finish, Wood Paneling, Replace	30	15	15	1750	SF	\$27.00	\$47,250																	\$47,250						\$47,250	
BPS	BPS - Bourne High School	C3021	1577667	Interior Floor Finish, any surface w/ Paint or Sealant, Prep & Paint	10	5	5	3500	SF	\$1.50	\$5,250						\$5,250										\$5,250							\$5,250	
BPS	BPS - Bourne High School	C3024	1577603	Interior Floor Finish, Rubber Tile, Replace	15	8	7	1500	SF	\$9.00	\$13,500								\$13,500															\$13,500	
BPS	BPS - Bourne High School	C3024	1577647	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	3	12	75000	SF	\$5.00	\$375,000													\$375,000										\$375,000	
BPS	BPS - Bourne High School	C3024	1577662	Interior Floor Finish, Maple Sports Floor, Replace	30	13	17	9750	SF	\$12.00	\$117,000																		\$117,000					\$117,000	
BPS	BPS - Bourne High School	C3024	1577582	Interior Floor Finish, Ceramic Tile, Replace	40	20	20	200	SF	\$18.00	\$3,600																				\$3,600			\$3,600	
BPS	BPS - Bourne High School	C3025	1577643	Interior Floor Finish, Carpet Commercial Standard, Replace	10	9	1	2000	SF	\$7.50	\$15,000		\$15,000										\$15,000											\$15,000	
BPS	BPS - Bourne High School	C3025	1577659	Interior Floor Finish, Carpet Commercial Standard, Replace	10	4	6	4500	SF	\$7.50	\$33,750						\$33,750											\$33,750						\$33,750	
BPS	BPS - Bourne High School	C3031	1577615	Interior Ceiling Finish, Plywood, Replace	30	15	15	9750	SF	\$12.00	\$117,000																\$117,000							\$117,000	
BPS	BPS - Bourne High School	C3032	1577629	Interior Ceiling Finish, Hard Tile Ceiling w/ ACT, Replace	25	24	1	42000	SF	\$3.50	\$147,000		\$147,000																					\$147,000	
BPS	BPS - Bourne High School	C3032	1577585	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	17	8	98000	SF	\$3.50	\$343,000										\$343,000													\$343,000	
BPS	BPS - Bourne High School	D1011	1537511	Elevator Controls, Automatic, 1 Car, Modernize	20	19	1	1	EA	\$5,000.00	\$5,000		\$5,000																					\$5,000	
BPS	BPS - Bourne High School	D1011	1537598	Elevator, Hydraulic, 2000 LB, 2 Floors, Renovate	30	29	1	1	EA	\$55,000.00	\$55,000		\$55,000																					\$55,000	
BPS	BPS - Bourne High School	D1011	1537522	Elevator, Hydraulic, 2000 LB, 2 Floors, Renovate	30	29	1	1	EA	\$55,000.00	\$55,000		\$55,000																					\$55,000	
BPS	BPS - Bourne High School	D1011	1537528	Elevator Controls, Automatic, 1 Car, Modernize	20	5	15	1	EA	\$5,000.00	\$5,000															\$5,000								\$5,000	
BPS	BPS - Bourne High School	D1019	1537572	Elevator Cab Finishes, Standard w/ Stainless Steel Doors, Replace	15	10	5	1	EA	\$9,000.00	\$9,000						\$9,000														\$9,000		\$9,000	\$18,000	
BPS	BPS - Bourne High School	D1019	1537562	Elevator Cab Finishes, Standard w/ Stainless Steel Doors, Replace	15	7	8	1	EA	\$9,000.00	\$9,000											\$9,000												\$9,000	
BPS	BPS - Bourne High School	D2011	1537570	Toilet, Commercial Water Closet, Replace	30	29	1	42	EA	\$1,300.00	\$54,600		\$54,600																					\$54,600	
BPS	BPS - Bourne High School	D2011	1537626	Toilet, Commercial Water Closet, Replace	30	20	10	20	EA	\$1,300.00	\$26,000												\$26,000											\$26,000	
BPS	BPS - Bourne High School	D2012	1537612	Urinal, Standard, Replace	30	29	1	23	EA	\$1,100.00	\$25,300		\$25,300																					\$25,300	
BPS	BPS - Bourne High School	D2012	1537541	Urinal, Standard, Replace	30	20	10	7	EA	\$1,100.00	\$7,700												\$7,700											\$7,700	
BPS	BPS - Bourne High School	D2014	1537503	Sink/Lavatory, Vanity Top, Solid Surface and Sink, Replace	30	30	0	48	EA	\$1,100.00	\$52,800	\$52,800																							\$52,800
BPS	BPS - Bourne High School	D2014	1537532	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	21	EA	\$1,500.00	\$31,500						\$31,500																	\$31,500	
BPS	BPS - Bourne High School	D2014	1537587	Service Sink, Wall-Hung, Replace	35	30	5	9	EA	\$1,400.00	\$12,600						\$12,600																	\$12,600	
BPS	BPS - Bourne High School	D2014	1537509	Sink, Solid Surface, Trough Style, Vandalism Resistant, Replace	30	25	5	8	EA	\$2,560.00	\$20,480						\$20,480																		\$20,480
BPS	BPS - Bourne High School	D2014	1577596	Commercial Kitchen Sink, Stainless Steel, 3-Bowl, Replace	30	15	15	1	EA	\$2,500.00	\$2,500																\$2,500							\$2,500	
BPS	BPS - Bourne High School	D2014	1577625	Commercial Kitchen Sink, Stainless Steel, 2-Bowl, Replace	30	15	15	1	EA	\$2,100.00	\$2,100																\$2,100							\$2,100	
BPS	BPS - Bourne High School	D2014	1577616	Commercial Kitchen Sink, Stainless Steel, 2-Bowl, Replace	30	15	15	1																											

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate			
BPS	BPS - Bourne High School	D2023	1577639	Domestic Circulation Pump, HP, Replace	15	7	8	1	EA	\$2,600.00	\$2,600									\$2,600												\$2,600				
BPS	BPS - Bourne High School	D2023	1577660	Water Heater, Indirect, 109.4 GAL, Replace	15	3	12	1	EA	\$4,800.00	\$4,800												\$4,800										\$4,800			
BPS	BPS - Bourne High School	D2023	1577581	Domestic Boiler, Gas, 399 MBH, Replace	25	7	18	1	EA	\$22,500.00	\$22,500																						\$22,500			
BPS	BPS - Bourne High School	D2029	1537576	Plumbing System, Supply & Sanitary, High Density (excl fixtures), Replace	40	39	1	159517	SF	\$14.00	\$2,233,238		\$2,233,238																				\$2,233,238			
BPS	BPS - Bourne High School	D2034	1595814	Grease Trap/Interceptor, Undercounter, Install	20	20	0	1	EA	\$1,800.00	\$1,800	\$1,800																					\$1,800	\$3,600		
BPS	BPS - Bourne High School	D2043	1537555	Sump Pump, 3 HP, Replace	15	10	5	1	EA	\$4,270.00	\$4,270						\$4,270																\$4,270	\$8,540		
BPS	BPS - Bourne High School	D2043	1537533	Sump Pump, 3 HP, Replace	15	10	5	1	EA	\$4,270.00	\$4,270						\$4,270																\$4,270	\$8,540		
BPS	BPS - Bourne High School	D2091	1577627	Air Compressor, 10 HP, Replace	20	16	4	1	EA	\$15,900.00	\$15,900				\$15,900																			\$15,900		
BPS	BPS - Bourne High School	D3021	1537520	Boiler, Gas, 5,610 MBH, Replace	30	29	1	1	EA	\$270,000.00	\$270,000		\$270,000																					\$270,000		
BPS	BPS - Bourne High School	D3021	1537504	Boiler, Gas, 3,578 MBH, Replace	30	29	1	1	EA	\$135,000.00	\$135,000		\$135,000																					\$135,000		
BPS	BPS - Bourne High School	D3021	1537588	Boiler, Gas, 3,578 MBH, Replace	30	29	1	1	EA	\$135,000.00	\$135,000		\$135,000																					\$135,000		
BPS	BPS - Bourne High School	D3021	1537635	Boiler, Gas, 5,610 MBH, Replace	30	29	1	1	EA	\$270,000.00	\$270,000		\$270,000																					\$270,000		
BPS	BPS - Bourne High School	D3022	1537565	Shot Feed Tank, 5 GAL, Replace	30	29	1	1	EA	\$1,520.00	\$1,520		\$1,520																					\$1,520		
BPS	BPS - Bourne High School	D3022	1537500	Shot Feed Tank, 5 GAL, Replace	30	29	1	1	EA	\$1,520.00	\$1,520		\$1,520																					\$1,520		
BPS	BPS - Bourne High School	D3022	1537640	Air Separator, 4", Replace	15	12	3	1	EA	\$3,900.00	\$3,900				\$3,900																			\$3,900	\$7,800	
BPS	BPS - Bourne High School	D3022	1537518	Air Separator, 4", Replace	15	12	3	1	EA	\$3,900.00	\$3,900				\$3,900																			\$3,900	\$7,800	
BPS	BPS - Bourne High School	D3022	1537604	Expansion Tank, 200 GAL, Replace	40	29	11	1	EA	\$5,200.00	\$5,200												\$5,200												\$5,200	
BPS	BPS - Bourne High School	D3022	1537630	Expansion Tank, 200 GAL, Replace	40	29	11	1	EA	\$5,200.00	\$5,200												\$5,200												\$5,200	
BPS	BPS - Bourne High School	D3032	1537573	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton, Replace	15	14	1	1	EA	\$6,630.00	\$6,630		\$6,630																						\$6,630	\$13,260
BPS	BPS - Bourne High School	D3032	1537621	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton, Replace	15	14	1	1	EA	\$6,630.00	\$6,630		\$6,630																						\$6,630	\$13,260
BPS	BPS - Bourne High School	D3032	1537514	Split System HVAC, Interior & Exterior Component Pairing, 3 Ton, Replace	15	14	1	1	EA	\$6,630.00	\$6,630		\$6,630																						\$6,630	\$13,260
BPS	BPS - Bourne High School	D3032	1537568	Ductless Split System, Single Zone, 2 Ton, Replace	15	9	6	1	EA	\$4,800.00	\$4,800							\$4,800																	\$4,800	
BPS	BPS - Bourne High School	D3032	1537537	Ductless Split System, Single Zone, 1.5 Ton, Replace	15	9	6	1	EA	\$4,800.00	\$4,800							\$4,800																	\$4,800	
BPS	BPS - Bourne High School	D3032	1537505	Ductless Split System, Single Zone, 3 Ton, Replace	15	3	12	1	EA	\$6,100.00	\$6,100													\$6,100											\$6,100	
BPS	BPS - Bourne High School	D3032	1537596	Ductless Split System, Single Zone, 3 Ton, Replace	15	3	12	1	EA	\$6,100.00	\$6,100													\$6,100											\$6,100	
BPS	BPS - Bourne High School	D3032	1537602	Ductless Split System, Single Zone, 1 Ton, Replace	15	3	12	1	EA	\$3,500.00	\$3,500													\$3,500											\$3,500	
BPS	BPS - Bourne High School	D3032	1537552	Ductless Split System, Single Zone, 2 Ton, Replace	15	3	12	1	EA	\$4,800.00	\$4,800													\$4,800											\$4,800	
BPS	BPS - Bourne High School	D3032	1537585	Ductless Split System, Single Zone, 3 Ton, Replace	15	3	12	1	EA	\$6,100.00	\$6,100													\$6,100											\$6,100	
BPS	BPS - Bourne High School	D3032	1537599	Ductless Split System, Single Zone, 2 Ton, Replace	15	3	12	1	EA	\$4,800.00	\$4,800													\$4,800											\$4,800	
BPS	BPS - Bourne High School	D3041	1537603	Unit Ventilator, 751 to 1,250 CFM (approx. 3 Ton), Replace	20	19	1	49	EA	\$9,000.00	\$441,000		\$441,000																						\$441,000	
BPS	BPS - Bourne High School	D3041	1537567	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1577628	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537574	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537582	Unit Ventilator, 1,251 to 1,500 CFM (approx. 4 Ton), Replace	20	19	1	2	EA	\$10,600.00	\$21,200		\$21,200																						\$21,200	
BPS	BPS - Bourne High School	D3041	1537554	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537512	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537578	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537557	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537547	Air Handler (AHU), Interior, 5,000 CFM, Replace	30	29	1	1	EA	\$31,000.00	\$31,000		\$31,000																						\$31,000	
BPS	BPS - Bourne High School	D3041	1537527	HVAC System Ductwork, Medium Density, Replace	30	20	10	40000	SF	\$4.00	\$160,000											\$160,000													\$160,000	
BPS	BPS - Bourne High School	D3042	1537569	Exhaust Fan, Roof or Wall Mounted, 400 CFM, Replace	20	20	0	1	EA	\$1,200.00	\$1,200	\$1,200																					\$1,200	\$2,400		
BPS	BPS - Bourne High School	D3042	1537616	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	20	20	0	1	EA	\$1,400.00	\$1,400	\$1,400																						\$1,400	\$2,800	
BPS	BPS - Bourne High School	D3042	1537545	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	20	20	0	1	EA	\$1,400.00	\$1,400	\$1,400																						\$1,400	\$2,800	
BPS	BPS - Bourne High School	D3042	1537506	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	20	20	0	1	EA	\$1,400.00	\$1,400	\$1,400																							\$1,400	\$2,800
BPS	BPS - Bourne High School	D3042	1537628	Exhaust Fan, Roof or Wall Mounted, 1,000 CFM, Replace	20	20	0	1	EA	\$1,400.00	\$1,400	\$1,400																							\$1,400	\$2,800
BPS	BPS - Bourne High School	D3042	1537581																																	

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
BPS	BPS - Bourne High School	E1093	1577633	Commercial Kitchen, Broiler, Replace	15	7	8	1	EA	\$8,400.00	\$8,400										\$8,400												\$8,400	
BPS	BPS - Bourne High School	E1093	1577571	Commercial Kitchen, 8 - 10 LF, Replace	15	7	8	1	EA	\$4,500.00	\$4,500										\$4,500												\$4,500	
BPS	BPS - Bourne High School	E1093	1577656	Commercial Kitchen, Salad Table, Replace	15	7	8	1	EA	\$4,700.00	\$4,700										\$4,700												\$4,700	
BPS	BPS - Bourne High School	E1093	1577576	Commercial Kitchen, Range/Oven, 4-Burner, Replace	15	7	8	1	EA	\$4,500.00	\$4,500										\$4,500												\$4,500	
BPS	BPS - Bourne High School	E1093	1577645	Commercial Kitchen, Food Warmer, Replace	15	6	9	1	EA	\$1,700.00	\$1,700											\$1,700											\$1,700	
BPS	BPS - Bourne High School	E1093	1577652	Commercial Kitchen, Tilting Skillet, Replace	20	10	10	1	EA	\$24,500.00	\$24,500												\$24,500											\$24,500
BPS	BPS - Bourne High School	E1093	1577666	Commercial Kitchen, Refrigerator, 2-Door Reach-In, Replace	15	5	10	1	EA	\$4,600.00	\$4,600											\$4,600											\$4,600	
BPS	BPS - Bourne High School	E1093	1577668	Commercial Kitchen, Walk-In Freezer, Replace	20	10	10	1	EA	\$25,000.00	\$25,000											\$25,000											\$25,000	
BPS	BPS - Bourne High School	E1093	1577590	Commercial Kitchen, Walk-In Refrigerator, Replace	20	10	10	1	EA	\$15,000.00	\$15,000											\$15,000											\$15,000	
BPS	BPS - Bourne High School	E1093	1577663	Commercial Kitchen, Steam Kettle, Replace	20	5	15	1	EA	\$30,000.00	\$30,000															\$30,000							\$30,000	
BPS	BPS - Bourne High School	E1099	1577583	Bleacher, 1 - 15 TIER, Replace (per Seat)	20	3	17	665	EA	\$300.00	\$199,500																						\$199,500	
BPS	BPS - Bourne High School	E2015	1577654	Auditorium Seating, Fixed Metal with Cushion, Replace	20	10	10	857	EA	\$500.00	\$428,500											\$428,500											\$428,500	
BPS	BPS - Bourne High School	G2012	1577634	Roadways, Asphalt Pavement, Seal & Stripe	5	4	1	76000	SF	\$0.45	\$34,200		\$34,200					\$34,200					\$34,200										\$34,200	
BPS	BPS - Bourne High School	G2012	1577649	Roadways, Asphalt Pavement, Mill & Overlay	25	14	11	76000	SF	\$3.50	\$266,000												\$266,000										\$266,000	
BPS	BPS - Bourne High School	G2022	1577658	Parking Lots, Asphalt Pavement, Seal & Stripe	5	4	1	116750	SF	\$0.45	\$52,538		\$52,538					\$52,538					\$52,538										\$52,538	
BPS	BPS - Bourne High School	G2022	1577626	Parking Lots, Asphalt Pavement, Mill & Overlay	25	15	10	116750	SF	\$3.50	\$408,625											\$408,625											\$408,625	
BPS	BPS - Bourne High School	G2022	1577653	Parking Lots, Curb & Gutter, Concrete, Replace	50	30	20	1250	LF	\$26.00	\$32,500																				\$32,500	\$32,500		
BPS	BPS - Bourne High School	G2031	1577570	Pedestrian Pavement, Sidewalk, Asphalt, Replace	25	15	10	14000	SF	\$5.50	\$77,000											\$77,000											\$77,000	
BPS	BPS - Bourne High School	G2042	1577594	Retaining Wall, Concrete Masonry Unit (per SF Face), Replace	40	20	20	185	SF	\$60.00	\$11,100																				\$11,100	\$11,100		
BPS	BPS - Bourne High School	G2044	1577636	Signage, Property, Monument/Pylon, Replace/Install	20	10	10	1	EA	\$9,500.00	\$9,500											\$9,500											\$9,500	
BPS	BPS - Bourne High School	G2045	1577610	Site Furnishings, Park Bench, Metal/Wood/Plastic, Replace	20	10	10	3	EA	\$500.00	\$1,500											\$1,500											\$1,500	
BPS	BPS - Bourne High School	G2045	1577670	Site Furnishings, Picnic Table, Plastic-Coated Metal, Replace	25	13	12	7	EA	\$1,400.00	\$9,800													\$9,800									\$9,800	
BPS	BPS - Bourne High School	G2047	1577621	Sports Apparatus, Scoreboard, Replace	25	12	13	2	EA	\$20,000.00	\$40,000														\$40,000								\$40,000	
BPS	BPS - Bourne High School	G2047	1577569	Sports Apparatus, Basketball Backstop, Replace	25	12	13	6	EA	\$9,500.00	\$57,000															\$57,000							\$57,000	
BPS	BPS - Bourne High School	G4021	1577605	Site Pole Light, 20' High, 400 W (LED Lamp Replacement), Replace	20	2	18	33	EA	\$4,000.00	\$132,000																				\$132,000	\$132,000		
BPS	BPS - Bourne High School	P000X	1537583	Engineer, Environmental, Sample for ACMs, Evaluate/Report	0	0	0	1	EA	\$3,500.00	\$3,500	\$3,500																					\$3,500	
BPS	BPS - Bourne High School	P000X	1595102	Engineer, Mechanical/HVAC, General, Mechanical/HVAC Design	0	0	0	1	EA	\$7,000.00	\$7,000	\$7,000																					\$7,000	
BPS	BPS - Bourne High School	Z105X	1577609	ADA, Miscellaneous, Level III Study, Includes Measurements, Evaluate/Report	0	0	0	1	EA	\$7,500.00	\$7,500	\$7,500																					\$7,500	
BPS	BPS - Bourne Intermediate School	B3011	1662258	Roof, Single-Ply TPO/PVC Membrane, Replace	20	0	20	54800	SF	\$17.00	\$931,600																				\$931,600	\$931,600		
BPS	BPS - Bourne Intermediate School	C1031	1662182	Toilet Partitions, Plastic/Laminate, Replace	20	0	20	24	EA	\$750.00	\$18,000																				\$18,000	\$18,000		
BPS	BPS - Bourne Intermediate School	C1033	1662294	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H, Replace	20	0	20	500	EA	\$500.00	\$250,000																				\$250,000	\$250,000		
BPS	BPS - Bourne Intermediate School	C3012	1662271	Interior Wall Finish, any surface, Prep & Paint	10	0	10	112500	SF	\$1.50	\$168,750											\$168,750											\$168,750	
BPS	BPS - Bourne Intermediate School	C3021	1662225	Interior Floor Finish, any surface w/ Epoxy Coating, Prep & Paint	10	0	10	72680	SF	\$12.00	\$872,160											\$872,160											\$872,160	
BPS	BPS - Bourne Intermediate School	C3024	1662252	Interior Floor Finish, Vinyl Sheetting, Replace	15	0	15	4000	SF	\$7.00	\$28,000																\$28,000						\$28,000	
BPS	BPS - Bourne Intermediate School	C3024	1662173	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	0	15	38500	SF	\$5.00	\$192,500																\$192,500						\$192,500	
BPS	BPS - Bourne Intermediate School	C3025	1662168	Interior Floor Finish, Carpet Commercial Standard, Replace	10	0	10	64800	SF	\$7.50	\$486,000											\$486,000								\$486,000	\$486,000	\$972,000		
BPS	BPS - Bourne Intermediate School	C3031	1662169	Interior Ceiling Finish, any flat surface, Prep & Paint	10	0	10	14500	SF	\$2.00	\$29,000											\$29,000									\$29,000	\$29,000	\$58,000	
BPS	BPS - Bourne Intermediate School	D1019	1662240	Elevator Cab Finishes, Standard w/ Stainless Steel Doors, Replace	15	0	15	1	EA	\$9,000.00	\$9,000																\$9,000						\$9,000	
BPS	BPS - Bourne Intermediate School	D2018	1662249	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2018	1662283	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2018	1662236	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2018	1662295	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2018	1662176	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2018	1662248	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bourne Intermediate School	D2023	1662191	Domestic Circulation Pump, 1 HP, Replace	15	0	15	1	EA	\$3,300.00	\$3,300																\$3,300						\$3,300	
BPS	BPS - Bourne Intermediate School	D2023	1662175	Domestic Circulation Pump, 1 HP, Replace	15	0	15	1	EA	\$3,300.00	\$3,300																\$3,300						\$3,300	
BPS	BPS - Bourne Intermediate School	D2023	1662289	Water Heater, 116 GAL, Replace	20	0	20	1	EA	\$18,500.00	\$18,500																				\$18,500	\$18,500		
BPS	BPS - Bourne Intermediate School	D3032	1662242	Ductless Split System, 3 TON, Replace	15	0	15	1	EA	\$6,100																								

