

PLANS TO SITE PLAN REVIEW OF
PROPOSED GARAGE
 AT
119 CRANBERRY HIGHWAY
 IN
BOURNE, MASSACHUSETTS



0 50' 100'
 SCALE: 1" = 50'

DESIGNED AND PREPARED BY

.W.
ENGINEERING
LLC

27 JEFFERSON ST.
 TAUNTON, MA 02780
 508-821-8245

www.W-CIVIL.com

SEPTEMBER 22, 2023
 REVISED THROUGH JANUARY 22, 2024

NOTES:

1. THE PURPOSE OF THIS PLAN SET IS TO ACCOMPANY AN APPLICATION FOR SITE PLAN REVIEW -- SPECIAL PERMIT.
2. SITE PLAN -- SPECIAL PERMIT APPROVAL IS REQUIRED FOR CONSTRUCTION OF ANY COMMERCIAL STRUCTURE PER BOURNE ZONING BYLAW SECTION 1233.
3. THE FOLLOWING PLANS DEMONSTRATE COMPLIANCE WITH THE APPLICABLE STANDARDS SET FORTH IN THE TOWN OF BOURNE ZONING BYLAWS.

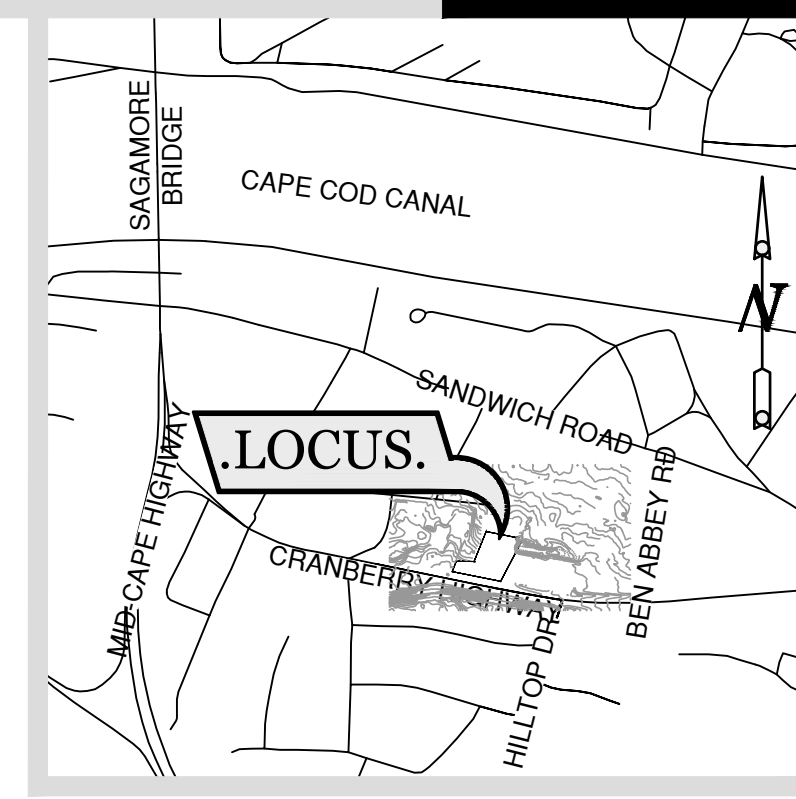
SCHEDULE OF DRAWINGS

SHEET ID	PLAN TITLE
-	COVER SHEET
1	EXISTING CONDITIONS
2	SITE PLAN
3	LANDSCAPE & LIGHTING PLAN
4	DETAILS
5	TRUCK TURNING PLAN

