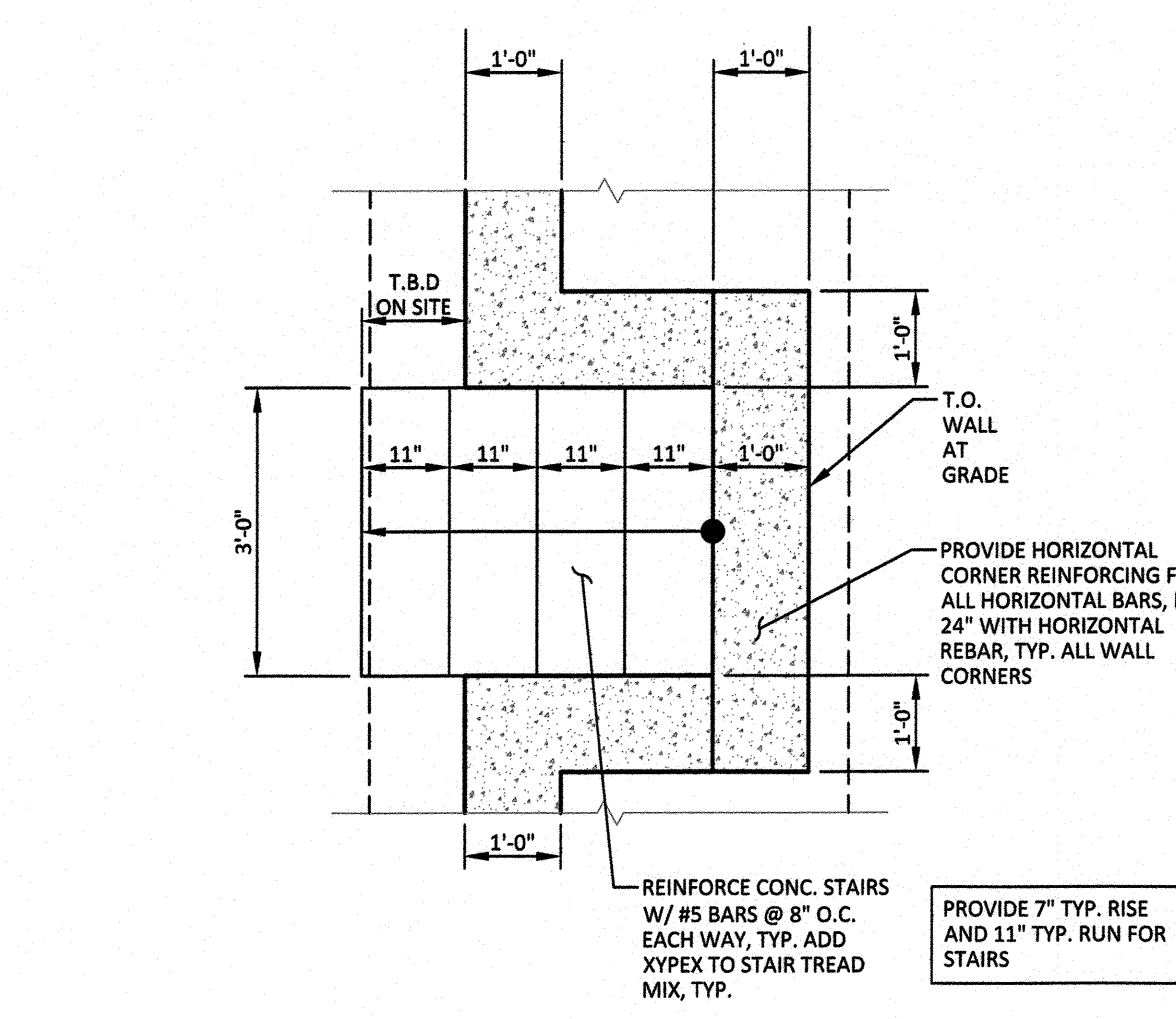


PROPOSED SEAWALL RECONSTRUCTION DETAIL
SCALE: 1/2"=1'