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
BPS	BPS - Bourne Middle School	D4019	1531415	Sprinkler Heads (per SF), , Replace	25	19	6	156574	SF	\$1.50	\$234,861							\$234,861															\$234,861	
BPS	BPS - Bourne Middle School	D4031	1531481	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	6	4	20	EA	\$150.00	\$3,000					\$3,000										\$3,000							\$6,000	
BPS	BPS - Bourne Middle School	D4091	1562785	Fire Suppression System, Commercial Kitchen (per LF of Hood), Replace	20	15	5	20	LF	\$400.00	\$8,000						\$8,000																\$8,000	
BPS	BPS - Bourne Middle School	D5012	1531446	Transfer Switch, Automatic (ATS), 200 Amp, Replace	25	19	6	1	EA	\$12,000.00	\$12,000																						\$12,000	
BPS	BPS - Bourne Middle School	D5012	1531462	Transfer Switch, Automatic (ATS), 200 Amp, Replace	25	19	6	1	EA	\$12,000.00	\$12,000																						\$12,000	
BPS	BPS - Bourne Middle School	D5012	1531430	Motor Control Center w/ Main Breaker, 600 Amp, Replace	30	19	11	1	EA	\$15,000.00	\$15,000																						\$15,000	
BPS	BPS - Bourne Middle School	D5012	1531456	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531435	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531437	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531465	Secondary Transformer, Dry, 75 kVA, Replace	30	19	11	1	EA	\$10,000.00	\$10,000																						\$10,000	
BPS	BPS - Bourne Middle School	D5012	1531491	Secondary Transformer, Dry, 15 kVA, Replace	30	19	11	1	EA	\$6,000.00	\$6,000																						\$6,000	
BPS	BPS - Bourne Middle School	D5012	1531444	Distribution Panel, 277/480 V, 400 Amp, Replace	30	19	11	1	EA	\$5,300.00	\$5,300																						\$5,300	
BPS	BPS - Bourne Middle School	D5012	1531426	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531449	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531478	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531469	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531431	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531433	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531483	Secondary Transformer, Dry, 15 kVA, Replace	30	19	11	1	EA	\$6,000.00	\$6,000																						\$6,000	
BPS	BPS - Bourne Middle School	D5012	1531429	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531476	Secondary Transformer, Dry, 30 kVA, Replace	30	19	11	1	EA	\$6,700.00	\$6,700																						\$6,700	
BPS	BPS - Bourne Middle School	D5012	1531472	Motor Control Center w/ Main Breaker, 600 Amp, Replace	30	19	11	1	EA	\$15,000.00	\$15,000																						\$15,000	
BPS	BPS - Bourne Middle School	D5012	1531407	Distribution Panel, 277/480 V, 400 Amp, Replace	30	19	11	1	EA	\$5,300.00	\$5,300																						\$5,300	
BPS	BPS - Bourne Middle School	D5022	1562818	Light Fixture, Exterior Flood (any type w/ LED Replacement), 100 W, Replace	20	17	3	14	EA	\$210.00	\$2,940																						\$2,940	
BPS	BPS - Bourne Middle School	D5029	1531475	Lighting System, Interior, Medium Density & Standard Fixtures, Replace	20	0	20	156574	SF	\$8.00	\$1,252,592																						\$1,252,592	\$1,252,592
BPS	BPS - Bourne Middle School	D5037	1531403	Annunciator Alarm Panel, , Replace	15	2	13	1	EA	\$1,580.00	\$1,580																							\$1,580
BPS	BPS - Bourne Middle School	D5037	1531445	Fire Alarm Control Panel, Addressable, Replace	15	2	13	1	EA	\$15,000.00	\$15,000																							\$15,000
BPS	BPS - Bourne Middle School	D5037	1589848	Fire Alarm System, Standard Addressable, Upgrade	20	2	18	156574	SF	\$4.00	\$626,296																						\$626,296	\$626,296
BPS	BPS - Bourne Middle School	D5038	1531408	Security/Surveillance System, Cameras and CCTV, Upgrade	15	5	10	156574	SF	\$5.00	\$782,870																							\$782,870
BPS	BPS - Bourne Middle School	D5092	1531417	Generator, Gas or Gasoline, 210 kW, Replace	25	19	6	1	EA	\$165,000.00	\$165,000																						\$165,000	
BPS	BPS - Bourne Middle School	D5092	1531409	Exit Sign Light Fixture, LED, Replace	10	2	8	32	EA	\$220.00	\$7,040																							\$7,040
BPS	BPS - Bourne Middle School	E1027	1531490	Sink, Laboratory, Stainless Steel w/ Drainboard, Replace	30	19	11	52	EA	\$2,450.00	\$127,400																						\$127,400	
BPS	BPS - Bourne Middle School	E1028	1531425	Defibrillator (AED), Cabinet Mounted, Replace	10	3	7	1	EA	\$1,500.00	\$1,500																						\$1,500	
BPS	BPS - Bourne Middle School	E1028	1531438	Defibrillator (AED), Cabinet Mounted, Replace	10	3	7	1	EA	\$1,500.00	\$1,500																						\$1,500	
BPS	BPS - Bourne Middle School	E1093	1562780	Commercial Kitchen, Convection Oven, Double, Replace	10	5	5	1	EA	\$9,500.00	\$9,500																						\$9,500	
BPS	BPS - Bourne Middle School	E1093	1562751	Commercial Kitchen, 8 - 10 LF, Replace	15	10	5	1	EA	\$4,500.00	\$4,500																						\$4,500	
BPS	BPS - Bourne Middle School	E1093	1562769	Commercial Kitchen, Steamer, Tabletop, Replace	10	5	5	1	EA	\$7,000.00	\$7,000																						\$7,000	
BPS	BPS - Bourne Middle School	E1093	1562762	Commercial Kitchen, Salad Table, Replace	15	10	5	1	EA	\$4,700.00	\$4,700																						\$4,700	
BPS	BPS - Bourne Middle School	E1093	1562791	Commercial Kitchen, Convection Oven, Double, Replace	10	5	5	2	EA	\$9,500.00	\$19,000																						\$19,000	
BPS	BPS - Bourne Middle School	E1093	1562779	Commercial Kitchen, Food Warmer, Replace	15	10	5	1	EA	\$1,700.00	\$1,700																						\$1,700	
BPS	BPS - Bourne Middle School	E1093	1562790	Commercial Kitchen, Salad Table, Replace	15	10	5	1	EA	\$4,700.00	\$4,700																						\$4,700	
BPS	BPS - Bourne Middle School	E1093	1562777	Commercial Kitchen, Convection Oven, Double, Replace	10	5	5	1	EA	\$9,500.00	\$9,500																						\$9,500	
BPS	BPS - Bourne Middle School	E1093	1562753	Commercial Kitchen, Dishwasher, Replace	10	5	5	1	EA	\$21,500.00	\$21,500																						\$21,500	
BPS	BPS - Bourne Middle School	E1093	1562768	Commercial Kitchen, Griddle, Replace	15	10	5	1	EA	\$7,000.00	\$7,000																						\$7,000	
BPS	BPS - Bourne Middle School	E1093	1562784	Commercial Kitchen, Range/Oven, 4-Burner, Replace	15	10	5	1	EA	\$4,500.00	\$4,500																						\$4,500	
BPS	BPS - Bourne Middle School	E1093	1562752	Commercial Kitchen, Food Warmer, Replace	15	10	5	1	EA	\$1,700.00	\$1,700																						\$1,700	
BPS	BPS - Bourne Middle School	E1093	1562765	Commercial Kitchen, Food Warmer, Replace	15	10	5	1	EA	\$1,700.00	\$1,700																						\$1,700	
BPS	BPS - Bourne Middle School	E1093	1562789	Commercial Kitchen, Salad Table, Replace	15	10	5	1	EA	\$4,700.00	\$4,700																						\$4,700	
BPS	BPS - Bourne Middle School	E1093	1562783	Commercial Kitchen, 8 - 10 LF, Replace	15	8	7	1	EA	\$4,500.00	\$4,500																							

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
BPS	BPS - Bourne Middle School	G2047	1562799	Sports Apparatus, Basketball Backstop, Replace	25	12	13	6	EA	\$9,500.00	\$57,000														\$57,000							\$57,000		
BPS	BPS - Bourne Middle School	G2047	1562804	Sports Apparatus, Scoreboard, Replace	25	5	20	2	EA	\$20,000.00	\$40,000																				\$40,000	\$40,000		
BPS	BPS - Bourne Middle School	G4021	1562801	Site Pole Light, 20' High, 400 W (LED Lamp Replacement), Replace	20	5	15	24	EA	\$4,000.00	\$96,000															\$96,000						\$96,000		
BPS	BPS - Bournedale Elementary	B2021	1662004	Window, 12 SF, Replace	30	10	20	261	EA	\$650.00	\$169,650																				\$169,650	\$169,650		
BPS	BPS - Bournedale Elementary	B2023	1662010	Storefront, Metal-Framed Windows w/out Door(s), Replace	30	10	20	450	SF	\$55.00	\$24,750																					\$24,750	\$24,750	
BPS	BPS - Bournedale Elementary	B2023	1662052	Storefront, Metal-Framed 3' x 7' Swinging Door Only, Replace	30	10	20	38	EA	\$1,300.00	\$49,400																					\$49,400	\$49,400	
BPS	BPS - Bournedale Elementary	B2031	1662018	Exterior Door, Aluminum-Framed Fully-Glazed, Replace	30	10	20	12	EA	\$1,300.00	\$15,600																					\$15,600	\$15,600	
BPS	BPS - Bournedale Elementary	B2034	1661978	Overhead/Dock Door, 144 SF, Replace	30	10	20	2	EA	\$3,200.00	\$6,400																					\$6,400	\$6,400	
BPS	BPS - Bournedale Elementary	B3011	1662057	Roof, Single-Ply EPDM Membrane, Replace	20	10	10	6500	SF	\$11.00	\$71,500											\$71,500											\$71,500	
BPS	BPS - Bournedale Elementary	B3011	1662050	Roof, Single-Ply TPO/PVC Membrane, Replace	20	10	10	46250	SF	\$17.00	\$786,250											\$786,250											\$786,250	
BPS	BPS - Bournedale Elementary	B3021	1661952	Roof Skylight, per SF of glazing, Replace	30	10	20	250	SF	\$50.00	\$12,500																				\$12,500	\$12,500		
BPS	BPS - Bournedale Elementary	C1012	1662056	Movable Partitions, Fabric Office 6' Height, Replace	25	10	15	30	LF	\$88.20	\$2,646																\$2,646						\$2,646	
BPS	BPS - Bournedale Elementary	C1031	1662071	Toilet Partitions, Plastic/Laminate, Replace	20	5	15	18	EA	\$750.00	\$13,500																\$13,500						\$13,500	
BPS	BPS - Bournedale Elementary	C1033	1662100	Lockers, Steel Baked Enamel, 12" W x 15" D x 72" H, Replace	20	6	14	10	EA	\$500.00	\$5,000															\$5,000							\$5,000	
BPS	BPS - Bournedale Elementary	C3012	1662074	Interior Wall Finish, any surface, Prep & Paint	10	3	7	185000	SF	\$1.50	\$277,500								\$277,500										\$277,500				\$555,000	
BPS	BPS - Bournedale Elementary	C3024	1662091	Interior Floor Finish, Linoleum, Replace	15	10	5	2500	SF	\$3.50	\$8,750						\$8,750														\$8,750	\$17,500		
BPS	BPS - Bournedale Elementary	C3024	1662028	Interior Floor Finish, Vinyl Tile (VCT), Replace	15	5	10	32500	SF	\$5.00	\$162,500											\$162,500											\$162,500	
BPS	BPS - Bournedale Elementary	C3024	1662049	Interior Floor Finish, Rubber Tile, Replace	15	5	10	400	SF	\$9.00	\$3,600											\$3,600											\$3,600	
BPS	BPS - Bournedale Elementary	C3025	1662017	Interior Floor Finish, Carpet Commercial Standard, Replace	10	4	6	15500	SF	\$7.50	\$116,250							\$116,250								\$116,250							\$232,500	
BPS	BPS - Bournedale Elementary	C3031	1661992	Interior Ceiling Finish, any flat surface, Prep & Paint	10	3	7	8000	SF	\$2.00	\$16,000								\$16,000									\$16,000					\$32,000	
BPS	BPS - Bournedale Elementary	C3032	1661982	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	7	18	60348	SF	\$3.50	\$211,218																		\$211,218				\$211,218	
BPS	BPS - Bournedale Elementary	D1011	1662046	Elevator, 3000 LB, Renovate	30	10	20	1	EA	\$60,000.00	\$60,000																				\$60,000	\$60,000		
BPS	BPS - Bournedale Elementary	D1019	1661981	Elevator Cab Finishes, Standard w/out Stainless Steel Doors, Replace	10	3	7	1	EA	\$3,000.00	\$3,000								\$3,000									\$3,000					\$6,000	
BPS	BPS - Bournedale Elementary	D2011	1662023	Toilet, Commercial Water Closet, Replace	30	10	20	33	EA	\$1,300.00	\$42,900																					\$42,900	\$42,900	
BPS	BPS - Bournedale Elementary	D2012	1661974	Urinal, Standard, Replace	30	10	20	3	EA	\$1,100.00	\$3,300																					\$3,300	\$3,300	
BPS	BPS - Bournedale Elementary	D2014	1662090	Commercial Kitchen Sink, Stainless Steel, 2-Bowl, Replace	30	10	20	1	EA	\$2,100.00	\$2,100																					\$2,100	\$2,100	
BPS	BPS - Bournedale Elementary	D2014	1662065	Commercial Kitchen Sink, Stainless Steel, 1-Bowl, Replace	30	10	20	5	EA	\$1,600.00	\$8,000																					\$8,000	\$8,000	
BPS	BPS - Bournedale Elementary	D2014	1661989	Commercial Kitchen Sink, Stainless Steel, 3-Bowl, Replace	30	10	20	1	EA	\$2,500.00	\$2,500																					\$2,500	\$2,500	
BPS	BPS - Bournedale Elementary	D2014	1661984	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	10	20	29	EA	\$1,200.00	\$34,800																					\$34,800	\$34,800	
BPS	BPS - Bournedale Elementary	D2014	1662045	Service Sink, Laundry, Replace	30	10	20	1	EA	\$900.00	\$900																					\$900	\$900	
BPS	BPS - Bournedale Elementary	D2014	1661971	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	10	20	16	EA	\$1,500.00	\$24,000																					\$24,000	\$24,000	
BPS	BPS - Bournedale Elementary	D2014	1662082	Sink/Lavatory, Vanity Top, Solid Surface or Vitreous China, Replace	30	10	20	12	EA	\$1,100.00	\$13,200																					\$13,200	\$13,200	
BPS	BPS - Bournedale Elementary	D2014	1662060	Commercial Kitchen Sink, Stainless Steel, 1-Bowl, Replace	30	10	20	2	EA	\$1,600.00	\$3,200																					\$3,200	\$3,200	
BPS	BPS - Bournedale Elementary	D2018	1662063	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bournedale Elementary	D2018	1662026	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bournedale Elementary	D2018	1661956	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bournedale Elementary	D2018	1662072	Drinking Fountain, Interior, Replace	15	0	15	1	EA	\$1,900.00	\$1,900																\$1,900						\$1,900	
BPS	BPS - Bournedale Elementary	D2021	1661972	Backflow Preventer, 4 INCH, Replace	30	10	20	1	EA	\$6,600.00	\$6,600																					\$6,600	\$6,600	
BPS	BPS - Bournedale Elementary	D2023	1662020	Domestic Circulation Pump, .5 HP, Replace	15	10	5	1	EA	\$2,600.00	\$2,600						\$2,600															\$2,600	\$5,200	
BPS	BPS - Bournedale Elementary	D2023	1661994	Water Softener, 10 GPM, Replace	25	10	15	1	EA	\$3,100.00	\$3,100																\$3,100						\$3,100	
BPS	BPS - Bournedale Elementary	D2023	1662095	Domestic Boiler, 715 MBH, Replace	25	10	15	1	EA	\$37,800.00	\$37,800																\$37,800						\$37,800	
BPS	BPS - Bournedale Elementary	D2023	1662001	Water Storage Tank, 200 GAL, Replace	30	10	20	1	EA	\$3,000.00	\$3,000																				\$3,000	\$3,000		
BPS	BPS - Bournedale Elementary	D3016	1662073	Solar Inverter, 7500 WATTS, Replace	15	10	5	1	EA	\$6,000.00	\$6,000						\$6,000														\$6,000	\$12,000		
BPS	BPS - Bournedale Elementary	D3016	1661976	Solar Inverter, 7500 WATTS, Replace	15	10	5	1	EA	\$6,000.00	\$6,000						\$6,000															\$6,000	\$12,000	
BPS	BPS - Bournedale Elementary	D3016	1661963	Solar Panel, 24 SF, Replace	20	5	15	101	EA	\$1,800.00	\$181,800																\$181,800							\$181,800
BPS	BPS - Bournedale Elementary	D3021	1662068	Boiler, 792 MBH, Replace	30	10	20	1	EA	\$33,800.00	\$33,800																					\$33,800	\$33,800	
BPS	BPS - Bournedale Elementary	D3021	1662061	Boiler, 792 MBH, Replace	30	10	20	1	EA	\$33,800.00	\$33,800																					\$33,800	\$33,800	
BPS	BPS - Bournedale Elementary	D3022	1662041	Air Separator, 4 INCH, Replace	15	6	9	1	EA	\$3,																								

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate
BPS	BPS - Bournedale Elementary	G4021	1662021	Site Pole Light, 105 - 200 WATT, Replace/Install	20	10	10	24	EA	\$4,000.00	\$96,000											\$96,000											\$96,000
BPS	BPS - School Administrative Bldg	B2011	1661914	Exterior Wall, any Painted Surface, 1-2 Stories, Prep & Paint	10	5	5	2850	SF	\$3.00	\$8,550						\$8,550										\$8,550						\$17,100
BPS	BPS - School Administrative Bldg	B2011	1661925	Exterior Wall, Wood Shakes/Shingles, 1-2 Stories, Replace	30	20	10	2850	SF	\$7.50	\$21,375											\$21,375											\$21,375
BPS	BPS - School Administrative Bldg	B2021	1661951	Window, 12 SF, Replace	30	18	12	33	EA	\$600.00	\$19,800													\$19,800									\$19,800
BPS	BPS - School Administrative Bldg	B2032	1661946	Exterior Door, Steel, Replace	40	24	16	1	EA	\$600.00	\$600																	\$600					\$600
BPS	BPS - School Administrative Bldg	B3011	1661947	Roof, Asphalt Shingle 30-Year, Replace	30	10	20	5950	SF	\$5.50	\$32,725																				\$32,725		\$32,725
BPS	BPS - School Administrative Bldg	C1021	1661948	Interior Door, Wood Solid-Core, Replace	40	22	18	20	EA	\$700.00	\$14,000																		\$14,000				\$14,000
BPS	BPS - School Administrative Bldg	C1031	1661926	Toilet Partitions, Metal, Replace	20	13	7	3	EA	\$850.00	\$2,550								\$2,550														\$2,550
BPS	BPS - School Administrative Bldg	C3012	1661935	Interior Wall Finish, any surface, Prep & Paint	10	5	5	3390	SF	\$1.50	\$5,085						\$5,085										\$5,085						\$10,170
BPS	BPS - School Administrative Bldg	C3012	1661944	Interior Wall Finish, Ceramic Tile, Replace	40	33	7	240	SF	\$18.00	\$4,320								\$4,320														\$4,320
BPS	BPS - School Administrative Bldg	C3012	1661920	Interior Wall Finish, Wallpaper, Replace	15	6	9	2940	SF	\$2.20	\$6,468										\$6,468												\$6,468
BPS	BPS - School Administrative Bldg	C3024	1661949	Interior Floor Finish, Ceramic Tile, Replace	40	20	20	750	SF	\$18.00	\$13,500																			\$13,500			\$13,500
BPS	BPS - School Administrative Bldg	C3025	1661936	Interior Floor Finish, Carpet Commercial Standard, Replace	10	4	6	2700	SF	\$7.50	\$20,250							\$20,250									\$20,250						\$40,500
BPS	BPS - School Administrative Bldg	C3031	1661931	Interior Ceiling Finish, any flat surface, Prep & Paint	10	5	5	2485	SF	\$2.00	\$4,970						\$4,970										\$4,970						\$9,940
BPS	BPS - School Administrative Bldg	C3032	1661917	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	20	5	1350	SF	\$3.50	\$4,725							\$4,725															\$4,725
BPS	BPS - School Administrative Bldg	D2011	1661937	Toilet, Commercial Water Closet, Replace	30	26	4	3	EA	\$1,300.00	\$3,900				\$3,900																		\$3,900
BPS	BPS - School Administrative Bldg	D2011	1661915	Toilet, Residential Water Closet, Replace	30	15	15	2	EA	\$700.00	\$1,400																\$1,400						\$1,400
BPS	BPS - School Administrative Bldg	D2014	1661916	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	25	5	2	EA	\$1,500.00	\$3,000						\$3,000																\$3,000
BPS	BPS - School Administrative Bldg	D2014	1661941	Service Sink, Wall-Hung, Replace	35	27	8	1	EA	\$1,400.00	\$1,400									\$1,400													\$1,400
BPS	BPS - School Administrative Bldg	D2023	1661933	Water Heater, 6.5 GPM, Replace	15	5	10	1	EA	\$2,000.00	\$2,000											\$2,000											\$2,000
BPS	BPS - School Administrative Bldg	D2029	1661913	Plumbing System, Supply & Sanitary, Medium Density (excl fixtures), Replace	40	21	19	3835	SF	\$11.00	\$42,185																			\$42,185			\$42,185
BPS	BPS - School Administrative Bldg	D3021	1661940	Boiler, 150 MBH, Replace	30	12	18	1	EA	\$15,800.00	\$15,800																\$15,800						\$15,800
BPS	BPS - School Administrative Bldg	D3051	1661928	Air Conditioner, 1 TON, Replace	10	5	5	1	EA	\$2,200.00	\$2,200						\$2,200										\$2,200						\$4,400
BPS	BPS - School Administrative Bldg	D3051	1661930	Air Conditioner, 1 TON, Replace	10	5	5	1	EA	\$2,200.00	\$2,200						\$2,200										\$2,200						\$4,400
BPS	BPS - School Administrative Bldg	D3051	1661922	Air Conditioner, 1 TON, Replace	10	5	5	1	EA	\$2,200.00	\$2,200						\$2,200										\$2,200						\$4,400
BPS	BPS - School Administrative Bldg	D3051	1661950	Air Conditioner, 1 TON, Replace	10	5	5	1	EA	\$2,200.00	\$2,200						\$2,200										\$2,200						\$4,400
BPS	BPS - School Administrative Bldg	D4031	1661942	Fire Extinguisher, Wet Chemical/CO2, Replace	10	5	5	1	EA	\$300.00	\$300						\$300											\$300					\$600
BPS	BPS - School Administrative Bldg	D5012	1661945	Main Distribution Panel, 200 AMP, Replace	30	15	15	1	EA	\$2,500.00	\$2,500																\$2,500						\$2,500
BPS	BPS - School Administrative Bldg	D5019	1661938	Electrical Wiring & Switches, Average or Low Density/Complexity, Replace	40	25	15	3835	SF	\$2.50	\$9,588																\$9,588						\$9,588
BPS	BPS - School Administrative Bldg	D5029	1661918	Lighting System, Interior, Low Density & Standard Fixtures, Replace	20	9	11	3835	SF	\$6.00	\$23,010													\$23,010									\$23,010
BPS	BPS - School Administrative Bldg	D5037	1661927	Fire Alarm Control Panel, Addressable, Replace	15	9	6	1	EA	\$15,000.00	\$15,000							\$15,000															\$15,000
BPS	BPS - School Administrative Bldg	D5037	1661932	Fire Alarm System, Standard Addressable, Upgrade/Install	20	10	10	3835	SF	\$4.00	\$15,340												\$15,340										\$15,340
BPS	BPS - School Administrative Bldg	D5092	1661934	Emergency Light, 2-Head w/ Battery, Replace	10	5	5	3	EA	\$220.00	\$660							\$660									\$660						\$1,320
BPS	BPS - School Administrative Bldg	D5092	1661923	Emergency/Exit Combo LED, , Replace	10	5	5	3	EA	\$300.00	\$900							\$900									\$900						\$1,800
BPS	BPS - School Administrative Bldg	D5092	1661924	Exit Sign Light Fixture, LED, Replace	10	5	5	1	EA	\$220.00	\$220						\$220										\$220						\$440
BPS	BPS - School Administrative Bldg	E2012	1661943	Bathroom Vanity Cabinet, Wood, with Solid Surface Sink Top, 24 to 30", Replace	20	4	16	2	EA	\$1,600.00	\$3,200																\$3,200						\$3,200
BPS	BPS - School Administrative Bldg	G2022	1661919	Parking Lots, Asphalt Pavement, Seal & Stripe	5	2	3	2250	SF	\$0.45	\$1,013				\$1,013						\$1,013				\$1,013					\$1,013			\$4,050
BPS	BPS - School Administrative Bldg	G2022	1661929	Parking Lots, Asphalt Pavement, Mill & Overlay	25	12	13	2250	SF	\$3.50	\$7,875																\$7,875						\$7,875
BPS	BPS - School Wastewater Plant	B2011	1531401	Exterior Wall, Joint Caulking 1/2" to 1", Replace	10	9	1	400	LF	\$5.50	\$2,200		\$2,200										\$2,200										\$4,400
BPS	BPS - School Wastewater Plant	B3011	1537464	Roof, Built-Up, Replace	25	19	6	4180	SF	\$14.00	\$58,520							\$58,520															\$58,520
BPS	BPS - School Wastewater Plant	B3016	1531402	Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	14	6	30	LF	\$9.00	\$270							\$270															\$270
BPS	BPS - School Wastewater Plant	C3024	1537482	Interior Floor Finish, Vinyl Sheeting, Replace	15	12	3	200	SF	\$7.00	\$1,400				\$1,400														\$1,400				\$2,800
BPS	BPS - School Wastewater Plant	C3032	1537478	Interior Ceiling Finish, Suspended Acoustical Tile (ACT), Replace	25	19	6	100	SF	\$3.50	\$350							\$350															\$350
BPS	BPS - School Wastewater Plant	D2011	1537444	Toilet, Commercial Water Closet, Replace	30	19	11	1	EA	\$1,300.00	\$1,300												\$1,300										\$1,300
BPS	BPS - School Wastewater Plant	D2014	1537448	Sink/Lavatory, Wall-Hung, Vitreous China, Replace	30	19	11	1	EA	\$1,500.00	\$1,500												\$1,500										\$1,500
BPS	BPS - School Wastewater Plant	D2014	1537457	Service Sink, Floor, Replace	35	19	16	1	EA	\$800.00	\$800																\$800						\$800
BPS	BPS - School Wastewater Plant	D2019	1537489	Emergency Eye Wash, , Replace	20	9	11	1	EA	\$1,500.00	\$1,500												\$1,500										\$1,500
BPS	BPS - School Wastewater Plant	D2021	1537473	Backflow Preventer, Domestic, 1.5", Replace	30	19	11	1	EA	\$3,200.00	\$3,200																						