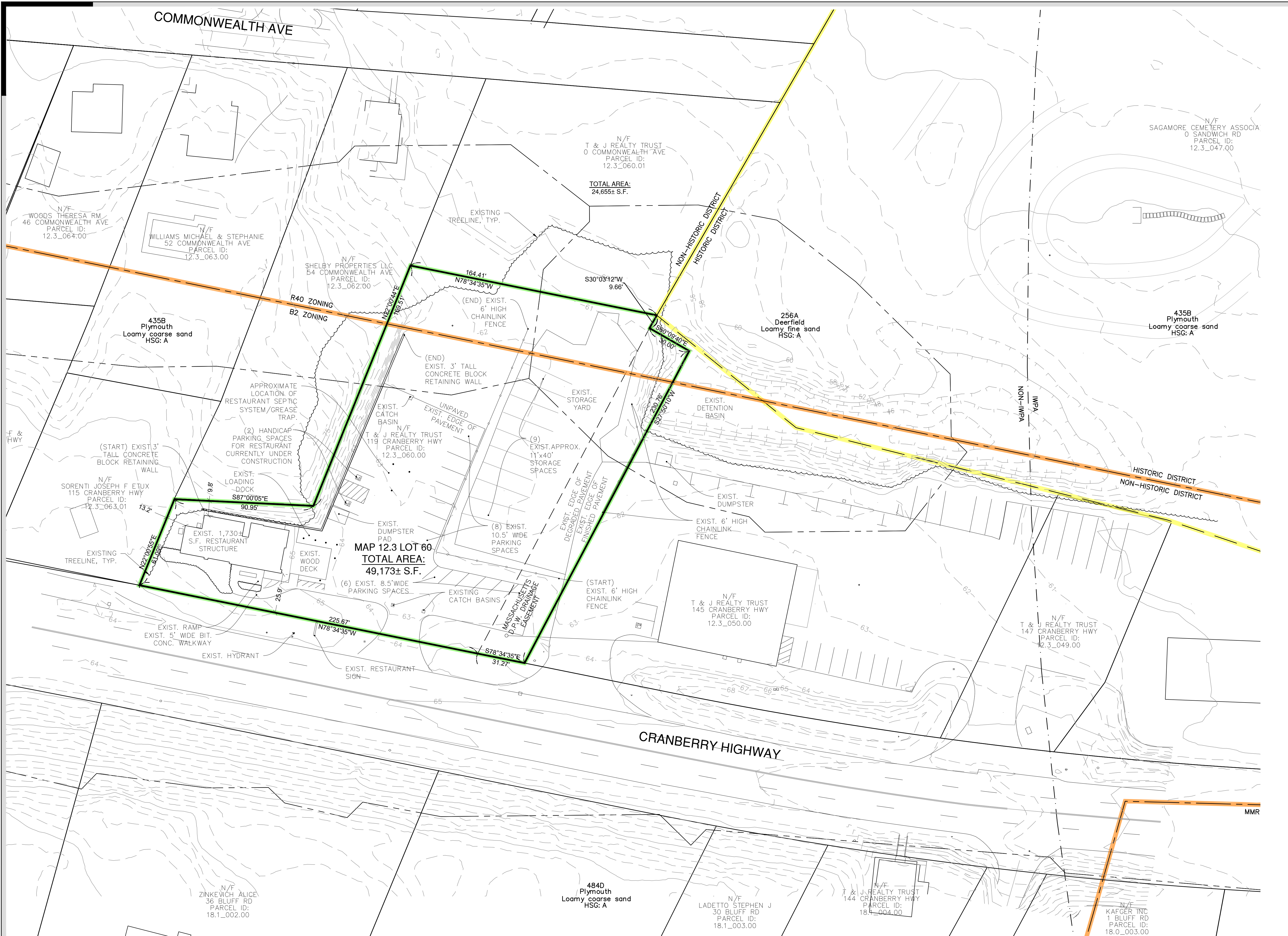
REQUESTED WAIVERS:

1. WAIVER FOR USE OF OVERHEAD WIRES (SECTION 1238. A.3.E)

COMMONWEALTH AVE



SITE LOCUS
1"=100'



MAP 12.3 LOT 60
TOTAL AREA:
49,173± S.F.

TOTAL AREA:
24,659± S.F.

SUBJECT PROPERTY INFORMATION:

1. THE SUBJECT PROPERTY IS SHOWN AS LOT 60 ON ASSESSOR'S MAP 12.3, OWNED BY T & J REALTY TRUST.
2. THE SUBJECT PROPERTY IS LOCATED IN ZONE X AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL 0318K EFFECTIVE DATE 7/6/2021.
3. REFER TO DEED BOOK 26534 PAGE 237
4. INFORMATION SHOWN IS APPROXIMATE AND COMPILED FROM AVAILABLE RESOURCES INCLUDING: IWPA ZONE FROM MASSGIS, OFF-SITE TOPOGRAPHY FROM LIDAR, SOILS FROM USDA WEB SOIL SURVEY.
5. ON-THE GROUND OBSERVATIONS WERE PERFORMED USING DRONE AERIAL PHOTOGRAPHY BY GM2.
6. PROPERTY LINE INFORMATION FROM GM2.
7. NO CHANGES TO THE RESTAURANT OR ASSOCIATED PARKING IS PROPOSED.