TYPICAL STAIR DETAILS (PLAN VIEW)
PROPOSED STAIRS RECONSTRUCTION DETAIL
SCALE: 1/2"=1'

- NOTES**
- HOUSE NUMBER: 43 MARYLAND AVENUE
 - ASSESSOR'S NUMBER: 30.1-10
 - ZONING DISTRICT: R-40
 - FLOOD HAZARD ZONE: VE (EL.18), AE (EL.15) & X
 - BENCHMARK: AS SHOWN
 - TOPOGRAPHIC INFORMATION BASED ON AN ON THE GROUND INSTRUMENT SURVEY.
 - ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988
 - REFERENCE: PLAN BOOK 24, PAGE 73
 - WIND EXPOSURE CATEGORY: C
 - LOT IS LOCATED IN LAND SUBJECT TO COASTAL STORM FROWAGE.
 - LOT IS LOCATED IN THE BOURNE BACK RIVER AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC)

- CONSTRUCTION METHODOLOGY:**
- SITE ACCESS SHALL BE FROM MARYLAND AVENUE.
 - ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE CONSTRUCTED, MAINTAINED AND INSTALLED IN ACCORDANCE WITH BOTH THE TOWN OF BOURNE AND THE MASSACHUSETTS GUIDELINES FOR EROSION AND SEDIMENTATION CONTROL.
 - ALL CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLAN.
 - ALL CONTROL MEASURES SHALL BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL THROUGHOUT THE ENTIRETY OF CONSTRUCTION.
 - ALL HEAVY EQUIPMENT AND CONSTRUCTION MATERIALS SHALL BE STORED IN AN UPLAND LOCATION ON THE LOT.
 - THE CONTRACTOR WILL THEN ESTABLISH A STABLE WORKING AREA AT THE TOP OF THE EXISTING SEAWALL.
 - THE EXISTING SEAWALL WILL BE MARKED AND CUT PRIOR TO DEMOLITION OF THE SEAWALL WALL.
 - ALL WORK SHALL BE PERFORMED IN MANAGEABLE SECTIONS.
 - THE CONTRACTOR SHALL REMOVE THE EXISTING WALL AND ALL DEBRIS WILL BE DISPOSED OF OFF SITE.
 - THE RECONSTRUCTED SEAWALL SHALL BE REBUILT IN ACCORDANCE WITH SECTION ABOVE.
 - NO CONSTRUCTION EQUIPMENT WILL BE ALLOWED ON THE BEACH WITHOUT RECEIVING PERMISSION AHEAD OF TIME FROM THE CONSERVATION AGENT.
 - UPON COMPLETION OF THE SEAWALL RECONSTRUCTION, ALL DISTURBED BEACH AREAS WILL BE RETURNED TO THEIR PRE-CONSTRUCTION CONDITION. ALL DUNE AREAS ADJACENT TO THE EXISTING SEAWALL SHALL BE REPLANTED AS WELL.

NOTICE
Unless and until such time as the original (red) stamp of the responsible Professional Engineer, or Professional Land Surveyor appears on this plan:
(A) no person or persons, including any municipal or other public officials, may rely upon the information contained herein; and
(B) this plan remains the property of Holmes & McGrath, Inc.

DATE	REVISION	DESCRIPTION	TMS	Checked
6/28/21	REVISE PROPOSED SEAWALL RECONSTRUCTION DETAILS			<i>[Signature]</i>

REVISIONS

PLAN
OF PROPOSED SEAWALL RECONSTRUCTION
PREPARED FOR
ROBERT & MARGARET DWIGHT
LOT 4, #43 MARYLAND AVENUE
IN
MONUMENT BEACH **BOURNE,** MA

SCALE: 1"=20' DATE: MAY 19, 2021

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DRAWN: PJR, TMS CHECKED: *[Signature]*
JOB NO: 220251 DWG. NO.: 89-2-70A SHEET 1 OF 1