Building	Subfolder	Uniformat Code	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost *	Subtotal	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	Deficiency Repair Estimate	
ISWM	ISWM - Maintenance Bldg	D4031	1595344	Fire Extinguisher, Wet Chemical/CO2, Replace	10	3	7	4	EA	\$300.00	\$1,200								\$1,200														\$2,400	
ISWM	ISWM - Maintenance Bldg	D5012	1595353	Main Distribution Panel, 225 AMP, Replace	30	20	10	1	EA	\$2,500.00	\$2,500											\$2,500												\$2,500
ISWM	ISWM - Maintenance Bldg	D5012	1595357	Main Distribution Panel, 200 AMP, Replace	30	20	10	1	EA	\$2,500.00	\$2,500											\$2,500												\$2,500
ISWM	ISWM - Maintenance Bldg	D5012	1595347	Main Distribution Panel, 400 AMP, Replace	30	20	10	1	EA	\$5,500.00	\$5,500											\$5,500												\$5,500
ISWM	ISWM - Maintenance Bldg	D5029	1625034	Lighting System, Interior, Medium Density & Standard Fixtures, Replace	20	17	3	13000	SF	\$8.00	\$104,000				\$104,000																			\$104,000
ISWM	ISWM - Maintenance Bldg	D5037	1625033	Fire Alarm System, Basic/Zoned, Install	20	17	3	13000	SF	\$2.00	\$26,000				\$26,000																			\$26,000
ISWM	ISWM - Maintenance Bldg	D5037	1595355	Fire Alarm Control Panel, Addressable, Replace	15	5	10	1	EA	\$15,000.00	\$15,000											\$15,000												\$15,000
Sewer	Sewer Pump Station-B. Bay	B2032	1665035	Exterior Door, Steel, Replace	40	30	10	1	EA	\$600.00	\$600											\$600												\$600
Sewer	Sewer Pump Station-B. Bay	B3011	1624047	Roof, Single-Ply EPDM Membrane, Replace	20	5	15	300	SF	\$11.00	\$3,300																\$3,300							\$3,300
Sewer	Sewer Pump Station-B. Bay	C3012	1603331	Interior Wall Finish, any surface, Prep & Paint	10	4	6	1750	SF	\$1.50	\$2,625							\$2,625																\$2,625
Sewer	Sewer Pump Station-B. Bay	C3021	1603329	Interior Floor Finish, any surface w/ Elastomeric Coating, Prep & Paint	10	3	7	1200	SF	\$9.00	\$10,800									\$10,800														\$10,800
Sewer	Sewer Pump Station-B. Bay	C3031	1603328	Interior Ceiling Finish, any flat surface, Prep & Paint	10	4	6	1200	SF	\$2.00	\$2,400							\$2,400																\$2,400
Sewer	Sewer Pump Station-B. Bay	D2023	1603323	Water Heater, Electric, Residential, 5 to 15 GAL, Replace	15	10	5	1	EA	\$550.00	\$550					\$550																\$550	\$1,100	
Sewer	Sewer Pump Station-B. Bay	D3041	1603321	Make-Up Air Unit, 6,000 CFM, Replace	20	10	10	1	EA	\$35,000.00	\$35,000											\$35,000												\$35,000
Sewer	Sewer Pump Station-B. Bay	D3042	1603332	Exhaust Fan, Roof or Wall Mounted, 8,501 to 15,000 CFM, Replace	20	12	8	1	EA	\$5,600.00	\$5,600											\$5,600												\$5,600
Sewer	Sewer Pump Station-B. Bay	D3042	1603319	Exhaust Fan, Roof or Wall Mounted, 1,001 to 2,000 CFM, Replace	20	5	15	1	EA	\$2,400.00	\$2,400																\$2,400							\$2,400
Sewer	Sewer Pump Station-B. Bay	D3051	1603322	Unit Heater, Electric, 11 to 20 kW, Replace	20	14	6	1	EA	\$3,600.00	\$3,600							\$3,600																\$3,600
Sewer	Sewer Pump Station-B. Bay	D3051	1603320	Unit Heater, Electric, 6 to 10 kW, Replace	20	5	15	2	EA	\$2,200.00	\$4,400																\$4,400							\$4,400
Sewer	Sewer Pump Station-B. Bay	D4031	1603324	Fire Extinguisher, Type ABC, up to 20 LB, Replace	10	5	5	2	EA	\$150.00	\$300					\$300												\$300						\$300
Sewer	Sewer Pump Station-B. Bay	D5012	1603325	Main Distribution Panel, 225 AMP, Replace	30	14	16	1	EA	\$2,500.00	\$2,500																	\$2,500						\$2,500
Sewer	Sewer Pump Station-B. Bay	D5037	1603327	Fire Alarm Control Panel, Basic/Zoned, Replace	15	5	10	1	EA	\$4,000.00	\$4,000											\$4,000												\$4,000
Sewer	Sewer Pump Station-Hid Vil	D5012	1603426	Main Distribution Panel, 225 AMP, Replace	30	26	4	1	EA	\$2,500.00	\$2,500				\$2,500																			\$2,500
Sewer	Sewer Pump Station-Hid Vil	G2012	1603472	Roadways, Asphalt Pavement	25	15	10	850	SF	\$2.00	\$1,696											\$1,696												\$1,696
Sewer	Sewer Pump Station-Hid Vil	G2041	1603425	Fences & Gates, Chain Link, 8' High, Replace	40	26	14	150	LF	\$25.00	\$3,750																\$3,750							\$3,750
Totals, Unescalated												\$848,699	\$9,191,029	\$1,389,405	\$2,054,302	\$570,789	\$3,477,458	\$3,991,092	\$1,895,328	\$2,386,283	\$897,572	\$8,198,055	\$6,674,860	\$1,208,199	\$1,705,176	\$369,611	\$4,779,906	\$4,053,644	\$1,628,675	\$1,686,850	\$949,936	\$9,171,988	\$67,128,854	
Totals, Escalated (3.0% inflation, compounded annually)												\$848,699	\$9,466,760	\$1,474,020	\$2,244,791	\$642,428	\$4,031,327	\$4,765,573	\$2,331,014	\$3,022,872	\$1,171,128	\$11,017,500	\$9,239,567	\$1,722,603	\$2,504,108	\$559,070	\$7,446,937	\$6,504,909	\$2,691,951	\$2,871,749	\$1,665,718	\$16,565,631	\$92,788,353	

Appendix E: Equipment Inventory List

D10 CONVEYING

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1662046	D1011	Elevator	3000 LB	BPS / BPS - Bourne Intermediate School	Elevator	Otis	ABA21241U	30570834	2009		
2	1662162	D1011	Elevator	3500 LB	BPS / BPS - Bourne Intermediate School	Elevator	Otis	HYD-548258	3418F648258	2019		
3	1580643	D1011	Elevator [36-P-51]		Bourne / Fire Station #3 - Sagamore	Elevator	Otis	211	29170528	2005		
4	1580526	D1011	Elevator	1500 LB	Bourne / Town Hall	Elevator	Payne	No tag/plate found	No tag/plate found			
5	1537598	D1011	Elevator	2000 LB	BPS / BPS - Bourne High School	Elevator machine room	Ver-Trans Fabricators	No tag/plate found	No tag/plate found	1990		
6	1537522	D1011	Elevator	2000 LB	BPS / BPS - Bourne High School	Elevator machine room B2	Ver-Trans Fabricators	No tag/plate found	No tag/plate found	1990		
7	1531405	D1011	Elevator	2500 LB	BPS / BPS - Bourne Middle School	Elevator machine room 1st floor	No tag/plate found	BK3-56725	No tag/plate found	2000		
8	1531454	D1011	Elevator Controls		BPS / BPS - Bourne Middle School	Elevator machine room 1st floor	Elevator Controls Corp.	H-800	6335	2000		
9	1537511	D1011	Elevator Controls		BPS / BPS - Bourne High School	Elevator machine room	No tag/plate found	No tag/plate found	No tag/plate found	1990		
10	1537528	D1011	Elevator Controls		BPS / BPS - Bourne High School	Elevator machine room B2	Virginia Controls, Inc	V3MH	21341	2014		

D20 PLUMBING

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1662288	D2021	Backflow Preventer	1 INCH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Watts	LF009M2QT	144330	2019		
2	1662266	D2021	Backflow Preventer	1 INCH	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Watts	LF009M2QT	152477	2019		
3	1662224	D2021	Backflow Preventer	3 INCH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Watts Regulator	957RP	SG-1272	2019		
4	1661972	D2021	Backflow Preventer	4 INCH	BPS / BPS - Bourne Intermediate School	Storage E5	Watts Regulator	909 RP	217635	2009		
5	1541687	D2021	Backflow Preventer		Bourne / Pocasset Field - Concession Bldg	Install a backflow prevent						
6	1595253	D2021	Backflow Preventer	2 INCH	Bourne / DNR - Marine Bldg - Taylors Point	Basement	Watts	LF009M2QT	102/21	2015		2
7	1541843	D2021	Backflow Preventer	0.75"	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	Watts Regulator	009-M2QT	83254			
8	1537473	D2021	Backflow Preventer	1.5"	BPS / BPS - School Wastewater Plant	Mechanical room - Fire-Domestic-Water Heater	Watts Regulator	LF909M1QTRP	07560	2000		
9	1595211	D2021	Backflow Preventer	2 INCH	Bourne / Police Station - 175 Main St	Utility closet	No tag/plate found	No tag/plate found	No tag/plate found	1996		
10	1537632	D2021	Backflow Preventer	2"	BPS / BPS - Bourne High School	Art Level Boiler room	Watts Regulator	009-M3QT	353347			
11	1628583	D2021	Backflow Preventer	3 INCH	Bourne / Bourne Intermediate School	Basement	No tag/plate found	No tag/plate found	No tag/plate found			
12	1628492	D2021	Backflow Preventer	INCH	Bourne / DPW Facility	Sprinkler Room	No tag/plate found	No tag/plate found	No tag/plate found	2015		
13	1662158	D2023	Domestic Boiler	260 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	HTP	No tag/plate found	No tag/plate found	2019		
14	1662095	D2023	Domestic Boiler	715 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Natco	VW0715IN09K1ANNB	C08202064	2009		
15	1580579	D2023	Domestic Boiler	300 MBH	Bourne / Community Center	Boiler room	A. O. Smith	HW-300 932	H 02 69639	2005		
16	1628434	D2023	Domestic Boiler	300 MBH	Bourne / DPW Facility	Boiler room	State Industries, Inc.	SUF119300NEA 200	9281169002	2015		
17	1531412	D2023	Domestic Boiler	200 MBH	BPS / BPS - Bourne Middle School	Main Mechanical room	Lochinvar	AWN200PM	G12H20040917	2012		
18	1577581	D2023	Domestic Boiler	399 MBH	BPS / BPS - Bourne High School	Art Level Boiler room	Alpine	ALP399F-2L07	65304445	2012		
19	1662020	D2023	Domestic Circulation Pump	.5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Taco	163093E1 4.9	No tag/plate found	2009		
20	1662191	D2023	Domestic Circulation Pump	1 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Grundfos	98126802	10001217	2019		
21	1580731	D2023	Domestic Circulation Pump		Bourne / Fire Station #3 - Sagamore	Boiler room	Thrush Co Inc	Inaccessible	Inaccessible	2005		
22	1577648	D2023	Domestic Circulation Pump	1/8 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	Taco	0012-F4	No tag/plate found	2012		
23	1577573	D2023	Domestic Circulation Pump	1/3 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	No tag/plate found	No tag/plate found	No tag/plate found	2012		
24	1577664	D2023	Domestic Circulation Pump	1/8 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	No tag/plate found	No tag/plate found	No tag/plate found	2012		
25	1577651	D2023	Domestic Circulation Pump	1/8 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	Taco	0012-F4	Not found	2012		
26	1577639	D2023	Domestic Circulation Pump	1/8 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	Taco	0012-F4	Not found	2012		
27	1580725	D2023	Domestic Circulation Pump		Bourne / Fire Station #3 - Sagamore	Boiler room	Inaccessible	Inaccessible	Inaccessible	2005		
28	1531470	D2023	Domestic Circulation Pump	1/6 HP	BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	Armflo E8.2B	No tag/plate found	2019		
29	1537610	D2023	Domestic Circulation Pump	1/8 HP	BPS / BPS - Bourne High School	Heating system pumps in Tunnel	Taco	Illegible	Illegible			8
30	1537580	D2023	Domestic Circulation Pump	2 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	Illegible	Illegible			
31	1580622	D2023	Domestic Circulation Pump [PUMP 1]		Bourne / Fire Station #3 - Sagamore	Boiler room	Thrush Co Inc	Inaccessible	Inaccessible			
32	1580655	D2023	Domestic Circulation Pump [PUMP 4]		Bourne / Fire Station #3 - Sagamore	Boiler room	Baldor	No tag/plate found	No tag/plate found	2005		
33	1580721	D2023	Domestic Circulation Pump [PUMP 5]		Bourne / Fire Station #3 - Sagamore	Boiler room	Thrush Co Inc	Inaccessible	Inaccessible	2005		
34	1662175	D2023	Domestic Circulation Pump [RP-2]	1 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Grundfos	98126802	10001289	2019		
35	1662296	D2023	Domestic Circulation/Booster Pump	5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Grundfos	MLE112C2-182TCXJA	9897105910000527	2019		
36	1662152	D2023	Domestic Circulation/Booster Pump	5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Grundfos	MLE112C2-182TCXJA	9897105910000525	2019		
37	1541880	D2023	Heating System Circulation Pump	0.5 HP	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	B&G, Taco	Inaccessible	Inaccessible			3
38	1662289	D2023	Water Heater	116 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 137	A. O. Smith	BTR-120118	107515401	2019		
39	1628510	D2023	Water Heater	40 GAL	Bourne / Jonathan Bourne Library	Boiler room	General Electric	GE40M06AAG	GE 0105B03491	2005		
40	1661933	D2023	Water Heater	6.5 GPM	BPS / BPS - School Administrative Bldg	Boiler room	NAvien	884954995458	884954995458			
41	1580743	D2023	Water Heater	6 Gal	Bourne / Keith Field - Concession Bldg	Throughout building	Ruud	PROE6 1 RU POU	Q361705014			
42	1580644	D2023	Water Heater		Bourne / Fire Station #3 - Sagamore	Boiler room	A. O. Smith	BTI 200A 100	LH03-2649690-100	2005		
43	1580708	D2023	Water Heater		Bourne / Fire Station #3 - Sagamore	Boiler room	A. O. Smith	BTI 200A 100	LH03-2649691-100	2005		
44	1595348	D2023	Water Heater	GAL	ISWM / ISWM - Maintenance Bldg	Mechanical room	Ruud	PE2-52-2	RU Q191321423	2013		
45	1628614	D2023	Water Heater	6 GAL	Bourne / Monument Beach Field - Concession Bldg	Ground floor	Ruud	PEP6-1	RU 1004262649			
46	1628581	D2023	Water Heater	10 GAL	Bourne / Bourne Intermediate School	Basement	Reliance	5 10 1CMS1 K	A82336449			
47	1603323	D2023	Water Heater	6 GAL	Sewer / Sewer Pump Station-B. Bay	Lower level	Ruud	PEP6-1	RU 0605607423			
48	1628572	D2023	Water Heater	10 GAL	Bourne / Bourne Archives Bldg	Restrooms	Ruud	PEP6-1	RU 0508607270	2008		
49	1541692	D2023	Water Heater	6 GAL	Bourne / Pocasset Field - Concession Bldg	1st floor inside cabinet below sink	Ruud	PROE6 1 RU POU	Q361705038	2017		
50	1595265	D2023	Water Heater	100 GAL	Bourne / DNR - Marine Bldg - Taylors Point	Mechanical room	A. O. Smith	BTH 199 970	L06M004400	2006		
51	1628623	D2023	Water Heater	40 GAL	Bourne / DNR - Marine Bldg - Monument Beach	Ground floor	Ruud	PROG40S-35P RU62	Q081832924	2018		
52	1595189	D2023	Water Heater	40 GAL	Bourne / Fire Station #1 - Buzzards Bay	Boiler room	Ruud	PH2-40SF	RULN0509A	2009		
53	1537459	D2023	Water Heater	40 GAL	BPS / BPS - School Wastewater Plant	Mechanical room - Fire-Domestic-Water Heater	Bradford White	RG240S6N	PA38814817	2017		
54	1580514	D2023	Water Heater	40 GAL	Bourne / Town Hall	Boiler room	Ruud	PH2-40SF	RULN0410516976	2010		
55	1541866	D2023	Water Heater	40 GAL	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	Ruud	PROG40S-40N RU59	Q5114469956	2014		
56	1595244	D2023	Water Heater	50 GAL	Bourne / Police Station - 175 Main St	Boiler room	Ruud	PH2-50SF	TULNQ371209112	2012		
57	1577660	D2023	Water Heater	109.4 GAL	BPS / BPS - Bourne High School	Art Level Boiler room	Weil McClain	AQUA PLUS 105	No tag/plate found	2016		
58	1577646	D2023	Water Heater	119 GAL	BPS / BPS - Bourne High School	Art Level Boiler room	Weil-McLain	PLU119	CP5648645	2012		
59	1577630	D2023	Water Heater	119 GAL	BPS / BPS - Bourne High School	Art Level Boiler room	Weil-McLain	PLUS 119	CP5648576	2012		
60	1628483	D2023	Water Heater [PP4-92]	200 GAL	Bourne / DPW Facility	Wash bay	Lochinvar	SNA 286 125	24151001599444	2015		
61	1595217	D2023	Water Heater, Mini	2.7 GAL	Bourne / Police Station - 175 Main St	Holding cells	Bosch	ES 2.5-1M WIR	7738004996	2016		
62	1661994	D2023	Water Softener	10 GPM	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Culligan	01018857	VK07097392	2009		
63	1662300	D2023	Water Storage Tank	200 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Lochinvar	RJA200	111867731	2019		
64	1662001	D2023	Water Storage Tank	200 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Wendland	RTXX	37896	2009		
65	1628440	D2023	Water Storage Tank	120 GAL	Bourne / DPW Facility	Boiler room	State Industries, Inc.	PVG01200OVTA125	1510M000569	2015		
66	1580591	D2023	Water Storage Tank	300 GAL	Bourne / Community Center	Boiler room	A. O. Smith	HWT 300ASVONO40000	SK02-97568Y3	2005		
67	1531489	D2023	Water Storage Tank	80 GAL	BPS / BPS - Bourne Middle School	Main Mechanical room	Rheem / Ruud	ST80A	RR 0912D05943	2012		
68	1531477	D2023	Water Storage Tank	80 GAL	BPS / BPS - Bourne Middle School	Main Mechanical room	Rheem / Ruud	ST80A	RR 0912D05942	2012		