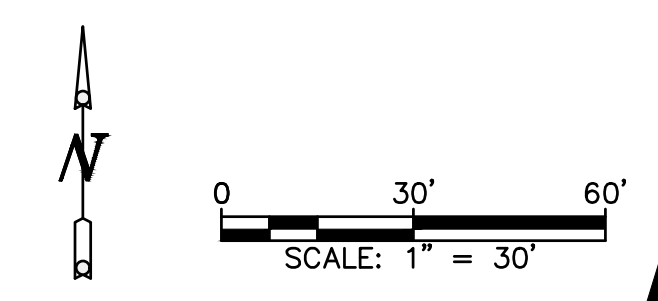
EXISTING PARKING SUMMARY:

REQUIRED:
(RESTAURANT) 10 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA
(1,230± S.F. GFA/1000)10= 12.3
13 SPACES REQUIRED

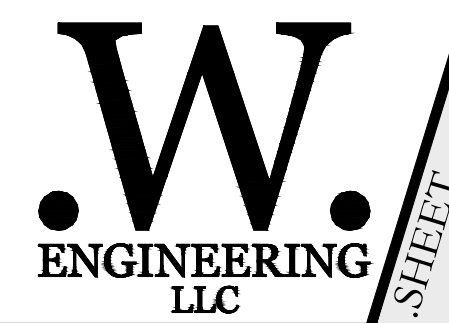
PROVIDED:
16 STRIPED SPACES PROVIDED (2 HANDICAP)

LEGEND:

	USDA SOIL TYPE
	SUBJECT PROPERTY
	APPROX. ZONING LINE
	HISTORIC PRESERVATION DISTRICT

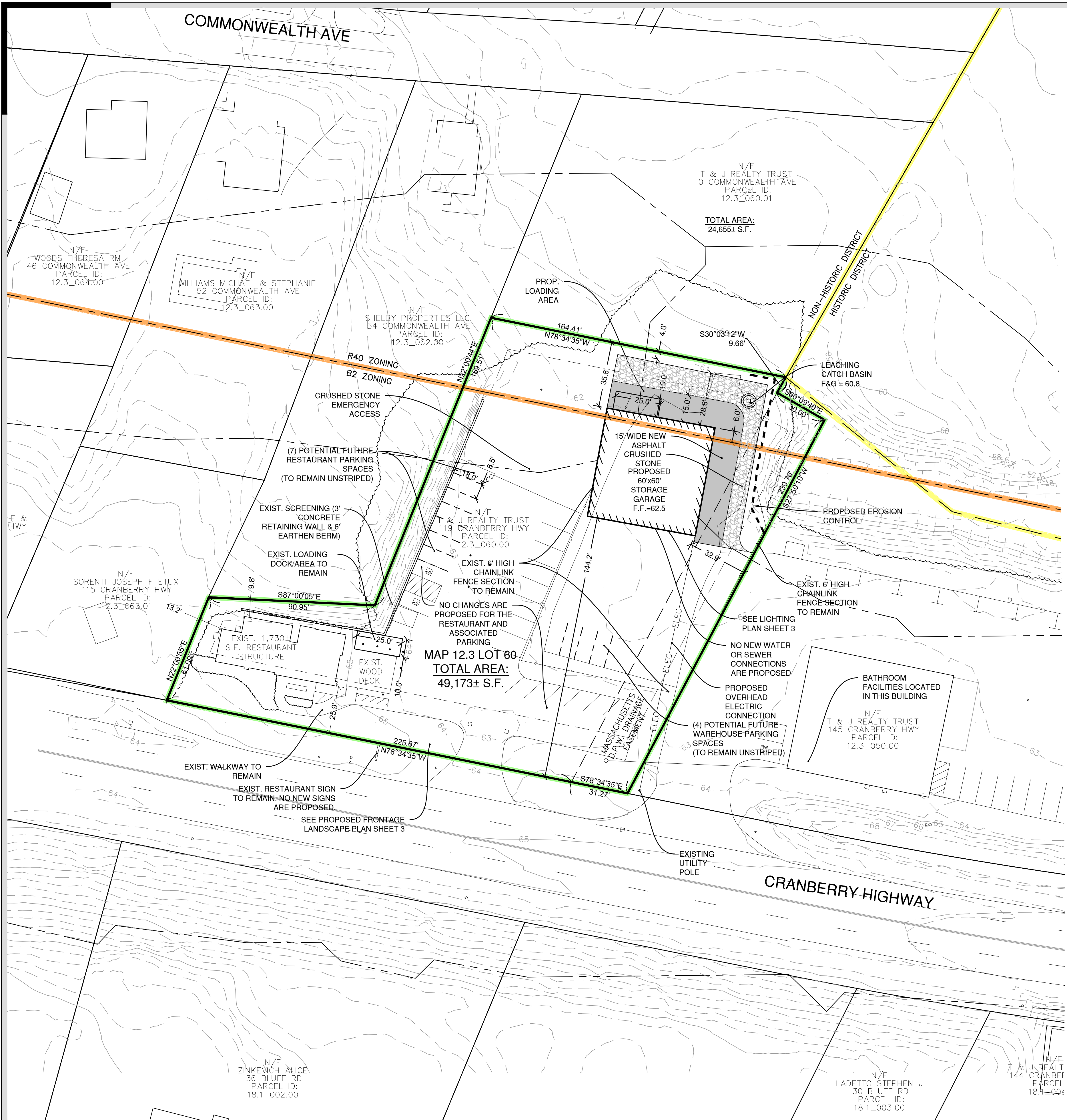


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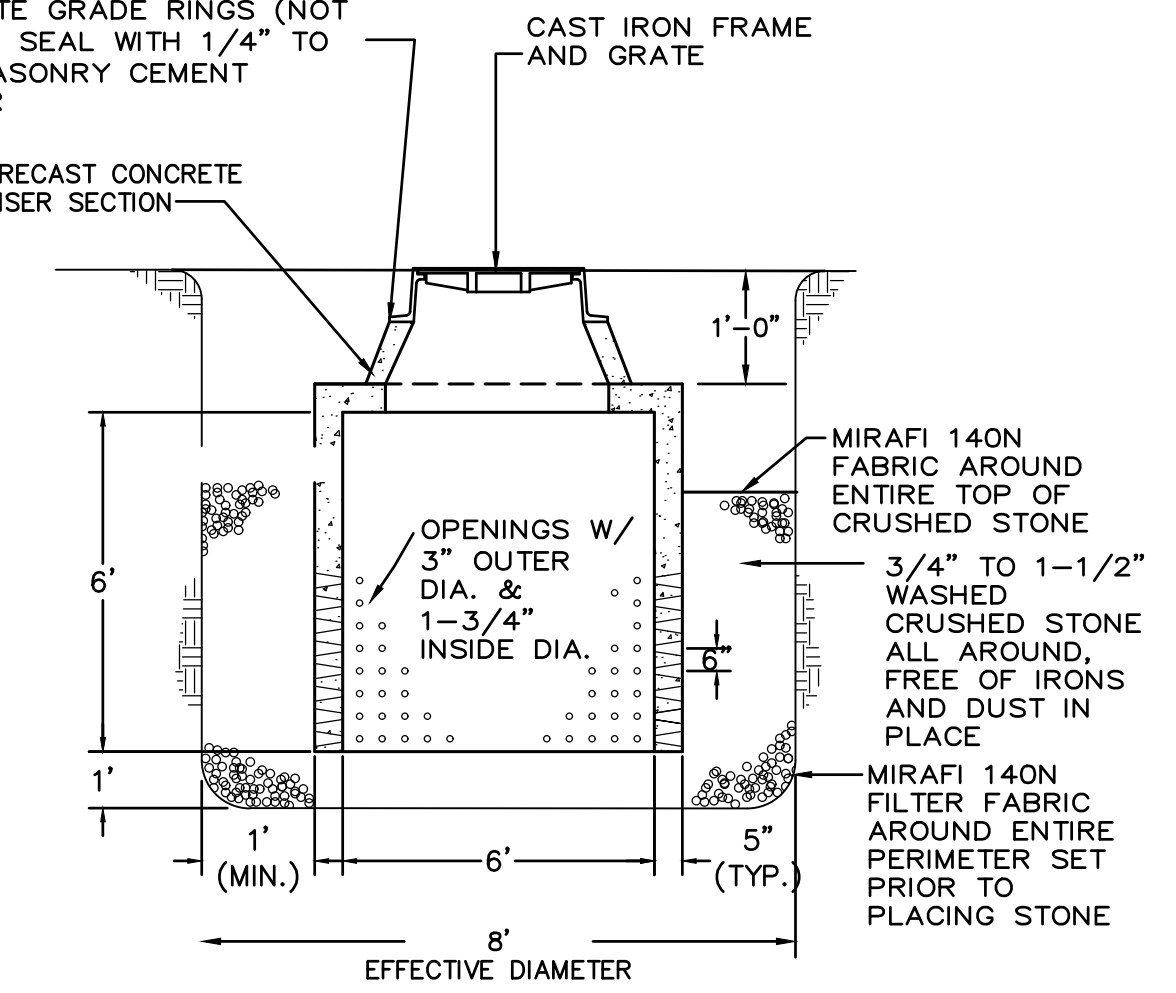
PROJECT:
119 CRANBERRY HIGHWAY
SAGAMORE, MA
PREPARED FOR:
CANAL FUEL
SHEET NAME:
EXISTING CONDITIONS
DATE: 9/22/2023 SCALE: AS SHOWN
REVISED: 1/22/2024
DRAWN BY: JAG