69	1562757	D2034	Grease Trap/Interceptor		BPS / BPS - Bourne Middle School	Kitchen	Thermaco	Big Dipper	350.2641NG-2			
70	1551746	D2034	Grease Trap/Interceptor		BPS / BPS - Bourne Middle School	Site	No tag/plate found	No tag/plate found	No tag/plate found			
71	1580702	D2034	Sewage Ejector Pump	10 - 15 HP	Bourne / Fire Station #3 - Sagamore	Site	Inaccessible	Inaccessible	Inaccessible	2019		2
72	1595227	D2034	Sewage Ejector Pump	10 HP	Bourne / Police Station - 175 Main St	Mens locker room	No tag/plate found	No tag/plate found	No tag/plate found	2015		
73	1580511	D2034	Sewage Ejector Pump	10 HP	Bourne / Town Hall	Mechanical room	GM Engineering Associates	Series 8,000	YEOMANS 266702	2005		
74	1537555	D2043	Sump Pump	3 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Inaccessible	Inaccessible	Inaccessible			
75	1541860	D2043	Sump Pump	3 HP	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	Inaccessible	Inaccessible	Inaccessible			
76	1628624	D2043	Sump Pump	5 HP	Bourne / DNR - Marine Bldg - Monument Beach	Utility closet	No tag/plate found	No tag/plate found	No tag/plate found			
77	1595199	D2043	Sump Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	No tag/plate found	No tag/plate found	No tag/plate found	2017		
78	1537533	D2043	Sump Pump	3 HP	BPS / BPS - Bourne High School	C-Wing Boiler room	Inaccessible	Inaccessible	Inaccessible			
79	1577627	D2091	Air Compressor	10 HP	BPS / BPS - Bourne High School	Art Level Mechanical Room	Illegible	20DT10C	No tag/plate found			
80	1628493	D2091	Air Compressor [#1]	15 HP	Bourne / DPW Facility	Boiler room	Quincy	QGS 15	CA1811986	2015		
81	1628470	D2091	Air Compressor [#2]	15 HP	Bourne / DPW Facility	Boiler room	Quincy	QGS 15	CA1811987	2015		
82	1628469	D2091	Air Compressor	5 HP	Bourne / DPW Facility	Sprinkler Room	Jenny	F135-30	G102014013	2015		
83	1541874	D2091	Air Compressor	6.5 HP	Bourne / Fire Station #4 - Pocasset	Garage Bay (Apparatus bay)	Craftsman	919.184260	No tag/plate found			

D30 HVAC

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1661880	D3011	Fuel Storage Tank	101 - 275 GAL	BPS / BPS - Storage Garage	Garage	No tag/plate found	No tag/plate found	No tag/plate found			
2	1662073	D3016	Solar Inverter	7500 WATTS	BPS / BPS - Bourne Middle School	Mechanical room E2	Solectria	PV113KW	091016-19	2009		
3	1661976	D3016	Solar Inverter	7500 WATTS	BPS / BPS - Bourne Middle School	Mechanical room E2	Solectria	PV113KW	091016-21	2009		
4	1661963	D3016	Solar Panel		BPS / BPS - Bourne Middle School	Roof						101
5	1531492	D3016	Solar Panel		BPS / BPS - Bourne Middle School	Roof						540
6	1661940	D3021	Boiler	150 MBH	BPS / BPS - School Administrative Bldg	Boiler room	U. S. Boiler	ALP150W-2T02	65355952			
7	1580554	D3021	Boiler [1]	635 MBH	Bourne / Community Center	Boiler room	Weil-McLain	680	No tag/plate found	2005		
8	1580563	D3021	Boiler [2]	634 MBH	Bourne / Community Center	Boiler room	Weil-McLain	80	No tag/plate found	2005		
9	1628489	D3021	Boiler [B-1]	250 MBH	Bourne / DPW Facility	Boiler room	Lochinvar	WHN399	113H30100215	2015		
10	1662187	D3021	Boiler [B-1]	1500 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Fulton	EDR-1500	5281-HFTC	2019		
11	1662068	D3021	Boiler [B-1]	792 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Viessmann	VD2A-195	7160532800005102	2009		
12	1662308	D3021	Boiler [B-2]	1500 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Fulton	EDR-1500	5403-HFTC	2019		
13	1628432	D3021	Boiler [B-2]	399 MBH	Bourne / DPW Facility	Boiler room	Lochinvar	WHN399	113H30100215	2015		
14	1662061	D3021	Boiler [B-2]	792 MBH	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Viessmann	VD2A-195	7160532800013107	2009		
15	1580654	D3021	Boiler [BOILER 1]	1726	Bourne / Fire Station #3 - Sagamore	Boiler room	Viesmann	G3/1-E, ZE	7223359300116	2005		
16	1537504	D3021	Boiler [Boiler-1]	3,578 MBH	BPS / BPS - Bourne High School	C-Wing Boiler room	H.B. Smith	M450L	No tag/plate found	1990		
17	1537520	D3021	Boiler [Boiler-1]	5,610 MBH	BPS / BPS - Bourne High School	Art Level Boiler room	H.B. Smith	M450L	No tag/plate found	1990		
18	1531482	D3021	Boiler [Boiler-1]	4,517 MBH	BPS / BPS - Bourne Middle School	Main Mechanical room	H.B. Smith	Series 28A-14	N99-530	2000		
19	1537588	D3021	Boiler [Boiler-2]	3,578 MBH	BPS / BPS - Bourne High School	C-Wing Boiler room	H.B. Smith	450	No tag/plate found	1990		
20	1531460	D3021	Boiler [Boiler-2]	4,517 MBH	BPS / BPS - Bourne Middle School	Main Mechanical room	H.B. Smith	Series 28A-14	N99-525	2000		
21	1537635	D3021	Boiler [Boiler-2]	5,610 MBH	BPS / BPS - Bourne High School	Art Level Boiler room	H.B. Smith	450	No tag/plate found	1990		
22	1531452	D3021	Boiler [Boiler-3]	4,517 MBH	BPS / BPS - Bourne Middle School	Main Mechanical room	H.B. Smith	Series 28A-14	N99-524	2000		
23	1628524	D3021	Boiler	126 - 250 MBH	Bourne / Jonathan Bourne Library	Boiler room	Burnham	No tag/plate found	No tag/plate found	2012		
24	1595181	D3021	Boiler	369 MBH	Bourne / Fire Station #1 - Buzzards Bay	Boiler room	Burnham	K-5007	7707862	2012		
25	1580506	D3021	Boiler	399 MBH	Bourne / Town Hall	Boiler room	Weil-McLain	No tag/plate found	No tag/plate found	2013		
26	1580508	D3021	Boiler	399 MBH	Bourne / Town Hall	Boiler room	Weil-McLain	No tag/plate found	No tag/plate found	2013		
27	1628513	D3021	Boiler	399 MBH	Bourne / Jonathan Bourne Library	Boiler room	Burnham	ALP 399F 2L07	65285690	2012		
28	1628569	D3021	Boiler	120 MBH	Bourne / Bourne Archives Bldg	Boiler room	Burnham	No tag/plate found	No tag/plate found	2015		
29	1595258	D3021	Boiler	118 MBH	Bourne / DNR - Marine Bldg - Taylors Point	Boiler room	PB Heat LLC	DE-06-SV-WPC	5020291-200508	2005		
30	1541842	D3021	Boiler	210 MBH	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	Weil-McLain	CG-7-PION	No tag/plate found			
31	1595242	D3021	Boiler	340 MBH	Bourne / Police Station - 175 Main St	Boiler room	Intertek	P807HENEI-L2	65539937	2015		
32	1662041	D3022	Air Separator	4 INCH	BPS / BPS - Bourne Middle School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
33	1662042	D3022	Air Separator	4 INCH	BPS / BPS - Bourne Middle School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
34	1537640	D3022	Air Separator	4"	BPS / BPS - Bourne High School	Art Level Boiler room	Inaccessible	Inaccessible	Inaccessible			
35	1537518	D3022	Air Separator	4"	BPS / BPS - Bourne High School	C-Wing Boiler room	Inaccessible	Inaccessible	Inaccessible			
36	1531471	D3022	Air Separator		BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	Inaccessible	Inaccessible			
37	1662016	D3022	Chemical Feed System		BPS / BPS - Bourne Middle School	Mechanical room E2	Axiom	MF300	No tag/plate found	2009		
38	1662306	D3022	Chemical Feed System		BPS / BPS - Bourne Intermediate School	Mechanical room 166	J.L. Wingert Co.	GL50-E1-1	0818	2019		
39	1662237	D3022	Chemical Feed System [GF-2]		BPS / BPS - Bourne Intermediate School	Mechanical room 137	J.L. Wingert Co.	GL50-E1-1	0818	2019		
40	1531461	D3022	Chemical Feed System		BPS / BPS - Bourne Middle School	Main Mechanical room	Axiom Industries LTD	SF100	19-13911-SF	2019		
41	1537439	D3022	Chemical Feed System		BPS / BPS - School Wastewater Plant	Main wastewater room	Milton Roy	Inaccessible	Inaccessible			
42	1580763	D3022	Expansion Tank		Bourne / Clark Field - Storage Bldg		Amtrol	No tag/plate found	No tag/plate found			
43	1662150	D3022	Expansion Tank	125 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Taco	CBX350-125	447652	2019		
44	1662302	D3022	Expansion Tank	125 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Taco	BTL0050F02-125N	442793	2019		
45	1662078	D3022	Expansion Tank	20 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
46	1662087	D3022	Expansion Tank	30 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
47	1662208	D3022	Expansion Tank	35 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Amtrol	ST70VC	No tag/plate found	2019		
48	1662184	D3022	Expansion Tank	35 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Amtrol	ST70VC	No tag/plate found	2019		
49	1661980	D3022	Expansion Tank	50 GAL	BPS / BPS - Bourne Intermediate School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
50	1628502	D3022	Expansion Tank [ET-1]		Bourne / DPW Facility	Boiler room	No tag/plate found	No tag/plate found	No tag/plate found	2015		
51	1531487	D3022	Expansion Tank [EXP-1]	211 GAL	BPS / BPS - Bourne Middle School	Main Mechanical room	Extrol	800-L	No tag/plate found	2000		
52	1531448	D3022	Expansion Tank [EXP-2]	211 GAL	BPS / BPS - Bourne Middle School	Main Mechanical room	Extrol	800-L	No tag/plate found	2000		
53	1531414	D3022	Expansion Tank [EXP-3]	80 GAL	BPS / BPS - Bourne Middle School	Main Mechanical room	Extrol	300-L	No tag/plate found	2000		
54	1541865	D3022	Expansion Tank	40 GAL	Bourne / Fire Station #4 - Pocasset	Basement mechanical room	Inaccessible	Inaccessible	Inaccessible			
55	1537604	D3022	Expansion Tank	200 GAL	BPS / BPS - Bourne High School	C-Wing Boiler room	Taco	CA2000	No tag/plate found	1990		
56	1537630	D3022	Expansion Tank	200 GAL	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	CA2000	No tag/plate found	1990		
57	1662032	D3022	Shot Feed Tank		BPS / BPS - Bourne Intermediate School	Mechanical room E2	No tag/plate found	No tag/plate found	No tag/plate found	2009		
58	1537565	D3022	Shot Feed Tank	5 GAL	BPS / BPS - Bourne High School	C-Wing Boiler room	Neptune	VTF-5	No tag/plate found	1990		
59	1531450	D3022	Shot Feed Tank		BPS / BPS - Bourne Middle School	Main Mechanical room	Neptune	VTF-5	No tag/plate found	2000		2
60	1537500	D3022	Shot Feed Tank	5 GAL	BPS / BPS - Bourne High School	Art Level Boiler room	Neptune	VTF-5	No tag/plate found	1990		
61	1580714	D3023	Heat Exchanger		Bourne / Fire Station #3 - Sagamore	Boiler room	Secespol	LC110-40X	04T11040015	2005		
62	1662009	D3031	Chiller	17 TON	BPS / BPS - Bourne Intermediate School	Roof	McQuay	AGZ017BSS27-ER10	STNU080600199	2009		
63	1662304	D3031	Chiller [CH-1]	60 TON	BPS / BPS - Bourne Intermediate School	Roof	Daikin Industries	AGZ060ESEPNN00	STNU18081	2019		
64	1628512	D3031	Chiller	44 TON	Bourne / Jonathan Bourne Library	Site	Trane	CGAFC50EACA100C0000M0000T0W00	C99C03227	1999		
65	1531495	D3031	Chiller	200 Ton	BPS / BPS - Bourne Middle School	Site	York	Illegible	Illegible	2000		
66	1595172	D3032	Condensing Unit	3 TON	Bourne / Fire Station #1 - Buzzards Bay	Roof	West columbia	4AC13L36P-7A	1913C33743	2013		
67	1595204	D3032	Condensing Unit	3.5 TON	Bourne / Police Station - 175 Main St	Roof	American Standard Inc.	2A7A3042A1000Aa	71714XY4F	2007		
68	1580673	D3032	Condensing Unit/Heat Pump [ACCU-1]		Bourne / Fire Station #3 - Sagamore	Roof	York	H5DB048S46A	Illegible	2005		

69	1580679	D3032	Condensing Unit/Heat Pump [ACCU-2]		Bourne / Fire Station #3 - Sagamore	Roof	York	Illegible	Illegible	2005
70	1580709	D3032	Condensing Unit/Heat Pump [ACCU-3]		Bourne / Fire Station #3 - Sagamore	Roof	York	Illegible	Illegible	
71	1580699	D3032	Condensing Unit/Heat Pump [ACCU-4]		Bourne / Fire Station #3 - Sagamore	Roof	York	Illegible	Illegible	2005
72	1580669	D3032	Condensing Unit/Heat Pump [ACCU-5]		Bourne / Fire Station #3 - Sagamore	Roof	York	Illegible	Illegible	2005
73	1580653	D3032	Condensing Unit/Heat Pump [ACCU-6]		Bourne / Fire Station #3 - Sagamore	Roof	York	HB360C00A4AAA2B	SN0B5636732	2005
74	1580500	D3032	Condensing Unit/Heat Pump	15 TON	Bourne / Town Hall	Site	Trane	TTA180B300DA	R3134BAH	2000
75	1580513	D3032	Condensing Unit/Heat Pump	15 TON	Bourne / Town Hall	Site	Trane	TTA180B300DA	R3024TUAH	2000
76	1580535	D3032	Condensing Unit/Heat Pump	5 TON	Bourne / Town Hall	Site	Trane	TTA060C300A0	M192RRTFF	1997
77	1628567	D3032	Condensing Unit/Heat Pump	1.5 TON	Bourne / Bourne Archives Bldg	Attic	Fujitsu	ARU18RLF	LPA 021809	2017
78	1580517	D3032	Condensing Unit/Heat Pump	3.5 TON	Bourne / Town Hall	Site	International Comfort Products	NAC042GKC3	E053446191	
79	1628576	D3032	Condensing Unit/Heat Pump	4 TON	Bourne / Bourne Archives Bldg	Attic	Pioneer	RB048GMFILCFHD	2403353200574080160003	
80	1595214	D3032	Condensing Unit/Heat Pump	4 TON	Bourne / Police Station - 175 Main St	Roof	Inter-City Products	CA5548VKA1	L 921274322	2007
81	1580589	D3032	Condensing Unit/Heat Pump	20 TON	Bourne / Community Center	Roof	American Standard	TTA240B3000EA	No tag/plate found	2002
82	1662241	D3032	Ductless Split System	1.5 - 2 TON	BPS / BPS - Bourne Intermediate School	Elevator Machine a Room	Panasonic		Inaccessible	2019
83	1661991	D3032	Ductless Split System	1.5 TON	BPS / BPS - Bourne Elementary	IDF Room A6	Sanyo	KS1872	0101182	2009
84	1662242	D3032	Ductless Split System	3 TON	BPS / BPS - Bourne Intermediate School	Elevator Machine a Room	Panasonic		Inaccessible	2019
85	1662036	D3032	Ductless Split System	3 TON	BPS / BPS - Bourne Elementary	Computer Lab A8	Daikin Industries	FTXS36LVJU	E013316	2016
86	1661985	D3032	Ductless Split System	3 TON	BPS / BPS - Bourne Elementary	Cafeteria Storage	Sanyo	KHS3672R	0045682	2009
87	1662011	D3032	Ductless Split System	3 TON	BPS / BPS - Bourne Elementary	Computer Lab A8	Sanyo	KHS3672R	0045582	2009
88	1580489	D3032	Ductless Split System	1 TON	Bourne / Town Hall	Building exterior	Fujitsu	AOU12RFLW1	MYN023604	2016
89	1628498	D3032	Ductless Split System [ACCU-1]	1.5 TON	Bourne / DPW Facility	Roof	Mitsubishi	PUZ-A18NHA4R1	44U04941C	2015
90	1537602	D3032	Ductless Split System [Library]	1 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	PUZ-A12NKA7	6ZU00379A	2016
91	1537552	D3032	Ductless Split System [Library]	2 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	PUZ-A24NHA6	5ZU03268A	2016
92	1537505	D3032	Ductless Split System [Library]	3 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	PUZ-A36NHA6	57U01161D	2016
93	1537596	D3032	Ductless Split System [Library]	3 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	MUZ-D36NA	4002893T	2016
94	1537585	D3032	Ductless Split System [Library]	3 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	PUZ-A36NHA6	51U02103B	2016
95	1580488	D3032	Ductless Split System	1.5 TON	Bourne / Town Hall	Building exterior	Fujitsu	AOU18RFLXW1	BSP 004106	2012
96	1580604	D3032	Ductless Split System	1 TON	Bourne / Community Center	Roof	Sanyo	CL1251	0012221	2003
97	1580524	D3032	Ductless Split System	1 TON	Bourne / Town Hall	Building exterior	Fujitsu	AOU12RSL3H	QWN 025643	2012
98	1531480	D3032	Ductless Split System	2 Ton	BPS / BPS - Bourne Middle School	Site adjacent to building (south elevation)	Liebert		No tag/plate found	
99	1531494	D3032	Ductless Split System	2 Ton	BPS / BPS - Bourne Middle School	Site adjacent to building	Mitsubishi Electric	PUZ-A24NHA4	34U04852C	2000
100	1580527	D3032	Ductless Split System	2.5 TON	Bourne / Town Hall	Building exterior	Daikin Industries	4MXS32GVUJ	E01784	2014
101	1628588	D3032	Ductless Split System	3 TON	Bourne / Bourne School House	Building exterior	Fujitsu	AOU36RLXB	FTN 030276	2019
102	1628452	D3032	Ductless Split System	3.5 TON	Bourne / DPW Facility	Roof	Mitsubishi	MXZ-4B36NA	31U07070B	2015
103	1537599	D3032	Ductless Split System [Professional Library]	2 Ton	BPS / BPS - Bourne High School	Courtyard	Mitsubishi Electric	PUZ-A24NHA7	6XU00387A	2016
104	1537568	D3032	Ductless Split System [Robotics classroom]	2 Ton	BPS / BPS - Bourne High School	Courtyard	Daikin Industries	3MXS24JVJU	E015349	2010
105	1537537	D3032	Ductless Split System [Student services]	1.5 Ton	BPS / BPS - Bourne High School	Courtyard	Daikin Industries	2MXS18GVJU	E004115	2010
106	1537621	D3032	Split System HVAC [403]	3 Ton	BPS / BPS - Bourne High School	Roof (above science/lab classrooms)	Trane	TTA036A300A0	D04232563	1990
107	1537573	D3032	Split System HVAC	3 Ton	BPS / BPS - Bourne High School	Roof (above science/lab classrooms)	Trane	TTA036A300A0	D04232600	1990
108	1537514	D3032	Split System HVAC	3 Ton	BPS / BPS - Bourne High School	Roof (above science/lab classrooms)	Trane	TTA036A300A0	D04232602	1990
109	1595245	D3041	Air Handler (AHU)	20000 CFM	Bourne / Police Station - 175 Main St	Server room	Whirlpool	DSU60JH	13581	1996
110	1580523	D3041	Air Handler (AHU) [AC-04]	6000 CFM	Bourne / Town Hall	Selectman storage	First Co.	10MB 4HW	D07	1996
111	1580491	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Clerk	First Co.	10MB 4HW	No tag/plate found	1996
112	1580497	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Assessors	First Co.	10MB 4HW	No tag/plate found	1996
113	1580501	D3041	Air Handler (AHU) [AC-4]	6000 CFM	Bourne / Town Hall	Breakroom	First Co.	10MB 4HW	F07	1996
114	1662244	D3041	Air Handler (AHU) [AHU-1]	8025 CFM	BPS / BPS - Bourne Intermediate School	Penthouse 1	Haakon Industries	AIRPAK	18-4604-489K	2019
115	1580672	D3041	Air Handler (AHU) [AHU-1]		Bourne / Fire Station #3 - Sagamore	Mechanical room	York	XTI-039X075-EAKA046A	CFPM XT0243	2005
116	1531458	D3041	Air Handler (AHU) [AHU-1]	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	York	CA0061230.25X057G08CC020S035WH08L1BM2.5007.00ANA99S	DHHM-19031B	2000
117	1580582	D3041	Air Handler (AHU) [AHU-1]	25000 CFM	Bourne / Community Center	Boiler room	Trane	MCCB0066UA0C0UA	K02G06407A	2002
118	1531488	D3041	Air Handler (AHU) [AHU-10]	15,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	York	BA0061257.50X090G10CB016S032WH06L2BM3.0007.00ANA99S	DHHM-19013B	2000
119	1531422	D3041	Air Handler (AHU) [AHU-11]	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	CA0060821.25X040G02HC020S032WH02R1BM2.5007.00ANA99S	DHHM19014B	2000
120	1586508	D3041	Air Handler (AHU) [AHU-1R]		Bourne / Fire Station #3 - Sagamore	Mechanical room	York	XTI-039X075-AEAH046A	CFPMXT0244	2005
121	1662235	D3041	Air Handler (AHU) [AHU-2]	8240 CFM	BPS / BPS - Bourne Intermediate School	Penthouse 2	Haakon Industries	AIRPAK	18-4604-490K	2019
122	1531463	D3041	Air Handler (AHU) [AHU-2]	15,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	York	BA0060842.50X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19004B	2000
123	1580587	D3041	Air Handler (AHU) [AHU-2]	25000 CFM	Bourne / Community Center	Mechanical mezzanine	Trane	MCCB010UA0C0UA	K02G06426A	2005
124	1531451	D3041	Air Handler (AHU) [AHU-3]	12,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	York	BA0060835.00X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19005B	2000
125	1531413	D3041	Air Handler (AHU) [AHU-4]	12,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	BA0060835.00X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19006B	2000
126	1531420	D3041	Air Handler (AHU) [AHU-5]	15,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	BA0060842.50X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19007B	2000
127	1531411	D3041	Air Handler (AHU) [AHU-6]	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	BA0061230.00X48G10CB016S032WH08L1BM2.5007.00ANA99S	DHHM-19012B	2000
128	1531468	D3041	Air Handler (AHU) [AHU-7]	15,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	BA0060842.50X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19009B	2000
129	1531447	D3041	Air Handler (AHU) [AHU-8]	10,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	York	BA0060827.50X070G01HB016S032WH02L1BM2.0007.00ANA99S	DHHM-19002B	2000
130	1531455	D3041	Air Handler (AHU) [AHU-9]	15,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	York	BA0060842.50X090G01HB016S032WH02R1BM2.0007.00ANA99S	DHHM-19009B	2000
131	1580519	D3041	Air Handler (AHU) [FCU-04]	6000 CFM	Bourne / Town Hall	Chiller pump room	First Co.	20-MB 4HW	G06	1996
132	1580503	D3041	Air Handler (AHU) [FCU-05]	6000 CFM	Bourne / Town Hall	Utility closet	First Co.	10MB 4HW	G06	1996
133	1628479	D3041	Air Handler (AHU) [HV-2]	10000 CFM	Bourne / DPW Facility	Mezzanine wash bay	Trane	BCHD054B1DOA2A20Z000000C01	T14K49562	2015
134	1580520	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Workroom	First Co.	10MB 4HW	No tag/plate found	1996
135	1580505	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Utility closet	First Co.	20-MB 4HW	G06	1996
136	1580528	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Inspection services	First Co.	10MB 4HW	No tag/plate found	1996
137	1580492	D3041	Air Handler (AHU)	6000 CFM	Bourne / Town Hall	Basement	Carrier	FC4BNF042	4296A06164	1996
138	1628530	D3041	Air Handler (AHU)	2000 CFM	Bourne / Jonathan Bourne Library	Attic	First Co.	60CHW4-D	No tag/plate found	
139	1595208	D3041	Air Handler (AHU)	1400 CFM	Bourne / Police Station - 175 Main St	Server room	Whirlpool		No tag/plate found	1996
140	1595352	D3041	Air Handler (AHU)	2400 CFM	ISWM / ISWM - Maintenance Bldg	Mezzanine	Conquest 80		No tag/plate found	
141	1580521	D3041	Air Handler (AHU)	5000 CFM	Bourne / Town Hall	Planning	First Co.	20HB-4WH	D09	1996
142	1537567	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Mechanical room	Trane		Inaccessible	1990
143	1577628	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Kitchen	Trane		Inaccessible	1990
144	1537574	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Mechanical room	Trane		Inaccessible	1990
145	1537554	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Mechanical room	Trane		Inaccessible	1990
146	1537512	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Art classroom	Trane		No tag/plate found	1990
147	1537578	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Art Level Boiler room	Trane		Inaccessible	1990
148	1537557	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	C-Wing Boiler room	Trane		No tag/plate found	1990
149	1537547	D3041	Air Handler (AHU)	5,000 CFM	BPS / BPS - Bourne High School	Graphics art classroom	Trane		No tag/plate found	1990
150	1628460	D3041	Air Handler (AHU)	8000 CFM	Bourne / DPW Facility	Mezzanine storage	Trane		No tag/plate found	2015
151	1628527	D3041	Air Handler (AHU)	CFM	Bourne / Jonathan Bourne Library	Attic	First Co.	60CHW4-D	No tag/plate found	
152	1531432	D3041	Air Handler (AHU) [RTU-1]	20,000 CFM	BPS / BPS - Bourne Middle School	Roof	York	CP46DWIAF7.57.5460	ANHMO07376	2000
153	1531453	D3041	Air Handler (AHU) [RTU-2]	20,000 CFM	BPS / BPS - Bourne Middle School	Roof	York	CP46DWIAF7.57.5460	ANHMO07378	2000

154	1531457	D3041	Air Handler (AHU) [RTU-3]	15,000 CFM	BPS / BPS - Bourne Middle School	Roof	York	CP44DWIDAF7.50460	ANHMO07377	2000
155	1662070	D3041	Energy Recovery Unit	5000	BPS / BPS - Bourne Middle School	Roof	Greenheck	ERH-90H-30-30ES	11307918	2009
156	1580646	D3041	Fan [EF-2]		Bourne / Fire Station #3 - Sagamore	Mechanical room	Cook	Inaccessible	Inaccessible	2005
157	1580706	D3041	Fan [EF-5]		Bourne / Fire Station #3 - Sagamore	Apparatus Bay	Cook	Inaccessible	Inaccessible	2005
158	1580596	D3041	Fan [RAF-01]	30000 CFM	Bourne / Community Center	Mechanical mezzanine	Greenheck	VADS 30F 14-7-01	02112101	2015
159	1662149	D3041	Fan Coil Unit	1000 CFM	BPS / BPS - Bourne Intermediate School	Throughout building				2019
160	1661965	D3041	Fan Coil Unit	1200 CFM	BPS / BPS - Bourne Intermediate School	Throughout building	No tag/plate found	No tag/plate found		2009
161	1595182	D3041	Fan Coil Unit, w/furnace	3 TON	Bourne / Fire Station #1 - Buzzards Bay	Utility closet	Concord	EC1P36CG-1	6013B46027	2013
162	1661964	D3041	Make-Up Air Unit	4000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	IG-109-H10-DBC	11307916	2009
163	1661960	D3041	Make-Up Air Unit	4000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	IG-112-H30-DB	11310751	2009
164	1662180	D3041	Make-Up Air Unit	6000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	IGX-112-H22-DB	15512434	2019
165	1580565	D3041	Make-Up Air Unit [ERV-1]	20000 CFM	Bourne / Community Center	Roof	Greenheck	ERV522S 15 B ES	021 17033	2005
166	1580573	D3041	Make-Up Air Unit [MUA-01]	5000 CFM	Bourne / Community Center	Roof	Greenheck	KSF-109-H10-EF	No tag/plate found	
167	1580599	D3041	Make-Up Air Unit	20000 CFM	Bourne / Community Center	Roof	Greenheck	ERV522S 15 B ES	021 17034	2005
168	1603321	D3041	Make-Up Air Unit	6000 CFM	Sewer / Sewer Pump Station-B. Bay	Lower roof	No tag/plate found	No tag/plate found	No tag/plate found	
169	1537582	D3041	Unit Ventilator	1,500 CFM	BPS / BPS - Bourne High School	Library				2000
170	1580683	D3041	Unit Ventilator		Bourne / Fire Station #3 - Sagamore	Throughout building	Greenheck			2005
171	1537603	D3041	Unit Ventilator	1,250 CFM	BPS / BPS - Bourne High School	Classrooms				2009
172	1628529	D3041	Unit Ventilator	2000 CFM	Bourne / Jonathan Bourne Library	Lobby	Airtherm	No tag/plate found	No tag/plate found	
173	1628515	D3041	Unit Ventilator	2000 CFM	Bourne / Jonathan Bourne Library	Throughout building	First Co.	10VFAO-126-3R-2B-D3	No tag/plate found	5
174	1580581	D3041	Unit Ventilator	1500 CFM	Bourne / Community Center	Throughout building	Trane	FCB0301KROAHG10AF2M000001KKAG2	No tag/plate found	2005
175	1580515	D3041	Unit Ventilator	750 CFM	Bourne / Town Hall	Throughout building	First Co	4VSAO-126-41R-NV-NC	No tag/plate found	3
176	1580547	D3041	Unit Ventilator	1250 CFM	Bourne / Community Center	Ceiling mounted	Trane	No tag/plate found	No tag/plate found	2003
177	1580722	D3041	Variable Air Volume (VAV) Unit		Bourne / Fire Station #3 - Sagamore	Throughout building	Inaccessible	Inaccessible	Inaccessible	2005
178	1662211	D3041	Variable Air Volume (VAV) Unit	500 CFM	BPS / BPS - Bourne Intermediate School	Throughout building				2019
179	1531428	D3041	Variable Air Volume (VAV) Unit	400 CFM	BPS / BPS - Bourne Middle School	Above ceiling throughout building	Inaccessible	Inaccessible	Inaccessible	2000
180	1662259	D3042	Exhaust Fan	150 CFM	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Tjernlund	PAI-4	0904181W	2019
181	1662194	D3042	Exhaust Fan	2000 CFM	BPS / BPS - Bourne Intermediate School		Greenheck	CUBE-200-20-6	15487396	2019
182	1662076	D3042	Exhaust Fan	500 CFM	BPS / BPS - Bourne Intermediate School	Mechanical room E2	Inaccessible	Inaccessible	Inaccessible	2009
183	1580647	D3042	Exhaust Fan		Bourne / Fire Station #3 - Sagamore	Roof	Cook	Inaccessible	Inaccessible	2005
184	1580686	D3042	Exhaust Fan		Bourne / Fire Station #3 - Sagamore	Apparatus Bay	Inaccessible	Inaccessible	Inaccessible	2005
185	1580664	D3042	Exhaust Fan		Bourne / Fire Station #3 - Sagamore	Apparatus Bay	Inaccessible	Inaccessible	Inaccessible	2005
186	1537506	D3042	Exhaust Fan [1]	1,000 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
187	1537619	D3042	Exhaust Fan [2 / 401]	1,000 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
188	1537548	D3042	Exhaust Fan [240]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
189	1537629	D3042	Exhaust Fan [250 / EF-10]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
190	1537592	D3042	Exhaust Fan [260 / EF-9]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
191	1537558	D3042	Exhaust Fan [270 / EF-26]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB531	No tag/plate found	1990
192	1537519	D3042	Exhaust Fan [280 / EF-27]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
193	1537590	D3042	Exhaust Fan [290 / EF-25]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
194	1537569	D3042	Exhaust Fan [300 / EF-16]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BP45	No tag/plate found	1990
195	1537624	D3042	Exhaust Fan [302]	400 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
196	1537549	D3042	Exhaust Fan [303]	300 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
197	1537507	D3042	Exhaust Fan [310 / EF-15]	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR94L	No tag/plate found	1990
198	1537627	D3042	Exhaust Fan [311 / EF-17]	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR94L	No tag/plate found	1990
199	1537529	D3042	Exhaust Fan [400]	1,000 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
200	1537623	D3042	Exhaust Fan [AUD / EF-21]	1,500 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	JB48	No tag/plate found	1990
201	1537530	D3042	Exhaust Fan [Dish washer]	600 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	CB801	No tag/plate found	1990
202	1580536	D3042	Exhaust Fan [EF-02]	2000 CFM	Bourne / Community Center	Roof	Greenheck	GB-180-4	02120323	
203	1580598	D3042	Exhaust Fan [EF-04]	5000 CFM	Bourne / Community Center	Roof	Greenheck	GB-200-4	02120336	2005
204	1580541	D3042	Exhaust Fan [EF-05]	2000 CFM	Bourne / Community Center	Roof	Greenheck	GB-121-4	02120297	2005
205	1661999	D3042	Exhaust Fan [EF-1]	1000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	6B-091-4	113021680806	2009
206	1537563	D3042	Exhaust Fan [EF-1]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB531	No tag/plate found	1990
207	1580625	D3042	Exhaust Fan [EF-1]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	70 ACFH 70C15DH	010S848537-00/0000701	2005
208	1628463	D3042	Exhaust Fan [EF-1]	10000 CFM	Bourne / DPW Facility	Roof	Greenheck	CUBE-360-7-X	13635703 1409	2015
209	1662089	D3042	Exhaust Fan [EF-10]	1000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	6B-091-4	113021770806	2009
210	1662238	D3042	Exhaust Fan [EF-10]	1000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	6-133-V6-5-X	15487393186	2019
211	1624211	D3042	Exhaust Fan [EF-10]	1,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	Greenheck	No tag/plate found	No tag/plate found	2000
212	1628442	D3042	Exhaust Fan [EF-10]	5500 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-101HP-4-X	13835711 1409	2015
213	1662064	D3042	Exhaust Fan [EF-11]	1000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	6B-091-4	113021780806	2009
214	1580705	D3042	Exhaust Fan [EF-11]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	90 ACEM 90C10DM	Inaccessible	2005
215	1661958	D3042	Exhaust Fan [EF-12]	1000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	6B-091-4	113021790806	2009
216	1662192	D3042	Exhaust Fan [EF-12]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-070-VG-X	1548739418G	2019
217	1624214	D3042	Exhaust Fan [EF-12]	1,000 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	Greenheck	No tag/plate found	No tag/plate found	2000
218	1580707	D3042	Exhaust Fan [EF-12]	600 CFM	Bourne / Fire Station #3 - Sagamore	Roof	Cook	100 ACE 100C2B	010S848537-00/00003701	2005
219	1662207	D3042	Exhaust Fan [EF-13]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-060-V6-X	1548738818G	2019
220	1580637	D3042	Exhaust Fan [EF-13]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	100 ACE 100C2B	010S848537-00/00004801	2005
221	1580701	D3042	Exhaust Fan [EF-14]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	10C ACE 100C2B	C10S848537-00/00004802	2005
222	1537498	D3042	Exhaust Fan [EF-18]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
223	1537641	D3042	Exhaust Fan [EF-19]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
224	1537447	D3042	Exhaust Fan [EF-19 / 6]	1,000 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	CUBE-240-15	00D09299	2000
225	1662006	D3042	Exhaust Fan [EF-2]	2000 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	CUBE-240HP-20-6	113021690806	2009
226	1662174	D3042	Exhaust Fan [EF-2]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-060-V6-X	1548738418G	2019
227	1537540	D3042	Exhaust Fan [EF-2]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
228	1628494	D3042	Exhaust Fan [EF-2]	10000 CFM	Bourne / DPW Facility	Roof	Greenheck	CUBE-360-7-X	13535704 1409	2015
229	1537499	D3042	Exhaust Fan [EF-20]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB531	No tag/plate found	1990
230	1537443	D3042	Exhaust Fan [EF-20 / 5]	300 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	GB-70-4-19	00D07536	2000
231	1537465	D3042	Exhaust Fan [EF-21 / 4]	400 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	CUBE-100-4	00D08114	2000
232	1537535	D3042	Exhaust Fan [EF-22]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	CB18	No tag/plate found	1990
233	1537488	D3042	Exhaust Fan [EF-22 / 3]	600 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	GB130-4-22	00D09156	2000
234	1537575	D3042	Exhaust Fan [EF-23]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
235	1537436	D3042	Exhaust Fan [EF-23 / 1]	1,200 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	CUBE-300-20	00D09304	2000
236	1537437	D3042	Exhaust Fan [EF-24 / 2]	500 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	GB120-4-22	00D09132	2000
237	1661977	D3042	Exhaust Fan [EF-3]	1250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	GB-180-4	1103021700806	2009
238	1662267	D3042	Exhaust Fan [EF-3]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-060-V6-X	1548738518G	2019

239	1537633	D3042	Exhaust Fan [EF-3]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
240	1531419	D3042	Exhaust Fan [EF-3]	400 CFM	BPS / BPS - Bourne Middle School	Roof	Greenheck	GB-100-4	99L14274	2000
241	1628481	D3042	Exhaust Fan [EF-3]	2500 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-081-6-x	138355705 1409	2015
242	1662094	D3042	Exhaust Fan [EF-4]	1000 CFM	BPS / BPS - Bourne Dale Elementary	Roof	Greenheck	6B-091-4	11302170806	2009
243	1662220	D3042	Exhaust Fan [EF-4]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-095-V6-6-X	1546738918G	2019
244	1537551	D3042	Exhaust Fan [EF-4]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
245	1531443	D3042	Exhaust Fan [EF-4]	800 CFM	BPS / BPS - Bourne Middle School	Roof	Greenheck	GB-200-15	99L14650	2000
246	1628480	D3042	Exhaust Fan [EF-4]	2500 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-081-6-X	13885705	2015
247	1628511	D3042	Exhaust Fan [EF-5]	1 CFM	Bourne / Jonathan Bourne Library	Attic	Bayley	B270CCNT	No tag/plate found	
248	1662188	D3042	Exhaust Fan [EF-5]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-060-V6-X	1555962118H	2019
249	1531421	D3042	Exhaust Fan [EF-5]	800 CFM	BPS / BPS - Bourne Middle School	Roof	Greenheck	BG-200-15	99L14651	2000
250	1628430	D3042	Exhaust Fan [EF-5]	2500 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-091-4-X	13835707 1409	2015
251	1537508	D3042	Exhaust Fan [EF-5]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	AB35	No tag/plate found	1990
252	1662093	D3042	Exhaust Fan [EF-6]	1000 CFM	BPS / BPS - Bourne Dale Elementary	Roof	Greenheck	6B-091-4	11321730806	2009
253	1662204	D3042	Exhaust Fan [EF-6]	250 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-060-V6-X	15487387186	2019
254	1531466	D3042	Exhaust Fan [EF-6]	400 CFM	BPS / BPS - Bourne Middle School	Roof	Greenheck	GB-100-4	99L14281	2000
255	1580700	D3042	Exhaust Fan [EF-6]		Bourne / Fire Station #3 - Sagamore	Electrical room	No tag/plate found	No tag/plate found	No tag/plate found	2005
256	1628431	D3042	Exhaust Fan [EF-6]	2000 CFM	Bourne / DPW Facility	Roof	Greenheck	CUE-095-D-X	13835708 1409	2015
257	1580590	D3042	Exhaust Fan [EF-6]	8000 CFM	Bourne / Community Center	Roof	Greenheck	CUBE-360XP-15-S	02115351	
258	1662030	D3042	Exhaust Fan [EF-7]	1000 CFM	BPS / BPS - Bourne Dale Elementary	Roof	Greenheck	6B-091-4	113021740806	2009
259	1662261	D3042	Exhaust Fan [EF-7]	500 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-085-V6-X	15487390186	2019
260	1580696	D3042	Exhaust Fan [EF-7]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	Inaccessible	Inaccessible	2005
261	1628465	D3042	Exhaust Fan [EF-7]	5500 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-121-3-X	13335709 1409	2015
262	1537513	D3042	Exhaust Fan [EF-7]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB531	No tag/plate found	1990
263	1662040	D3042	Exhaust Fan [EF-8]	1000 CFM	BPS / BPS - Bourne Dale Elementary	Roof	Greenheck	6B-091-4	113021750806	2009
264	1662230	D3042	Exhaust Fan [EF-8]	500 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-085-V6-X	1555962218H	2019
265	1537516	D3042	Exhaust Fan [EF-8]	400 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	BB45	No tag/plate found	1990
266	1580723	D3042	Exhaust Fan [EF-8]	375 CFM	Bourne / Fire Station #3 - Sagamore	Roof	Cook	80 ACE 80C3B	0105848537-00/0010701	2005
267	1628500	D3042	Exhaust Fan [EF-8]	5500 CFM	Bourne / DPW Facility	Mezzanine storage	No tag/plate found	No tag/plate found	No tag/plate found	2015
268	1662047	D3042	Exhaust Fan [EF-9]	1000 CFM	BPS / BPS - Bourne Dale Elementary	Roof	Greenheck	6B-091-4	11302176086	2009
269	1662172	D3042	Exhaust Fan [EF-9]	750 CFM	BPS / BPS - Bourne Intermediate School	Roof	Greenheck	G-090-V6-X	15487392186	2019
270	1580695	D3042	Exhaust Fan [EF-9]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	120 ACE 120C3B	0105848537-00/0011801	2005
271	1628458	D3042	Exhaust Fan [EF-9]	7000 CFM	Bourne / DPW Facility	Roof	Greenheck	GB-101HP-4-X	136359 10 1409	2015
272	1537545	D3042	Exhaust Fan [G1]	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	Illegible	No tag/plate found	1990
273	1537628	D3042	Exhaust Fan [G2]	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	Illegible	No tag/plate found	1990
274	1580748	D3042	Exhaust Fan		Bourne / Keith Field - Concession Bldg	Throughout building	Inaccessible	Inaccessible	Inaccessible	
275	1537502	D3042	Exhaust Fan	300 CFM	BPS / BPS - Bourne High School	Roof	Inaccessible	Inaccessible	Inaccessible	1990
276	1537639	D3042	Exhaust Fan [Kitchen]	1,500 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	QB330	No tag/plate found	1990
277	1628520	D3042	Exhaust Fan	2000 CFM	Bourne / Jonathan Bourne Library	Throughout building	First Co.	6CCH	No tag/plate found	1999
278	1541696	D3042	Exhaust Fan	1,000 CFM	Bourne / Pocasset Field - Concession Bldg	Building exterior	No tag/plate found	4HZ41	20D98	1998
279	1537561	D3042	Exhaust Fan	1,000 CFM	BPS / BPS - Bourne High School	Roof	Trane	U9F3FC	K82F58332	1982
280	1537643	D3042	Exhaust Fan	1,500 CFM	BPS / BPS - Bourne High School	Roof	No tag/plate found	No tag/plate found	No tag/plate found	1982
281	1537564	D3042	Exhaust Fan	1,500 CFM	BPS / BPS - Bourne High School	Roof	No tag/plate found	No tag/plate found	No tag/plate found	1982
282	1531496	D3042	Exhaust Fan	1,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical rooms	Greenheck	Inaccessible	Inaccessible	2000
283	1624217	D3042	Exhaust Fan	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	Greenheck	Inaccessible	Inaccessible	2000
284	1624041	D3042	Exhaust Fan	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	Greenheck	Inaccessible	Inaccessible	2000
285	1624215	D3042	Exhaust Fan	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 1	Greenheck	Inaccessible	Inaccessible	2000
286	1537631	D3042	Exhaust Fan	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR60	No tag/plate found	1990
287	1537614	D3042	Exhaust Fan	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR60	No tag/plate found	1990
288	1537544	D3042	Exhaust Fan	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR60	No tag/plate found	1990
289	1537597	D3042	Exhaust Fan	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XQ60	No tag/plate found	1990
290	1537525	D3042	Exhaust Fan	400 CFM	BPS / BPS - Bourne High School	Roof	No tag/plate found	No tag/plate found	No tag/plate found	1990
291	1537517	D3042	Exhaust Fan	400 CFM	BPS / BPS - Bourne High School	Roof	Illegible	Illegible	Illegible	1990
292	1537616	D3042	Exhaust Fan	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	13	No tag/plate found	1990
293	1537609	D3042	Exhaust Fan	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	16	No tag/plate found	1990
294	1537553	D3042	Exhaust Fan	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	13	No tag/plate found	1990
295	1537620	D3042	Exhaust Fan	1,000 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	13	No tag/plate found	1990
296	1537581	D3042	Exhaust Fan	250 CFM	BPS / BPS - Bourne High School	Roof	Penn Ventilator Company	XR60	No tag/plate found	1990
297	1580534	D3042	Exhaust Fan	750 CFM	Bourne / Community Center	Roof	Greenheck	FHI-10./10 A-BS	0217194	2002
298	1595231	D3042	Exhaust Fan	950 CFM	Bourne / Police Station - 175 Main St	Roof	No tag/plate found	No tag/plate found	No tag/plate found	2007
299	1580539	D3042	Exhaust Fan	1000 CFM	Bourne / Community Center	Roof	No tag/plate found	No tag/plate found	No tag/plate found	2002
300	1580608	D3042	Exhaust Fan	1000 CFM	Bourne / Community Center	Roof	No tag/plate found	No tag/plate found	No tag/plate found	
301	1603319	D3042	Exhaust Fan	2000 CFM	Sewer / Sewer Pump Station-B. Bay	Lower roof	No tag/plate found	No tag/plate found	No tag/plate found	
302	1580584	D3042	Exhaust Fan	2000 CFM	Bourne / Community Center	Roof	No tag/plate found	No tag/plate found	No tag/plate found	
303	1580556	D3042	Exhaust Fan	2100 CFM	Bourne / Community Center	Roof	No tag/plate found	No tag/plate found	No tag/plate found	
304	1603332	D3042	Exhaust Fan	5000 CFM	Sewer / Sewer Pump Station-B. Bay	Upper level	No tag/plate found	No tag/plate found	No tag/plate found	
305	1624216	D3042	Exhaust Fan [RF-7]	8,500 CFM	BPS / BPS - Bourne Middle School	Penthouse Mechanical room 2	Greenheck	Inaccessible	Inaccessible	2000
306	1580607	D3042	Exhaust Fan [RH-03]	500 CFM	Bourne / Community Center	Roof	Greenheck	FHI-8X8-A-BS	0217193	
307	1580611	D3042	Exhaust Fan [RH-05]	1000 CFM	Bourne / Community Center	Roof	Greenheck	FHR-24X42-A-BS	0217196	
308	1580550	D3042	Exhaust Fan [RH-06]		Bourne / Community Center	Roof	Greenheck	FHI 24X42-ABS	0217195	
309	1580727	D3042	Exhaust Fan [SEF-1]		Bourne / Fire Station #3 - Sagamore	Roof	Cook	490 ACRU 490R11B	0105848537-00/001290	2005
310	1580752	D3042	Exhaust Vent Cover		Bourne / Clark Field - Storage Bldg	Roof				2
311	1537467	D3042	Fume Exhauster	5,000 CFM	BPS / BPS - School Wastewater Plant	Mechanical room	The New York Blower Company	J00397 100	No tag/plate found	2000
312	1537461	D3042	Intake Hood	2,000 CFM	BPS / BPS - School Wastewater Plant	Roof	Greenheck	FHI-36X42-A-BS	99L13652	2000
313	1541844	D3042	Vehicle Exhaust Fan		Bourne / Fire Station #4 - Pocasset	Garage Bay (Apparatus bay)	Plymovent	OS2-Blower	No tag/plate found	
314	1662170	D3044	Distribution Pump	3 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Taco	Inaccessible	Inaccessible	2019
315	1662247	D3044	Distribution Pump	3 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Taco	Inaccessible	Inaccessible	2019
316	1661993	D3044	Distribution Pump	5 HP	BPS / BPS - Bourne Dale Elementary	Mechanical room E2	Bell & Gossett	1510BF 8.125	C070746-01H80	2009
317	1662098	D3044	Distribution Pump	5 HP	BPS / BPS - Bourne Dale Elementary	Mechanical room E2	Bell & Gossett	1510BF 8.125	C070746-02H80	2009
318	1662206	D3044	Distribution Pump	7.5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Taco	FI2009E4AH1L0DB1971D	530688/21	2019
319	1580567	D3044	Distribution Pump	3 HP	Bourne / Community Center	Boiler room	Taco	PE2008E2CLF4LOA	No tag/plate found	
320	1580593	D3044	Distribution Pump	3 HP	Bourne / Community Center	Boiler room	Taco	PE2008E2CLF4LOA	No tag/plate found	
321	1595226	D3044	Distribution Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	Taco	No tag/plate found	No tag/plate found	
322	1595238	D3044	Distribution Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	Taco	No tag/plate found	No tag/plate found	
323	1595243	D3044	Distribution Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	U.S. Motors	SA55JXCTS-3994	No tag/plate found	

324	1595209	D3044	Distribution Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	Taco	No tag/plate found	No tag/plate found		
325	1595228	D3044	Distribution Pump	3 HP	Bourne / Police Station - 175 Main St	Boiler room	Taco	No tag/plate found	No tag/plate found		
326	1662148	D3044	Distribution Pump [P-1]	5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Taco	KV3009AE2JCC731M	530688/1/1	2019	
327	1628457	D3044	Distribution Pump [P-1]	5 HP	Bourne / DPW Facility	Boiler room	Baldor Reliance	No tag/plate found	No tag/plate found	2015	
328	1537607	D3044	Distribution Pump [P-1]	15 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	Illegible	Illegible		
329	1662256	D3044	Distribution Pump [P-2]	5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Taco	KV3009AE2JCC731M	530688/1/1	2019	
330	1628487	D3044	Distribution Pump [P-2]	5 HP	Bourne / DPW Facility	Boiler room	No tag/plate found	No tag/plate found	No tag/plate found	2015	
331	1537591	D3044	Distribution Pump [P-2]	15 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	Illegible	Illegible		
332	1662273	D3044	Distribution Pump [P-3]	7.5 HP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Taco	FI2009E4AH1L0DB1971D	530688/2/1	2019	
333	1537606	D3044	Distribution Pump [P-3]	7.5 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	Illegible	Illegible		
334	1537636	D3044	Distribution Pump [P-4]	10 HP	BPS / BPS - Bourne High School	Art Level Boiler room	Taco	Illegible	Illegible		
335	1537625	D3044	Distribution Pump [P-6]	7.5 HP	BPS / BPS - Bourne High School	C-Wing Boiler room	Taco	Illegible	Illegible		
336	1537543	D3044	Distribution Pump [P-7]	7.5 HP	BPS / BPS - Bourne High School	C-Wing Boiler room	Taco	Illegible	Illegible		
337	1537594	D3044	Distribution Pump [P-8]	7.5 HP	BPS / BPS - Bourne High School	C-Wing Boiler room	Taco	Illegible	Illegible		
338	1531418	D3044	Distribution Pump [Pump-1]	20 HP	BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	5X4X11 5 4030	411241	2000	
339	1531484	D3044	Distribution Pump [Pump-2]	20 HP	BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	5X4X11 5 4030	411242	2000	
340	1531424	D3044	Distribution Pump [Pump-3]	20 HP	BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	5X3X11 5 4030	410540	2000	
341	1628519	D3045	Distribution Pump	1 HP	Bourne / Jonathan Bourne Library	Boiler room	Baldor Reliance	No tag/plate found	No tag/plate found	2013	
342	1628522	D3045	Distribution Pump	5 HP	Bourne / Jonathan Bourne Library	Boiler room	A. O. Smith	No tag/plate found	No tag/plate found	2013	
343	1628525	D3045	Distribution Pump	1 HP	Bourne / Jonathan Bourne Library	Boiler room	Baldor Reliance	No tag/plate found	No tag/plate found*	2013	
344	1580512	D3045	Distribution Pump [P-1]	1.5 HP	Bourne / Town Hall	Chiller pump room	Marathon	DE 145TTDR5929AB	No tag/plate found	2010	
345	1580498	D3045	Distribution Pump [P-2]	1.5 HP	Bourne / Town Hall	Chiller pump room	Marathon	DE 145TTDR5929AB	No tag/plate found	2010	
346	1531439	D3045	Distribution Pump [Pump-4]	15 HP	BPS / BPS - Bourne Middle School	Main Mechanical room	Armstrong	Inaccessible	Inaccessible	2000	
347	1661928	D3051	Air Conditioner	1 TON	BPS / BPS - School Administrative Bldg	Conference Room	LG	LW1012ER	201CSASA0304		
348	1661930	D3051	Air Conditioner	1 TON	BPS / BPS - School Administrative Bldg	Office	Frigidaire	No tag/plate found	No tag/plate found		
349	1661922	D3051	Air Conditioner	1 TON	BPS / BPS - School Administrative Bldg	Conference Room	LG	LW1012ER	102TABN27181		
350	1661950	D3051	Air Conditioner	1 TON	BPS / BPS - School Administrative Bldg	Office	Frigidaire	No tag/plate found	No tag/plate found		
351	1541839	D3051	Air Conditioner		Bourne / Fire Station #4 - Pocasset	Window A/C units	Various	Various	Various		5
352	1580762	D3051	Baseboard Heater		Bourne / Clark Field - Storage Bldg		No tag/plate found	No tag/plate found	No tag/plate found		
353	1661889	D3051	Furnace	51 - 100 MBH	BPS / BPS - Storage Garage	Garage	International Comfort Products	OHB5-F059-085-3	300077		
354	1595346	D3051	Furnace	250 MBH	ISWM / ISWM - Maintenance Bldg	Workshop	Clean burn	CB-2500	No tag/plate found	2019	
355	1628592	D3051	Furnace	60 MBH	Bourne / Fire Station #2 - Monument Beach	Second floor	Trianco heatmaker	4S459	9344234		
356	1580530	D3051	Furnace	100 MBH	Bourne / Town Hall - DNR Garage	Mechanical closet	DMO Industries	HTL 100B	15768		
357	1537485	D3051	Furnace	1,583 MBH	BPS / BPS - School Wastewater Plant	Ceiling-suspended in main wastewater room	Reznor	POB 125HHL	No tag/plate found	2000	
358	1628462	D3051	Furnace [WOH-1=]	160 MBH	Bourne / DPW Facility	Mezzanine wash bay	Energy logic	EL 200H	AS884129	2015	
359	1580609	D3051	Furnace, Rooftop	600 MBH	Bourne / Community Center	Roof	Trane	GRAA60POIEON9JU105MO	LO2H13469	2005	
360	1580559	D3051	Furnace, RTU	600 MBH	Bourne / Community Center	Roof	Trane	GRAA60POIEON9JU105MO	LO2H13470	2005	
361	1541873	D3051	Radiator		Bourne / Fire Station #4 - Pocasset	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found		15
362	1665032	D3051	Unit Heater		Bourne / Fire Station #1 - Buzzards Bay	Apparatus bay					2
363	1580657	D3051	Unit Heater		Bourne / Fire Station #3 - Sagamore	Throughout building	TPI Corporation	F3422T	No tag/plate found	2005	5
364	1580560	D3051	Unit Heater	8 MBH	Bourne / Community Center	Throughout building	Modine	Inaccessible	Inaccessible		4
365	1541888	D3051	Unit Heater	35 MBH	Bourne / Fire Station #4 - Pocasset	Garage Bay addition (Apparatus bay)	Inaccessible	Inaccessible	Inaccessible		
366	1624071	D3051	Unit Heater		Bourne / Town Hall - DNR Garage	Workshop	Inaccessible	Inaccessible	Inaccessible		2
367	1628604	D3051	Unit Heater	25 MBH	Bourne / Fire Station #2 - Monument Beach	Aparatus bay	Modine	No tag/plate found	No tag/plate found		
368	1661973	D3051	Unit Heater	50 MBH	BPS / BPS - Bourne Elementary	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found	2009	
369	1537454	D3051	Unit Heater	2 kW	BPS / BPS - School Wastewater Plant	Restrooms	QMARK	No tag/plate found	No tag/plate found	2000	
370	1537468	D3051	Unit Heater	5 kW	BPS / BPS - School Wastewater Plant	Generator room	Inaccessible	Inaccessible	Inaccessible		
371	1537456	D3051	Unit Heater	5 kW	BPS / BPS - School Wastewater Plant	Mechanical room	Inaccessible	Inaccessible	Inaccessible		
372	1603320	D3051	Unit Heater	10 kW	Sewer / Sewer Pump Station-B. Bay	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found		2
373	1580533	D3051	Unit Heater	10 kW	Bourne / Community Center	Door mounted	Ritting	RW1290-03B00LL0	30002757	2002	2
374	1628477	D3051	Unit Heater	20 kW	Bourne / DPW Facility	Electrical room	No tag/plate found	No tag/plate found	No tag/plate found	2015	
375	1580602	D3051	Unit Heater	20 kW	Bourne / Community Center	Ceiling mounted	Ritting	RFRC420-03B00LL0	30002759	2002	3
376	1595259	D3051	Unit Heater	15 kW	Bourne / DNR - Marine Bldg - Taylors Point	Basement	No tag/plate found	No tag/plate found	No tag/plate found	2005	
377	1603322	D3051	Unit Heater	20 kW	Sewer / Sewer Pump Station-B. Bay	Upper level	Modine Manufacturing	No tag/plate found	No tag/plate found	2005	
378	1595356	D3051	Unit Heater	17.5 MBH	ISWM / ISWM - Maintenance Bldg	Vehicle storage	Modine	PAE175AC0111	30011015395-3102		
379	1531441	D3051	Unit Heater	35 MBH	BPS / BPS - Bourne Middle School	Mechanical room	Inaccessible	Inaccessible	Inaccessible		8
380	1531427	D3051	Unit Heater	50 MBH	BPS / BPS - Bourne Middle School	Interior stairs and adjacent exterior doors	No tag/plate found	No tag/plate found	No tag/plate found		7
381	1662257	D3051	Unit Heater [UH-2]	50 MBH	BPS / BPS - Bourne Intermediate School	Throughout building	Ritting	Inaccessible	Inaccessible	2019	
382	1628485	D3051	Unit Heater [UH-3]	13 - 36 MBH	Bourne / DPW Facility	Boiler room	No tag/plate found	No tag/plate found	No tag/plate found	2015	
383	1628497	D3051	Unit Heater [UH-6]	6 - 10 MBH	Bourne / DPW Facility	Electrical room	No tag/plate found	No tag/plate found	No tag/plate found	2015	
384	1628566	D3052	Heat Pump or Gas-Pack	3 TON	Bourne / Bourne Archives Bldg	Building exterior	Fujitsu	AOU36RLXFZH	FXN 001782	2017	
385	1662003	D3052	Packaged Unit (RTU)	25 TON	BPS / BPS - Bourne Elementary	Roof	McQuay	RPS025CLA	FB0U08090204100	2009	
386	1662092	D3052	Packaged Unit (RTU)	25 TON	BPS / BPS - Bourne Elementary	Roof	McQuay	RPS025CLA	FB0U08090204600	2009	
387	1628471	D3052	Packaged Unit (RTU) [EVR-1]	16 TON	Bourne / DPW Facility	Roof	AAON, Inc.	RN-016-8-0-0000-349	201411-BNGM41078	2015	
388	1537634	D3052	Packaged Unit (RTU)	20 Ton	BPS / BPS - Bourne High School	Roof (above Auditorium)	Trane	TCD240B40GJB	602100976D	2006	
389	1537613	D3052	Packaged Unit (RTU)	20 Ton	BPS / BPS - Bourne High School	Roof (above Auditorium)	Trane	TCD240B40GJB	602101032D	2006	
390	1580595	D3052	Packaged Unit (RTU)	6 TON	Bourne / Community Center	Roof	Trane	Illegible	Illegible	2005	
391	1537534	D3052	Packaged Unit (RTU)	7.5 Ton	BPS / BPS - Bourne High School	Roof (above music wing area)	American Standard Inc.	YSC090FARHA0ED000	1531102G8L	2015	
392	1537615	D3052	Packaged Unit (RTU)	7.5 Ton	BPS / BPS - Bourne High School	Roof (above music wing area)	York	Illegible	Illegible	1990	
393	1537622	D3052	Packaged Unit (RTU)	7.5 Ton	BPS / BPS - Bourne High School	Roof (above office area)	Trane	Illegible	Illegible	1990	
394	1537642	D3052	Packaged Unit (RTU)	7.5 Ton	BPS / BPS - Bourne High School	Roof (above music wing area)	York	Illegible	Illegible	1990	
395	1537595	D3052	Packaged Unit (RTU)	7.5 Ton	BPS / BPS - Bourne High School	Roof (above office area)	Trane	Illegible	Illegible	1990	
396	1580553	D3052	Packaged Unit (RTU)	8 TON	Bourne / Community Center	Roof	Trane	No tag/plate found	No tag/plate found		
397	1628441	D3052	Packaged Unit (RTU) [RTU-1]	1.5 TON	Bourne / DPW Facility	Roof	Trane	THC 2063RDA0R0EC1A1B600000100E0	144611756L	2015	
398	1662284	D3052	Packaged Unit (RTU) [RTU-1]	25 TON	BPS / BPS - Bourne Intermediate School	Roof	Valent	VPRE-310-35F-40I-C-1GA	15533672	2019	
399	1580557	D3052	Packaged Unit (RTU) [RTU-1]	3.5 TON	Bourne / Community Center	Roof	Trane	Illegible	Illegible	2005	
400	1662209	D3052	Packaged Unit (RTU) [RTU-2]	25 TON	BPS / BPS - Bourne Intermediate School	Roof	Valent	VPRE-310-35F-40I-C-1GA	15533673	2019	
401	1662202	D3052	Packaged Unit (RTU) [RTU-3]	10 TON	BPS / BPS - Bourne Intermediate School	Roof	Valent	VPRE-110-8F-10I-C-QGA	15533674	2019	
402	1662031	D3052	Packaged Unit (RTU) [RTU-3]	20 TON	BPS / BPS - Bourne Elementary	Roof	Trane	YCD241C4LCCA	835100541D	2009	
403	1662181	D3052	Packaged Unit (RTU) [RTU-4]	10 TON	BPS / BPS - Bourne Intermediate School	Roof	Valent	VPRE-110-IC-10I-C-QDA	15533675	2019	

D40 FIRE PROTECTION

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1662298	D4011	Backflow Preventer	6 INCH	BPS / BPS - Bourne Intermediate School	Mechanical room 166	Ames	No tag/plate found	S0-0025	2019		
2	1662054	D4011	Backflow Preventer	6 INCH	BPS / BPS - Bourne Elementary	Storage E5	Watts Regulator	709	258601	2009		
3	1537584	D4011	Backflow Preventer	4"	BPS / BPS - Bourne High School	Stage	Watts Regulator	709	165175			

4	1580493	D4011	Backflow Preventer	4 INCH	Bourne / Town Hall	Sprinkler room	No tag/plate found	No tag/plate found	No tag/plate found	2010	
5	1628443	D4011	Backflow Preventer	6 INCH	Bourne / DPW Facility	Sprinkler Room	No tag/plate found	No tag/plate found	No tag/plate found	2015	
6	1537472	D4011	Backflow Preventer		BPS / BPS - School Wastewater Plant	Mechanical room - Fire-Domestic-Water Heater	Watts Regulator	774	Inaccessible	2000	
7	1531497	D4011	Backflow Preventer		BPS / BPS - Bourne Middle School	Penthouse Mechanical room	Watts Regulator	774	101695	2000	
8	1580684	D4011	Backflow Preventer		Bourne / Fire Station #3 - Sagamore	Fire Sprinkler Room	No tag/plate found	No tag/plate found	No tag/plate found	2005	
9	1580544	D4011	Backflow Preventer		Bourne / Community Center	Fire Sprinkler room	No tag/plate found	No tag/plate found	No tag/plate found	2002	
10	1645584	D4031	Fire Extinguisher		Bourne / Bourne Archives Bldg	Throughout building					10
11	1595808	D4031	Fire Extinguisher		Bourne / Community Center	Throughout interior					20
12	1596320	D4031	Fire Extinguisher		Bourne / Town Hall	Throughout building					3
13	1602773	D4031	Fire Extinguisher		Bourne / Fire Station #1 - Buzzards Bay	Throughout building					5
14	1537451	D4031	Fire Extinguisher		BPS / BPS - School Wastewater Plant	Interior Fire Extinguishers					2
15	1603324	D4031	Fire Extinguisher		Sewer / Sewer Pump Station-B. Bay	Throughout interior					28
16	1537510	D4031	Fire Extinguisher		BPS / BPS - Bourne High School	Interior Fire Extinguishers					20
17	1531481	D4031	Fire Extinguisher		BPS / BPS - Bourne Middle School	Interior Fire Extinguishers					3
18	1541886	D4031	Fire Extinguisher		Bourne / Fire Station #4 - Pocasset	Interior Fire Extinguishers					4
19	1577383	D4031	Fire Extinguisher		Bourne / Pocasset Field - Concession Bldg	1st floor concession area					32
20	1661897	D4031	Fire Extinguisher		BPS / BPS - Storage Garage	Throughout building					4
21	1628468	D4031	Fire Extinguisher		Bourne / DPW Facility	Throughout building				2015	32
22	1628605	D4031	Fire Extinguisher		Bourne / Cataumet School House	Throughout building					3
23	1595263	D4031	Fire Extinguisher		Bourne / DNR - Marine Bldg - Taylors Point	Throughout building					3
24	1662058	D4031	Fire Extinguisher		BPS / BPS - Bourne Elementary	Throughout building					3
25	1628523	D4031	Fire Extinguisher		Bourne / Jonathan Bourne Library	Throughout building					4
26	1541685	D4031	Fire Extinguisher		Bourne / Pocasset Field - Concession Bldg	1st floor concession area					4
27	1595344	D4031	Fire Extinguisher		ISWM / ISWM - Maintenance Bldg	Throughout building					4
28	1662212	D4031	Fire Extinguisher		BPS / BPS - Bourne Intermediate School	Throughout building				2019	4
29	1661942	D4031	Fire Extinguisher		BPS / BPS - School Administrative Bldg	Throughout building					12
30	1595210	D4031	Fire Extinguisher		Bourne / Police Station - 175 Main St	Throughout building					12

D50 ELECTRICAL

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1662014	D5012	Building/Main Switchboard	1600 AMP	BPS / BPS - Bourne Elementary	Electrical room E1	Square D	24351540-001	F-726989	2009		
2	1662274	D5012	Building/Main Switchboard	1600 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	40628082-001	A80729464	2019		
3	1537593	D5012	Building/Main Switchboard [DPI]	1,200 Amp	BPS / BPS - Bourne High School	Electrical / Fire Alarm Panel Room	GE	No tag/plate found	No tag/plate found	1990		
4	1531423	D5012	Building/Main Switchboard [Main Electric]	1,200 Amp	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	No tag/plate found	No tag/plate found	2000		
5	1537524	D5012	Building/Main Switchboard [Main Electric]	1,600 Amp	BPS / BPS - Bourne High School	Tunnel Electrical room	GE	No tag/plate found	No tag/plate found	1990		
6	1628437	D5012	Building/Main Switchboard [MS]	800 AMP	Bourne / DPW Facility	Electrical room	Square D	No tag/plate found	No tag/plate found	2015		
7	1531444	D5012	Distribution Panel [EDPEQ]	400 Amp	BPS / BPS - Bourne Middle School	Custodial Electric room	Square D	No tag/plate found	No tag/plate found	2000		
8	1531407	D5012	Distribution Panel [HKE]	400 Amp	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	No tag/plate found	No tag/plate found	2000		
9	1661888	D5012	Main Distribution Panel	100 AMP	BPS / BPS - Storage Garage	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found			
10	1661904	D5012	Main Distribution Panel	100 AMP	BPS / BPS - Storage Maintenance	Storage	Square D	No tag/plate found	No tag/plate found			
11	1541691	D5012	Main Distribution Panel	200 Amp	Bourne / Pocasset Field - Concession Bldg	2nd floor of building	Cutler-Hammer	No tag/plate found	No tag/plate found			
12	1580629	D5012	Main Distribution Panel		Bourne / Fire Station #3 - Sagamore	Electrical room	Eaton Cutler-Hammer	PRL3a	S867L72009	2005		
13	1580747	D5012	Main Distribution Panel		Bourne / Keith Field - Concession Bldg	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found			
14	1661945	D5012	Main Distribution Panel	200 AMP	BPS / BPS - School Administrative Bldg		No tag/plate found	No tag/plate found	No tag/plate found			
15	1580627	D5012	Main Distribution Panel		Bourne / Fire Station #3 - Sagamore	Electrical room	Eaton Cutler-Hammer	PRL4	SBS76172-008	2005		
16	1580650	D5012	Main Distribution Panel		Bourne / Fire Station #3 - Sagamore	Electrical room	Eaton Cutler-Hammer	PR3La	SBS76172011	2005		
17	1662307	D5012	Main Distribution Panel	400 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	12406280820540001	18233	2019		
18	1662221	D5012	Main Distribution Panel	400 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 215	Square D	124062820220001	18234	2019		
19	1662245	D5012	Main Distribution Panel	400 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	12406280820150001	18234	2019		
20	1662269	D5012	Main Distribution Panel	600 AMP	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Square D	44406280820030001	18226	2019		
21	1662077	D5012	Main Distribution Panel	800 AMP	BPS / BPS - Bourne Elementary	Electrical room D14	Square D	12243515400020001	08313	2009		
22	1537515	D5012	Main Distribution Panel [DP2]	800 Amp	BPS / BPS - Bourne High School	Stage Electrical room	GE	No tag/plate found	No tag/plate found	1990		
23	1537471	D5012	Main Distribution Panel [HP]	200 Amp	BPS / BPS - School Wastewater Plant	Electrical room	Square D	No tag/plate found	No tag/plate found	2000		
24	1537462	D5012	Main Distribution Panel [LP]	225 Amp	BPS / BPS - School Wastewater Plant	Electrical room	Square D	No tag/plate found	No tag/plate found	2000		
25	1628478	D5012	Main Distribution Panel [MDP]	800 AMP	Bourne / DPW Facility	Electrical room	Square D	No tag/plate found	No tag/plate found	2015		
26	1628606	D5012	Main Distribution Panel	100 AMP	Bourne / Cataumet School House	Electrical room	Cutler Hammer	No tag/plate found	No tag/plate found			
27	1537556	D5012	Main Distribution Panel	200 Amp	BPS / BPS - Bourne High School	Art Level Boiler room	GE	No tag/plate found	No tag/plate found			6
28	1580751	D5012	Main Distribution Panel		Bourne / Clark Field - Storage Bldg		No tag/plate found	No tag/plate found	No tag/plate found			
29	1628590	D5012	Main Distribution Panel	200 AMP	Bourne / Bourne Elementary	Basement	Cutler-Hammer	No tag/plate found	No tag/plate found			
30	1628600	D5012	Main Distribution Panel	1200 AMP	Bourne / Fire Station #2 - Monument Beach	Apparatus room	Murray	No tag/plate found	No tag/plate found			
31	1580577	D5012	Main Distribution Panel	1200 AMP	Bourne / Community Center	Electrical room	Siemens	No tag/plate found	No tag/plate found	2005		
32	1628617	D5012	Main Distribution Panel	200 AMP	Bourne / Monument Beach Field - Concession Bldg	Electrical room	Cutler-Hammer	No tag/plate found	No tag/plate found			
33	1595357	D5012	Main Distribution Panel	200 AMP	ISWM / ISWM - Maintenance Bldg	Workshop	Cutler-Hammer	No tag/plate found	No tag/plate found			
34	1595190	D5012	Main Distribution Panel	200 AMP	Bourne / Fire Station #1 - Buzzards Bay	Garage	Square D	No tag/plate found	No tag/plate found	2010		
35	1580529	D5012	Main Distribution Panel	200 AMP	Bourne / Town Hall - DNR Garage	Workshop	No tag/plate found	No tag/plate found	No tag/plate found			
36	1628622	D5012	Main Distribution Panel	200 AMP	Bourne / DNR - Marine Bldg - Monument Beach	Electrical room	Murray	No tag/plate found	No tag/plate found			
37	1628615	D5012	Main Distribution Panel	200 AMP	Bourne / Monument Beach Field - Concession Bldg	Second floor	Square D	No tag/plate found	No tag/plate found			
38	1595353	D5012	Main Distribution Panel	225 AMP	ISWM / ISWM - Maintenance Bldg	Vehicle room	Square D	No tag/plate found	No tag/plate found			
39	1603426	D5012	Main Distribution Panel	225 AMP	Sewer / Sewer Pump Station-Hid Vil	Electrical room	Square D	No tag/plate found	No tag/plate found	1993		
40	1603325	D5012	Main Distribution Panel	225 AMP	Sewer / Sewer Pump Station-B. Bay	Electrical room	Square D	No tag/plate found	No tag/plate found	2005		
41	1595260	D5012	Main Distribution Panel	225 AMP	Bourne / DNR - Marine Bldg - Taylors Point	Electrical room	Gould	No tag/plate found	No tag/plate found	2002		
42	1595268	D5012	Main Distribution Panel	225 AMP	Bourne / DNR - Marine Bldg - Taylors Point	Basement	Gould	No tag/plate found	No tag/plate found	2005		
43	1595213	D5012	Main Distribution Panel	400 AMP	Bourne / Police Station - 175 Main St	Garage	Federal Pacific	No tag/plate found	No tag/plate found			
44	1595347	D5012	Main Distribution Panel	400 AMP	ISWM / ISWM - Maintenance Bldg	Workshop	Square D	No tag/plate found	No tag/plate found			
45	1595262	D5012	Main Distribution Panel	600 AMP	Bourne / DNR - Marine Bldg - Taylors Point	Electrical room	Gould	No tag/plate found	No tag/plate found	2006		
46	1580499	D5012	Main Distribution Panel	600 AMP	Bourne / Town Hall	Electrical room	Square D	No tag/plate found	No tag/plate found	1996		
47	1580603	D5012	Main Distribution Panel [PM1A]	600 AMP	Bourne / Community Center	Boiler room	Siemens	No tag/plate found	No tag/plate found	2005		
48	1580568	D5012	Main Distribution Panel [PM1A]	600 AMP	Bourne / Community Center	Boiler room	Siemens	No tag/plate found	No tag/plate found	2005		
49	1628509	D5012	Main Distribution Panel [PP1]	400 AMP	Bourne / Jonathan Bourne Library	Electrical room	Square D	No tag/plate found	No tag/plate found	2013		
50	1628484	D5012	Main Distribution Panel [PP61]	225 AMP	Bourne / DPW Facility	Boiler room	Square D	No tag/plate found	No tag/plate found	2015		
51	1537455	D5012	Motor		BPS / BPS - School Wastewater Plant	Wastewater room	U.S. Electrical Motors	T747A	No tag/plate found			
52	1537446	D5012	Motor		BPS / BPS - School Wastewater Plant	Wastewater room	U.S. Electrical Motors	T763A	No tag/plate found			
53	1537491	D5012	Motor		BPS / BPS - School Wastewater Plant	Wastewater room	U.S. Electrical Motors	T747A	No tag/plate found			
54	1580726	D5012	Motor Control Center		Bourne / Fire Station #3 - Sagamore	Boiler room	Viesmann	No tag/plate found	No tag/plate found	2005		
55	1531472	D5012	Motor Control Center w/ Main Breaker [MCC]	600 Amp	BPS / BPS - Bourne Middle School	Main Mechanical room (8 sections)	Square D	M-713550	No tag/plate found	2000		
56	1531430	D5012	Motor Control Center w/ Main Breaker [MCC]	600 Amp	BPS / BPS - Bourne Middle School	Main Mechanical room (2 sections)	Square D	M-713540	No tag/plate found	2000		

57	1537493	D5012	Motor Control Center w/ Main Breaker	800 Amp	BPS / BPS - School Wastewater Plant	Electrical room	No tag/plate found	No tag/plate found	No tag/plate found	2000
58	1662199	D5012	Secondary Transformer	112.5 kVA	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	EX112T3HCUNLP	2060618125A	2019
59	1662268	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Square D	EX45T3HCUNLP	2052617142A	2019
60	1662005	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Intermediate School	Electrical room J9	Square D	EE30T3HCU	No tag/plate found	2009
61	1661966	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Intermediate School	Electrical room D14	Square D	EE30T3HCU	No tag/plate found	2009
62	1662163	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Intermediate School	Mechanical room 137	Square D	EX30T3HCUNLP	1062518284	2019
63	1662251	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	EX30T3HCUNLP	1062518224	2019
64	1662088	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room E1	Square D	EE45T3HCU	No tag/plate found	2009
65	1661988	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room E1	Square D	EE45T3HISCUNLP	No tag/plate found	2009
66	1661969	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room E1	Square D	EE45T3HISCUNLP	No tag/plate found	2009
67	1662193	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room 215	Square D	EX45T3HCUNLP	Illegible	2019
68	1661959	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room E1	Square D	EE45T3HCU	No tag/plate found	2009
69	1662255	D5012	Secondary Transformer	45 kVA	BPS / BPS - Bourne Intermediate School	Electrical room 165	Square D	EX45T3HCUNLP	2061616171A	2019
70	1662083	D5012	Secondary Transformer	75 kVA	BPS / BPS - Bourne Intermediate School	Electrical room D14	Square D	EE75T3HISCUNLP	No tag/plate found	2009
71	1662277	D5012	Secondary Transformer	75 kVA	BPS / BPS - Bourne Intermediate School	Electrical room 215	Square D	EX75T3HCUNLP	2070318207A	2019
72	1580693	D5012	Secondary Transformer		Bourne / Fire Station #3 - Sagamore	Electrical room	Eaton Cutler-Hammer	V48M28T30EE	J05G01911	2005
73	1580667	D5012	Secondary Transformer		Bourne / Fire Station #3 - Sagamore	Electrical room	Eaton Cutler-Hammer			2005
74	1531456	D5012	Secondary Transformer	30 kVA	BPS / BPS - Bourne Middle School	Gymnasium storage room	Square D	30T3HF	No tag/plate found	2000
75	1537560	D5012	Secondary Transformer	150 kVA	BPS / BPS - Bourne High School	Stage Electrical room	Square D	150T3H	No tag/plate found	
76	1537611	D5012	Secondary Transformer	150 kVA	BPS / BPS - Bourne High School	Stage Electrical room	Federal Pacific	T4T150		
77	1537486	D5012	Secondary Transformer [PNL HP CRT 7, 9 & 11]	30 kVA	BPS / BPS - School Wastewater Plant	Electrical room	Square D	30T3HF	No tag/plate found	2000
78	1537638	D5012	Secondary Transformer [T1]	300 kVA	BPS / BPS - Bourne High School	Electrical / Fire Alarm Panel Room	GE	9123L8078	No tag/plate found	
79	1531431	D5012	Secondary Transformer [T1E]	30 kVA	BPS / BPS - Bourne Middle School	1st floor Electric Room	Square D	30T3HF	No tag/plate found	2000
80	1531429	D5012	Secondary Transformer [T1E]	30 kVA	BPS / BPS - Bourne Middle School	Custodial Electric room	Square D	30T3HF	No tag/plate found	2000
81	1531437	D5012	Secondary Transformer [T2]	30 kVA	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	30T3HF	No tag/plate found	2000
82	1531491	D5012	Secondary Transformer [T2EE]	15 kVA	BPS / BPS - Bourne Middle School	Custodial Electric room	Square D	15T3HF	No tag/plate found	2000
83	1531483	D5012	Secondary Transformer [T4]	15 kVA	BPS / BPS - Bourne Middle School	Main Mechanical room	Square D	15T3HF	No tag/plate found	2000
84	1531435	D5012	Secondary Transformer [T7]	30 kVA	BPS / BPS - Bourne Middle School	2nd floor Electric Room	Square D	30T3HF	No tag/plate found	2000
85	1531433	D5012	Secondary Transformer [T8]	30 kVA	BPS / BPS - Bourne Middle School	2nd floor Electric Room	Square D	30T3HF	No tag/plate found	2000
86	1531426	D5012	Secondary Transformer [T9]	30 kVA	BPS / BPS - Bourne Middle School	2nd floor Electric Room	Square D	30T3HF	No tag/plate found	2000
87	1531469	D5012	Secondary Transformer [TE3]	30 kVA	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	30T3HF	No tag/plate found	2000
88	1531465	D5012	Secondary Transformer [TE4]	75 kVA	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	75T3HF	No tag/plate found	2000
89	1531449	D5012	Secondary Transformer [TIG1]	30 kVA	BPS / BPS - Bourne Middle School	computer/ head end	Square D	30T3HFISNLP	No tag/plate found	2000
90	1531478	D5012	Secondary Transformer [TIG2]	30 kVA	BPS / BPS - Bourne Middle School	Emergency / Main Electric room	Square D	30T3HFISNLP	No tag/plate found	2000
91	1531476	D5012	Secondary Transformer [TIG4]	30 kVA	BPS / BPS - Bourne Middle School	2nd floor Electric Room	Square D	30T3HFISNLP	No tag/plate found	2000
92	1662297	D5012	Transfer Switch	600 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 163	Kohler	Inaccessible	Inaccessible	2019
93	1662165	D5012	Transfer Switch	600 AMP	BPS / BPS - Bourne Intermediate School	Electrical room 165	Kohler	Inaccessible	Inaccessible	2019
94	1603326	D5012	Transfer Switch	225 AMP	Sewer / Sewer Pump Station-B. Bay	Upper level	Kohler	No tag/plate found	No tag/plate found	2019
95	1537474	D5012	Transfer Switch [ATS/HP]	100 Amp	BPS / BPS - School Wastewater Plant	Electrical room	ASCO	No tag/plate found	No tag/plate found	2000
96	1580682	D5012	Transfer Switch [ATS-1]		Bourne / Fire Station #3 - Sagamore	Electrical room	General Electric	Zenith ZTS	Inaccessible	2005
97	1580623	D5012	Transfer Switch [ATS-2]		Bourne / Fire Station #3 - Sagamore	Electrical room	Caterpillar	Inaccessible	Inaccessible	2005
98	1531446	D5012	Transfer Switch [ATSEQ]	200 Amp	BPS / BPS - Bourne Middle School	Custodial Electric room	ASCO	No tag/plate found	No tag/plate found	2000
99	1662044	D5012	Transfer Switch [ATS-LS]	600 AMP	BPS / BPS - Bourne Intermediate School	Electrical room E1	Caterpillar	Mx150	No tag/plate found	2009
100	1531462	D5012	Transfer Switch [ATSLS]	200 Amp	BPS / BPS - Bourne Middle School	Custodial Electric room	ASCO	No tag/plate found	No tag/plate found	2000
101	1662101	D5012	Transfer Switch [ATS-OS]	600 AMP	BPS / BPS - Bourne Intermediate School	Electrical room E1	Caterpillar	Mx150	No tag/plate found	2009
102	1595166	D5012	Transfer Switch	100 AMP	Bourne / Fire Station #1 - Buzzards Bay	Building exterior	Generac	No tag/plate found	No tag/plate found	2018
103	1580574	D5012	Transfer Switch	1200 AMP	Bourne / Community Center	Electrical room	Kohler	No tag/plate found	No tag/plate found	2005
104	1603424	D5012	Transfer Switch	225 AMP	Sewer / Sewer Pump Station-Hid Vil	Electrical room	Generac	No tag/plate found	No tag/plate found	2019
105	1628597	D5012	Transfer Switch	60 AMP	Bourne / Fire Station #2 - Monument Beach	Garage	Onan	No tag/plate found	No tag/plate found	
106	1580510	D5012	Transfer Switch	600 AMP	Bourne / Town Hall	Electrical room	Thomson Technology	No tag/plate found	No tag/plate found	2010
107	1628473	D5012	Transfer Switch	800 AMP	Bourne / DPW Facility	Electrical room	Asco	No tag/plate found	1140277 RE	2015
108	1595216	D5012	Transfer Switch	400 AMP	Bourne / Police Station - 175 Main St	Garage	Thomson Technology	No tag/plate found	No tag/plate found	
109	1580610	D5012	Variable Frequency Drive (VFD) [HW pump #1]	5 HP	Bourne / Community Center	Boiler room	Safetronics	FPC5000	No tag/plate found	
110	1580552	D5012	Variable Frequency Drive (VFD) [HW pump #2]	5 HP	Bourne / Community Center	Boiler room	Safetronics	FPC5000	No tag/plate found	
111	1541850	D5019	Load Center	200 Amp	Bourne / Fire Station #4 - Pocasset	Garage Bay (Apparatus bay)	Square D	No tag/plate found	No tag/plate found	
112	1661903	D5022	Light Fixture	100 WATT	BPS / BPS - Storage Maintenance	Building exterior				3
113	1662303	D5022	Light Fixture	100 WATT	BPS / BPS - Bourne Intermediate School	Building exterior				2019
114	1661995	D5022	Light Fixture	100 WATT	BPS / BPS - Bourne Intermediate School	Building exterior				2009
115	1661990	D5022	Light Fixture	100 WATT	BPS / BPS - Bourne Intermediate School	Building exterior				2009
116	1662048	D5022	Light Fixture	250 WATT	BPS / BPS - Bourne Intermediate School	Gymnasium				2009
117	1541840	D5022	Light Fixture		Bourne / Fire Station #4 - Pocasset	Front of building				
118	1531394	D5022	Light Fixture		BPS / BPS - School Wastewater Plant	Building exterior				6
119	1580749	D5022	Light Fixture		Bourne / Fire Station #4 - Pocasset	Building exterior				5
120	1580670	D5022	Light Fixture		Bourne / Fire Station #3 - Sagamore	Building Exterior				2005
121	1580755	D5022	Light Fixture		Bourne / Clark Field - Storage Bldg	Building Exterior				6
122	1628611	D5022	Light Fixture		Bourne / DPW Salt Shed	Throughout building				2015
123	1562818	D5022	Light Fixture		BPS / BPS - Bourne Middle School	Building Exterior				14
124	1628472	D5022	Light Fixture		Bourne / DPW Facility	Site				2015
125	1628439	D5022	Light Fixture		Bourne / DPW Facility	Building exterior				2015
126	1628613	D5022	Light Fixture		Bourne / DPW Salt Shed	Building exterior				2015
127	1577612	D5022	Light Fixture		BPS / BPS - Bourne High School	Building Exterior				2017
128	1628616	D5022	Light Fixture		Bourne / Monument Beach Field - Concession Bldg	Site				4
129	1580605	D5022	Light Fixture		Bourne / Community Center	Site				2002
130	1662179	D5037	Annunciator Alarm Panel		BPS / BPS - Bourne Intermediate School	Foyer	Honeywell	No tag/plate found	No tag/plate found	2019
131	1531403	D5037	Annunciator Alarm Panel		BPS / BPS - Bourne Middle School	Vestibule	Simplex	No tag/plate found	No tag/plate found	2017
132	1580639	D5037	Annunciator Alarm Panel		Bourne / Fire Station #3 - Sagamore	Lobby	Silent Knight	No tag/plate found	No tag/plate found	2005
133	1580685	D5037	Fire Alarm Control Panel		Bourne / Fire Station #3 - Sagamore	Electrical room	Silent Knight	IFP-100	No tag/plate found	2005
134	1662053	D5037	Fire Alarm Control Panel		BPS / BPS - Bourne Intermediate School	Office	EST	Inaccessible	Inaccessible	2009
135	1662301	D5037	Fire Alarm Control Panel		BPS / BPS - Bourne Intermediate School	Electrical room 165	Honeywell	No tag/plate found	No tag/plate found	2019
136	1661927	D5037	Fire Alarm Control Panel		BPS / BPS - School Administrative Bldg	Basement	Fire-Lite	MS-SUD-3	No tag/plate found	
137	1628517	D5037	Fire Alarm Control Panel		Bourne / Jonathan Bourne Library	Electrical room	Honeywell	SK 5208	No tag/plate found	2013
138	1537469	D5037	Fire Alarm Control Panel		BPS / BPS - School Wastewater Plant	Electrical room	No tag/plate found	No tag/plate found	No tag/plate found	2000
139	1628575	D5037	Fire Alarm Control Panel		Bourne / Bourne Archives Bldg	Lobby	Siemens	FS-250	No tag/plate found	2010
140	1595804	D5037	Fire Alarm Control Panel		Bourne / Community Center	Throughout building	No tag/plate found	No tag/plate found	No tag/plate found	
141	1595171	D5037	Fire Alarm Control Panel	No tag/plate found	Bourne / Fire Station #1 - Buzzards Bay	Deputy Chief office	No tag/plate found	No tag/plate found	No tag/plate found	2018

142	1628455	D5037	Fire Alarm Control Panel		Bourne / DPW Facility	Electrical room	Honeywell	NFW2-100	No tag/plate found	2015	
143	1537523	D5037	Fire Alarm Control Panel		BPS / BPS - Bourne High School	Electrical / Fire Alarm Panel Room	Simplex / Fire-Lite	MS-9050UD	No tag/plate found		
144	1595256	D5037	Fire Alarm Control Panel		Bourne / DNR - Marine Bldg - Taylors Point	Mechanical room	Mircom	No tag/plate found	No tag/plate found		
145	1580509	D5037	Fire Alarm Control Panel		Bourne / Town Hall	Sprinkler room	Simplex	4002	No tag/plate found	1998	
146	1531445	D5037	Fire Alarm Control Panel		BPS / BPS - Bourne Middle School	Custodial office	Fire-Lite / Honeywell	MS-9050UD	No tag/plate found	2017	
147	1595355	D5037	Fire Alarm Control Panel		ISWM / ISWM - Maintenance Bldg	Throughout building	Fire-Lite	No tag/plate found	No tag/plate found		
148	1603327	D5037	Fire Alarm Control Panel	No tag/plate found	Sewer / Sewer Pump Station-B. Bay	Main level	Fire-Lite	MS-2	No tag/plate found		
149	1628453	D5038	Vehicle Control Gate w/ Controller		Bourne / DPW Facility	Site				2015	2
150	1661934	D5092	Emergency Light		BPS / BPS - School Administrative Bldg	Throughout building					3
151	1602801	D5092	Emergency/Exit Combo LED		Bourne / Fire Station #1 - Buzzards Bay	Throughout building					3
152	1595809	D5092	Emergency/Exit Combo LED		Bourne / Community Center	Throughout interior					25
153	1596333	D5092	Emergency/Exit Combo LED		Bourne / Town Hall	Throughout building					15
154	1595224	D5092	Emergency/Exit Combo LED		Bourne / Police Station - 175 Main St	Throughout building					12
155	1661923	D5092	Emergency/Exit Combo LED		BPS / BPS - School Administrative Bldg	Throughout building					3
156	1624218	D5092	Exit Sign Light Fixture		Bourne / Town Hall - DNR Garage	Workshop					
157	1645590	D5092	Exit Sign Light Fixture		Bourne / Bourne Archives Bldg	Throughout building					
158	1537466	D5092	Exit Sign Light Fixture		BPS / BPS - School Wastewater Plant	Throughout building					6
159	1628501	D5092	Exit Sign Light Fixture		Bourne / DPW Facility	Throughout building				2015	25
160	1628516	D5092	Exit Sign Light Fixture		Bourne / Jonathan Bourne Library	Throughout building					6
161	1541878	D5092	Exit Sign Light Fixture		Bourne / Fire Station #4 - Pocasset	Interior exit signs					2
162	1537539	D5092	Exit Sign Light Fixture		BPS / BPS - Bourne High School	Interior illuminated exit signs					42
163	1531409	D5092	Exit Sign Light Fixture		BPS / BPS - Bourne Middle School	Interior illuminated exit signs				2017	32
164	1662055	D5092	Exit Sign Light Fixture		BPS / BPS - Bournedale Elementary	Throughout building				2009	37
165	1662171	D5092	Exit Sign Light Fixture		BPS / BPS - Bourne Intermediate School	Throughout building				2019	18
166	1661924	D5092	Exit Sign Light Fixture		BPS / BPS - School Administrative Bldg	Throughout building					
167	1662086	D5092	Generator	130 kW	BPS / BPS - Bournedale Elementary	Site	Olympian	OLY00000ENG00692	CL300151	2009	
168	1662196	D5092	Generator	250 kW	BPS / BPS - Bourne Intermediate School	Site	Kohler	250RE0ZLE	GM66100-GA5	2019	
169	1628594	D5092	Generator	12 kW	Bourne / Fire Station #2 - Monument Beach	Site	Onan	5.0 Genset	No tag/plate found		
170	1580635	D5092	Generator	240 kW	Bourne / Fire Station #3 - Sagamore	Site	Caterpillar	3406	CBP00350	2005	
171	1603423	D5092	Generator	35 kW	Sewer / Sewer Pump Station-Hid Vil	Site	Generac	SG0035GG035.4V18HPYYC	3004539196	2019	
172	1595186	D5092	Generator	50 kW	Bourne / Fire Station #1 - Buzzards Bay	Site	Generac	COS 4GSNO56AO	No tag/plate found	2014	
173	1580518	D5092	Generator	60 kW	Bourne / Town Hall	Site	Katolight	N60 GP04	647595-83065-0902	2005	
174	1642339	D5092	Generator	200 KW	Bourne / DPW Facility	Site	Kohler	No tag/plate found	No tag/plate found	2015	
175	1541877	D5092	Generator	20 kW	Bourne / Fire Station #4 - Pocasset	Site	Onan	20GGMA-6110B	B110190682	2011	
176	1603330	D5092	Generator	35 kW	Sewer / Sewer Pump Station-B. Bay	Main floor	Generac	SG0035GG035.4V18HPYYC	3004539196	2019	
177	1595215	D5092	Generator	52 kW	Bourne / Police Station - 175 Main St	Site	Kohler	50REZGB	3023134	2011	
178	1589775	D5092	Generator	185 kw	Bourne / Community Center	Site	No tag/plate found	No tag/plate found	No tag/plate found	2002	
179	1537440	D5092	Generator	135 kW	BPS / BPS - School Wastewater Plant	Generator room	Generac	99A05099-S	2050385	2000	
180	1531417	D5092	Generator	210 kW	BPS / BPS - Bourne Middle School	Site	Caterpillar	G3406	No tag/plate found	2000	
181	1580504	D5092	Uninterruptible Power Supply (UPS)	150 kVA	Bourne / Town Hall	Electrical room	GE	LP Series	21010-4014-B601B	2010	

E10 EQUIPMENT

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1580652	E1016	Commercial Laundry		Bourne / Fire Station #3 - Sagamore	Decon Restroom	Continental	No tag/plate found	No tag/plate found			
2	1649402	E1027	Sink		Bourne / Monument Beach Field - Concession Bldg	Ground floor						
3	1531490	E1027	Sink		BPS / BPS - Bourne Middle School	Classrooms				2000		52
4	1580642	E1028	Defibrillator (AED)		Bourne / Fire Station #3 - Sagamore	Throughout Building						2
5	1537608	E1028	Defibrillator (AED)		BPS / BPS - Bourne High School	Corridor by Gym	Cardiac Science	No tag/plate found	No tag/plate found			
6	1537526	E1028	Defibrillator (AED)		BPS / BPS - Bourne High School	Corridor by auditorium	Cardiac Science	No tag/plate found	No tag/plate found			
7	1531425	E1028	Defibrillator (AED)		BPS / BPS - Bourne Middle School	Front office	Cardiac Science	No tag/plate found	No tag/plate found			
8	1531438	E1028	Defibrillator (AED)		BPS / BPS - Bourne Middle School	Gymnasium	Cardiac Science	No tag/plate found	No tag/plate found			
9	1580760	E1031	Garage Door Opener		Bourne / Clark Field - Storage Bldg	Building Exterior						
10	1577574	E1093	Commercial 3 - 6 LF	3 - 6 LF	BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
11	1577587	E1093	Commercial 8 - 10 LF	8 - 10 LF	BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
12	1577571	E1093	Commercial 8 - 10 LF	8 - 10 LF	BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
13	1577633	E1093	Commercial Broiler		BPS / BPS - Bourne High School	Kitchen	Blodgett	No tag/plate found	No tag/plate found			
14	1661986	E1093	Commercial Convection Oven, Double		BPS / BPS - Bournedale Elementary	Kitchen	Southbend	GB/25SC	08F69787	2009		
15	1562791	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne Middle School	Kitchen	Blodgett	No tag/plate found	No tag/plate found			2
16	1577597	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne High School	Kitchen	Southbend	BGS/23SC	17D63679			
17	1662246	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne Intermediate School	Kitchen	Southbend	KLGS/27SC	18J96754	2019		
18	1662008	E1093	Commercial Convection Oven, Double		BPS / BPS - Bournedale Elementary	Kitchen	Southbend	GB/25SC	08F69789	2009		
19	1662213	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne Intermediate School	Kitchen	Southbend	KLGS/27SC	18J96755	2019		
20	1662281	E1093	Commercial Dishwasher		BPS / BPS - Bourne Intermediate School	Kitchen	Champion	44PRO	RP18091664	2019		
21	1562753	E1093	Commercial Dishwasher		BPS / BPS - Bourne Middle School	Kitchen	Hobart	CRS66A	85-1021126			
22	1577611	E1093	Commercial Dishwasher		BPS / BPS - Bourne High School	Kitchen	Jackson	CREW 44	12H275556			
23	1662290	E1093	Commercial Dishwasher		BPS / BPS - Bourne Intermediate School	Kitchen	Champion	UH230B	W180174431	2019		
24	1661957	E1093	Commercial Dishwasher		BPS / BPS - Bournedale Elementary	Kitchen	Insinger	ADMIRAL 66-4	080246	2009		
25	1662253	E1093	Commercial Exhaust Hood, 15 LF	15 LF	BPS / BPS - Bourne Intermediate School	Kitchen				2019		
26	1662097	E1093	Commercial Food Processor		BPS / BPS - Bournedale Elementary	Kitchen	Hobart	84145	56-1298-796			
27	1577645	E1093	Commercial Food Warmer		BPS / BPS - Bourne High School	Kitchen	Hatco	GRSDS-41D	6548760925			
28	1662293	E1093	Commercial Food Warmer		BPS / BPS - Bourne Intermediate School	Kitchen	Metro	No tag/plate found	No tag/plate found	2019		
29	1562779	E1093	Commercial Food Warmer		BPS / BPS - Bourne Middle School	Kitchen	Servolift	501-4	09/00-995751			
30	1661954	E1093	Commercial Food Warmer		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TR1HRT-1S-QS	5097138	2009		
31	1662198	E1093	Commercial Food Warmer		BPS / BPS - Bourne Intermediate School	Kitchen	Metro	No tag/plate found	No tag/plate found	2019		
32	1662033	E1093	Commercial Food Warmer		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TR1HRT-1S-QS	5097137	2009		
33	1562752	E1093	Commercial Food Warmer		BPS / BPS - Bourne Middle School	Kitchen	Servolift	501-4	09/00-995751			
34	1562765	E1093	Commercial Food Warmer		BPS / BPS - Bourne Middle School	Kitchen	Servolift	501-4	09/00-995751			
35	1662189	E1093	Commercial Garbage Disposal, 1 to 3 HP		BPS / BPS - Bourne Intermediate School	Kitchen	Salvajor	No tag/plate found	No tag/plate found	2019		
36	1662233	E1093	Commercial Garbage Disposal, 1 to 3 HP		BPS / BPS - Bourne Intermediate School	Kitchen	Salvajor	No tag/plate found	No tag/plate found	2019		
37	1562768	E1093	Commercial Griddle		BPS / BPS - Bourne Middle School	Kitchen	Garland	No tag/plate found	No tag/plate found			
38	1577655	E1093	Commercial Heat Lamps/Food Warming Fixture		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
39	1577650	E1093	Commercial Heat Lamps/Food Warming Fixture		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
40	1662075	E1093	Commercial LF	LF	BPS / BPS - Bournedale Elementary	Kitchen				2009		20
41	1662043	E1093	Commercial Mixer, Freestanding		BPS / BPS - Bournedale Elementary	Kitchen	Berkeley Company	60-2	6999910			
42	1577576	E1093	Commercial Range/Oven, 4-Burner		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found			
43	1662099	E1093	Commercial Range/Oven, 4-Burner		BPS / BPS - Bournedale Elementary	Kitchen	Southbend	No tag/plate found	No tag/plate found	2009		

44	1562784	E1093	Commercial Range/Oven, 4-Burner		BPS / BPS - Bourne Middle School	Kitchen	Garland	No tag/plate found	No tag/plate found	
45	1662161	E1093	Commercial Range/Oven, 6-Burner		BPS / BPS - Bourne Intermediate School	Kitchen	Garland	No tag/plate found	No tag/plate found	2019
46	1580548	E1093	Commercial Refrigerator, 1-Door Reach-In		Bourne / Community Center	Kitchen	True Manufacturing Co	T-49	770824	
47	1577606	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne High School	Kitchen	Continental	1RN	15991233	
48	1662035	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TR1RRT-1S-1S	5097139	2009
49	1662282	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne Intermediate School	Kitchen	Metro	C5R9-SB	Inaccessible	2019
50	1661983	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TMC-49-S-DS-SS	5053157	2009
51	1662037	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TR1RRT-1S-1S	5097140	2009
52	1562775	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne Middle School	Kitchen	Beverage-Air	VM-12	0821015-38732-Y	
53	1562781	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne Middle School	Kitchen	Beverage-Air	VM-12	0821021-38732-Y	
54	1662096	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bournedale Elementary	Kitchen	True Manufacturing Co	TMC-49-S-DS-SS	5053141	2009
55	1562763	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne Middle School	Kitchen	Beverage-Air	VM-12	081022-38732-Y	
56	1662243	E1093	Commercial Refrigerator, 1-Door Reach-In		BPS / BPS - Bourne Intermediate School	Kitchen	Metro	C5R9-SB	C5R000-617	2019
57	1577666	E1093	Commercial Refrigerator, 2-Door Reach-In		BPS / BPS - Bourne High School	Kitchen	True	T-49-HC	9581305	
58	1577618	E1093	Commercial Refrigerator, 2-Door Reach-In		BPS / BPS - Bourne High School	Kitchen	True	T-49	11833473	
59	1662229	E1093	Commercial Refrigerator, 2-Door Reach-In		BPS / BPS - Bourne Intermediate School	Kitchen	Beverage-Air Corporation	ST49N-S	12908067	2019
60	1577632	E1093	Commercial Salad Table		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
61	1562762	E1093	Commercial Salad Table		BPS / BPS - Bourne Middle School	Kitchen	Servolift	502-4R-CW	09/00-995751	
62	1577656	E1093	Commercial Salad Table		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
63	1577619	E1093	Commercial Salad Table		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
64	1562789	E1093	Commercial Salad Table		BPS / BPS - Bourne Middle School	Kitchen	Servolift	502-4R-CW	09/00-995751	
65	1662034	E1093	Commercial Slicer		BPS / BPS - Bournedale Elementary	Kitchen	Globe Food Equipment CO	3975P	3975107	
66	1662195	E1093	Commercial Steam Kettle		BPS / BPS - Bourne Intermediate School	Kitchen	Market Forge	MT10T10G	091818KP078L+	2019
67	1562788	E1093	Commercial Steam Kettle		BPS / BPS - Bourne Middle School	Kitchen	Cleveland	KGT-6-T	120723053924	
68	1662025	E1093	Commercial Steam Kettle		BPS / BPS - Bournedale Elementary	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	2009
69	1577663	E1093	Commercial Steam Kettle		BPS / BPS - Bourne High School	Kitchen				
70	1662201	E1093	Commercial Steamer, Freestanding		BPS / BPS - Bourne Intermediate School	Kitchen	Market Forge		No tag/plate found	2019
71	1662084	E1093	Commercial Steamer, Tabletop		BPS / BPS - Bournedale Elementary	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
72	1562769	E1093	Commercial Steamer, Tabletop		BPS / BPS - Bourne Middle School	Kitchen	Cleveland	22CGT6.1	1209230000078	
73	1577608	E1093	Commercial Steamer, Tabletop		BPS / BPS - Bourne High School	Kitchen	Cleveland	22CGT6.1	1209230000062	
74	1577652	E1093	Commercial Tilting Skillet		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
75	1562750	E1093	Commercial Tilting Skillet		BPS / BPS - Bourne Middle School	Kitchen	Market Forge		203730	
76	1662286	E1093	Commercial Tilting Skillet		BPS / BPS - Bourne Intermediate School	Kitchen	Market Forge		No tag/plate found	2019
77	1662062	E1093	Commercial Walk-In Freezer		BPS / BPS - Bournedale Elementary	Kitchen	ThermoKool		No tag/plate found	2009
78	1577668	E1093	Commercial Walk-In Freezer		BPS / BPS - Bourne High School	Kitchen	Heatcraft	LSF-140-2	WUG07595	
79	1562773	E1093	Commercial Walk-In Freezer		BPS / BPS - Bourne Middle School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
80	1662156	E1093	Commercial Walk-In Freezer		BPS / BPS - Bourne Intermediate School	Kitchen	American Panel	FW3477.11 THWNL	51123D1S1	2019
81	1662183	E1093	Commercial Walk-In Refrigerator		BPS / BPS - Bourne Intermediate School	Kitchen	American Panel	FW3477.11 THWNL	51123D2S1	2019
82	1562764	E1093	Commercial Walk-In Refrigerator		BPS / BPS - Bourne Middle School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
83	1577590	E1093	Commercial Walk-In Refrigerator		BPS / BPS - Bourne High School	Kitchen	No tag/plate found	No tag/plate found	No tag/plate found	
84	1662067	E1093	Commercial Walk-In Refrigerator		BPS / BPS - Bournedale Elementary	Kitchen	ThermoKool		No tag/plate found	2009
85	1661961	E1093	Commercial Walk-In Refrigerator/Freezer, Condenser		BPS / BPS - Bournedale Elementary	Roof	OmniTemp		No tag/plate found	
86	1662210	E1093	Commercial Walk-In Refrigerator/Freezer, Condenser		BPS / BPS - Bourne Intermediate School	Roof	Heatcraft	BZT025L6C	T18K04884	2019
87	1662262	E1093	Commercial Walk-In Refrigerator/Freezer, Condenser		BPS / BPS - Bourne Intermediate School	Roof	Heatcraft	BZT009M6C	T18K04855	2019
88	1662167	E1093	Commercial Walk-In Refrigerator/Freezer, Evaporator		BPS / BPS - Bourne Intermediate School	Kitchen	BOHN	DPAMH1183W	51123	2019
89	1661953	E1093	Commercial Walk-In Refrigerator/Freezer, Evaporator		BPS / BPS - Bournedale Elementary	Kitchen	OmniTemp		No tag/plate found	2009
90	1662305	E1093	Commercial Walk-In Refrigerator/Freezer, Evaporator		BPS / BPS - Bourne Intermediate School	Kitchen	BOHN	DPAMH1183W	51123	2019
91	1661968	E1093	Commercial Walk-In Refrigerator/Freezer, Evaporator		BPS / BPS - Bournedale Elementary	Kitchen	Climate Control		No tag/plate found	2009
92	1562790	E1093	Commercial Salad Table		BPS / BPS - Bourne Middle School	Kitchen	Inaccessible	Inaccessible	Inaccessible	
93	1562751	E1093	Commercial 8 - 10 LF		BPS / BPS - Bourne Middle School	Kitchen	Avtec	AXBD	55717A	
94	1562783	E1093	Commercial 8 - 10 LF		BPS / BPS - Bourne Middle School	Kitchen	Avtec	AX80	55717A	
95	1562780	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne Middle School	Kitchen	Blodgett		No tag/plate found	
96	1577661	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne High School	Kitchen	Blodgett		No tag/plate found	
97	1562777	E1093	Commercial Convection Oven, Double		BPS / BPS - Bourne Middle School	Kitchen	Blodgett		No tag/plate found	
98	1580580	E1093	Commercial Convection Oven, Single		Bourne / Community Center	Kitchen	Blodgett		No tag/plate found	2015
99	1580597	E1093	Commercial Dishwasher		Bourne / Community Center	Kitchen	Hobart	LXEH	231213684	2015
100	1541689	E1093	Commercial Exhaust Hood, 4 LF	4 LF	Bourne / Pocasset Field - Concession Bldg	1st floor concession area	No tag/plate found	No tag/plate found	No tag/plate found	4
101	1580558	E1093	Commercial Freezer, 1-Door Reach-In		Bourne / Community Center	Kitchen	Truee Manufacturing Co	T23F	7707903	2010
102	1580549	E1093	Commercial Range/Oven, 6-Burner w/ Griddle		Bourne / Community Center	Kitchen	Vulcan		No tag/plate found	2008
103	1580555	E1093	Commercial Refrigerator, 2-Door Reach-In		Bourne / Community Center	Kitchen	True Manufacturing Co	T-49	I-3308674	
104	1580951	E1094	Residential Range, Electric		Bourne / Fire Station #4 - Pocasset	Kitchen				
105	1580952	E1094	Residential Refrigerator, 14-18 CF		Bourne / Fire Station #4 - Pocasset	Kitchen				
106	1580680	E1094	Residential Clothes Dryer		Bourne / Fire Station #3 - Sagamore	3rd Floor Laundry Room				2005
107	1580694	E1094	Residential Clothes Washer		Bourne / Fire Station #3 - Sagamore	3rd Floor Laundry Room	Whirlpool	LSQ9030PQ5	CT0641182	
108	1580677	E1094	Residential Range, Gas		Bourne / Fire Station #3 - Sagamore	Kitchen 3rd Floor				
109	1580656	E1094	Residential Refrigerator, 14-18 CF		Bourne / Fire Station #3 - Sagamore	Kitchen 3rd Floor				2
110	1595250	E1094	Residential Clothes Dryer		Bourne / DNR - Marine Bldg - Taylors Point	Basement	Whirlpool	CEP2760KQ1	MP4601255	2016
111	1595257	E1094	Residential Clothes Washer		Bourne / DNR - Marine Bldg - Taylors Point	Basement	Whirlpool	CAE2743BQ0	C32840242	2015
112	1595169	E1094	Residential Range, Gas		Bourne / Fire Station #1 - Buzzards Bay	Kitchen	General Electric	JGB720SEJ1SS	VF219476P	
113	1595180	E1094	Residential Refrigerator, 14-18 CF	No tag/plate found	Bourne / Fire Station #1 - Buzzards Bay	Kitchen	Kenmore	51514100	SL2828529	
114	1562820	E1099	Bleacher		BPS / BPS - Bourne Middle School	Gymnasium				584
115	1577583	E1099	Bleacher	1 - 15 TIER	BPS / BPS - Bourne High School	Gymnasium				665

G40 OTHER

Index	ID	UFCode	Component	Capacity	Building	Location Detail	Manufacturer	Model	Serial	Dataplate Yr	Barcode	Qty
1	1662292	G4021	Site Pole Light	105 - 200 WATT	BPS / BPS - Bourne Intermediate School	Site				2019		38
2	1662021	G4021	Site Pole Light	105 - 200 WATT	BPS / BPS - Bournedale Elementary	Site				2009		24
3	1577605	G4021	Site Pole Light		BPS / BPS - Bourne High School	Site				2017		33
4	1580638	G4021	Site Pole Light		Bourne / Fire Station #3 - Sagamore	Site				2006		15
5	1531398	G4021	Site Pole Light		BPS / BPS - School Wastewater Plant	Site				2014		3
6	1562801	G4021	Site Pole Light		BPS / BPS - Bourne Middle School	Site				2014		24