COMMONWEALTH AVE



MAP 12.3 LOT 60
TOTAL AREA:
49,173± S.F.

ADJUST TO GRADE WITH A MINIMUM OF TWO COURSES OF BRICK MASONRY OR REINFORCED CONCRETE GRADE RINGS (NOT SHOWN). SEAL WITH 1/4" TO 3/8" MASONRY CEMENT PLASTER



LEACHING CATCH BASIN
NOT TO SCALE

ZONING REQUIREMENTS

	B-2	R-40	EXISTING	PROPOSED
MIN. LOT AREA	20,000 S.F.	40,000 S.F.	49,173± FT	49,173± FT
MIN. LOT FRONTAGE	125 FT	125 FT	225.7± FT	225.7± FT
MIN. FRONT YARD	30 FT	30 FT	25.9 FT	25.9 FT
MIN. REAR & SIDE YARD	12 FT	15 FT	9.8 FT	9.8 FT*
MAX. LOT COVERAGE (STRUCTURE)	50%	20%	3.5%	10.8%
MAX. BUILDING HEIGHT	35 FT	35 FT	17± FT	30± FT
MIN. USABLE OPEN SPACE	20%	20%	38%	38%

*EXISTING NON-CONFORMING

ADDITIONAL ZONING NOTES:

2130: DIVIDED LOT. WHERE A DISTRICT BOUNDARY LINE DIVIDES ANY LOT EXISTING AT THE TIME SUCH LINE IS ADOPTED, THE REGULATIONS FOR ANY DISTRICT IN WHICH THE LOT HAS FRONTAGE ON A STREET MAY BE EXTENDED NOT MORE THAN 30 FEET INTO THE OTHER DISTRICT BY SPECIAL PERMIT OF THE PLANNING BOARD.

SITE PLAN REVIEW CHECKLIST NOTES:

1. LOCATION & BOUNDARIES SHOWN ON EXISTING CONDITIONS & PROPOSED SITE PLAN.
2. ADJACENT STREETS & WAYS SHOWN ON LOCUS, EXISTING CONDITIONS & PROPOSED SITE PLAN.
3. TOPOGRAPHY ON-SITE TOPOGRAPHY FROM DRONE AERIAL PHOTOGRAPHY SHOWN IN 1 FOOT CONTOURS BY GM2. OFF-SITE TOPOGRAPHY FROM LIDAR SHOWN IN 2 FOOT CONTOURS. NO SIGNIFICANT GRADING IS PROPOSED.
4. EXISTING & PROPOSED VEGETATION EXISTING VEGETATION DESCRIBED ON EXISTING CONDITIONS PLAN AND THE LANDSCAPE PLAN (DETAIL SHEET). NO VEGETATION REMOVAL OR PLANTING IS PROPOSED.
5. STRUCTURES EXISTING RESTAURANT STRUCTURE AND PROPOSED STORAGE GARAGE ARE SHOWN ON THE PROPOSED SITE PLAN.
6. DRIVES/ACCESS/EGRESS ACCESS TO PROPOSED GARAGE SHALL CONTINUE TO BE VIA THE EXISTING DRIVE AT 145 CRANBERRY HIGHWAY.
7. WALKWAYS THE EXISTING WALKWAY ASSOCIATED WITH THE RESTAURANT IS SHOWN ON THE EXISTING SITE PLAN. NO NEW WALKWAYS ARE PROPOSED.
8. PARKING EXISTING PARKING SUMMARY IS SHOWN ON THE EXISTING CONDITIONS PLAN. PROPOSED PARKING SUMMARY IS SHOWN BELOW ON THIS SHEET.
9. LOADING AREAS PROPOSED LOADING AREA SHOWN ON THE PROPOSED SITE PLAN. EXISTING RESTAURANT LOADING AREA SHOWN ON THE EXISTING CONDITIONS PLAN.
10. SCREENING THE PROPOSED BUILDING IS SET BACK 144.2'. WHILE NOT REQUIRED, EXTENSIVE PLANTINGS ARE PROPOSED ALONG THE FRONTAGE INCLUDING EVERGREEN SCREENING OF THE PROPOSED GARAGE. EXISTING PARKING AREA ASSOCIATED WITH RESTAURANT IS SCREENED BY 3' HIGH CONCRETE BLOCK WALL AND 6' HIGH EARTHEN BERM AS SHOWN ON THE EXISTING CONDITIONS PLAN. ABUTTING PROPERTY TO NORTH OF PROPOSED BUILDING IS UNDER COMMON OWNERSHIP.
11. WATER SUPPLY NO NEW WATER SUPPLY OR CONNECTION IS PROPOSED.
12. SANITARY SEWERAGE NO NEW SANITARY SEWERAGE CONNECTION IS PROPOSED. (BATHROOM FACILITIES ARE LOCATED AT 145 CRANBERRY HIGHWAY.)
13. STORM DRAINAGE NO NEW STORM DRAINAGE STRUCTURES ARE PROPOSED. NO INCREASE OF IMPERVIOUS AREA IS PROPOSED.
14. UTILITIES THE PROPOSED ELECTRIC CONNECTION IS SHOWN ON THE PROPOSED SITE PLAN. NO OTHER NEW UTILITY CONNECTIONS ARE PROPOSED.
15. WASTE CONTROL THE PROPOSED STORAGE GARAGE WILL NOT GENERATE SUBSTANTIAL WASTE. EXISTING WASTE MANAGEMENT LOCATED AT 145 CRANBERRY HIGHWAY WILL BE UTILIZED.
16. EROSION CONTROL PROPOSED EROSION CONTROL IS SHOWN ON THE PROPOSED SITE PLAN.
17. SIGNS NO NEW SIGNS ARE PROPOSED. THE EXISTING RESTAURANT SIGN LOCATION IS SHOWN ON THE EXISTING CONDITIONS PLAN.
18. LIGHTING PLAN NO NEW EXTERIOR LIGHTING IS PROPOSED. SEE LIGHTING PLAN AND NOTES ON THE DETAIL SHEET.
19. LANDSCAPE PLAN NO VEGETATION REMOVAL IS PROPOSED. SEE FRONTAGE LANDSCAPE PLAN ON SHEET 3.
20. FLOOR PLANS THE PROPOSED STORAGE GARAGE WILL BE OPEN. CONCEPTUAL FLOOR PLANS ARE SHOWN ON THE DETAIL SHEET.
21. ARCHITECTURAL ELEVATIONS CONCEPTUAL ELEVATIONS ARE SHOWN ON THE DETAIL SHEET.

PROPOSED PARKING SUMMARY:

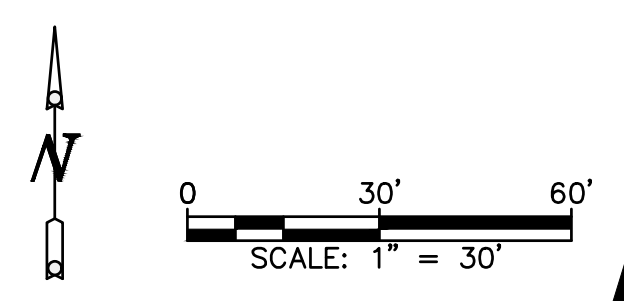
REQUIRED:
(EXISTING RESTAURANT) 10 SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA (1,230± S.F. GF/1000) x 10 = 12.3 SPACES

(PROPOSED WAREHOUSE, NO EMPLOYEES, NO OFFICE, NO PRODUCTION AREA)
1 SPACE PER 1,000 S.F. OF STORAGE AREA (3600 S.F./1000) = 3.6 SPACES
16 SPACES PROVIDED

PROVIDED:
16 EXISTING RESTAURANT PARKING SPACES PROVIDED (2 HANDICAP)
7 POTENTIAL FUTURE RESTAURANT SPACES (UNSTRIPED)
4 POTENTIAL FUTURE WAREHOUSE SPACES (UNSTRIPED)

LEGEND:

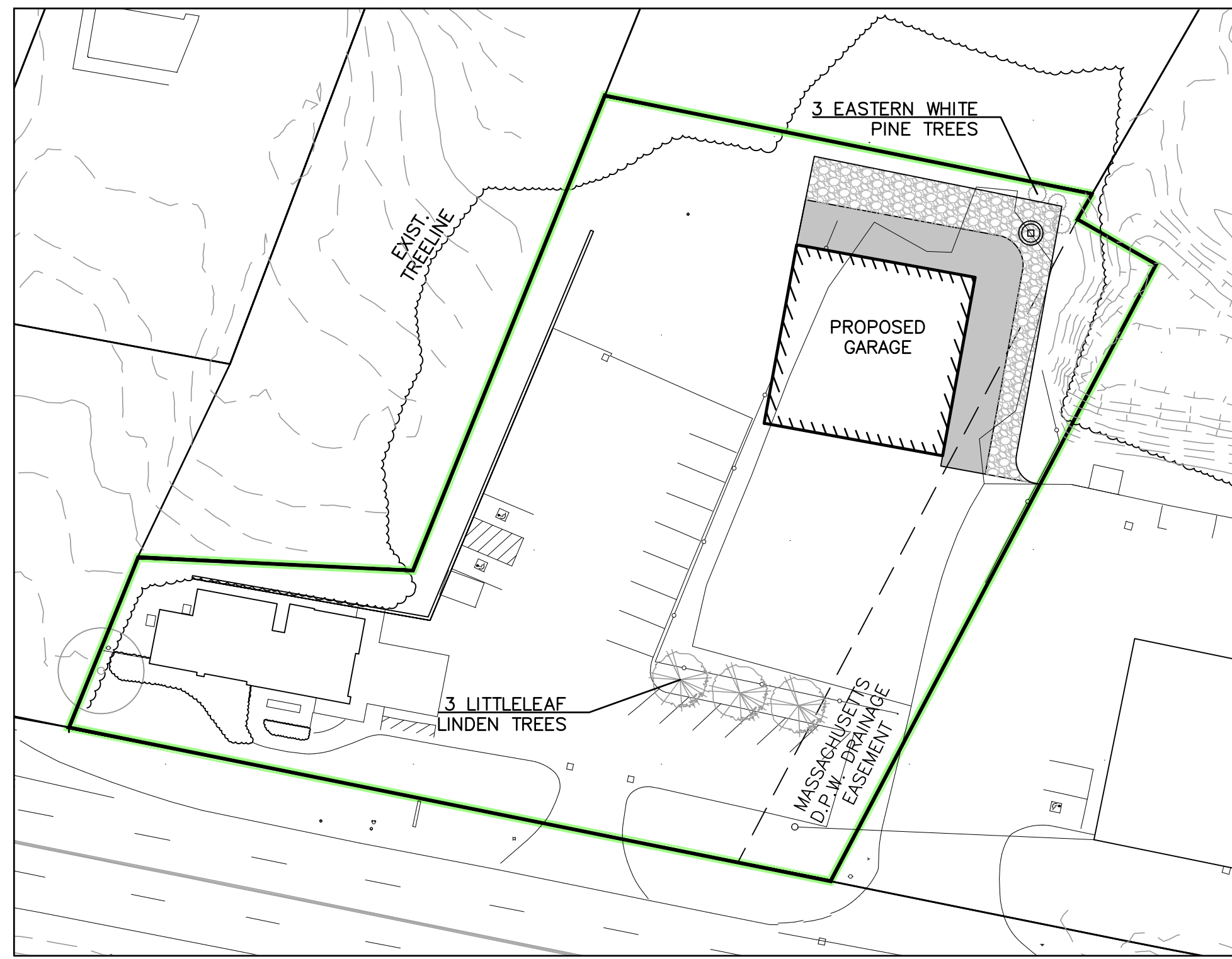
- SUBJECT PROPERTY
- APPROX. ZONING LINE
- HISTORIC PRESERVATION DISTRICT



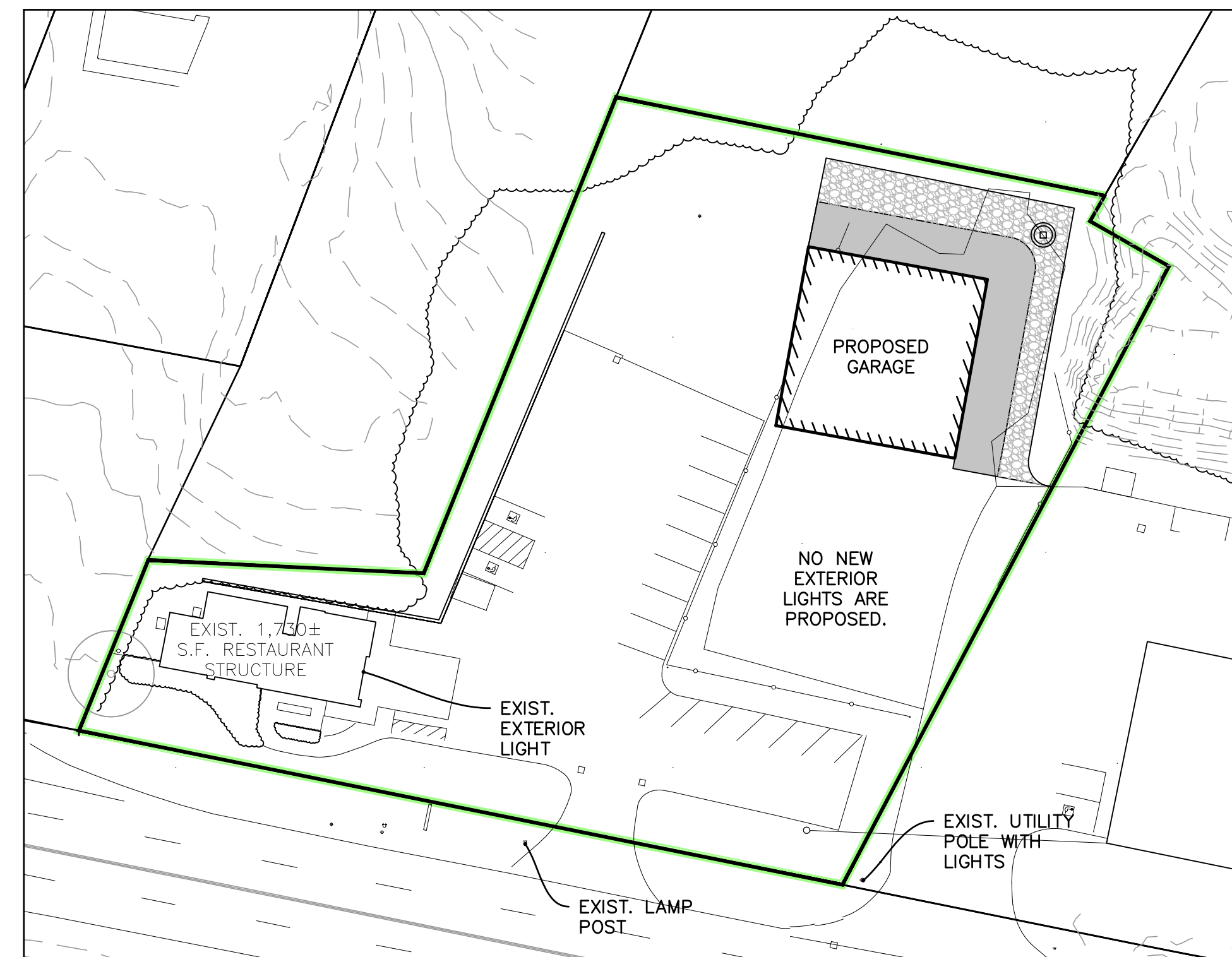
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PROJECT:
119 CRANBERRY HIGHWAY
SAGAMORE, MA
PREPARED FOR:
CANAL FUEL
SHEET NAME:
PROPOSED SITE PLAN
DATE: 9/22/2022 SCALE: AS SHOWN
REVISED: 1/22/2024
DRAWN BY: JAG



OVERALL LANDSCAPE PLAN*
SCALE: 1"=40'



LIGHTING PLAN
SCALE: 1"=40'

LIGHTING NOTES:

NO NEW EXTERIOR LIGHTING IS CURRENTLY PROPOSED. ALL FUTURE LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS:

- A. PROPOSED GARAGE SHALL USE FULL CUTOFF LIGHT FIXTURES FOR EXTERIOR LIGHTING IN WHICH NO MORE THAN 2.5% OF THE TOTAL OUTPUT IS EMITTED AT 90 DEGREES FROM THE VERTICAL POLE OR BUILDING WALL ON WHICH IT IS MOUNTED.
- B. FLOOD, AREA AND UP-LIGHTING IS NOT ALLOWED.
- C. REFLECTORS AND SHIELDING SHALL BE PROVIDED TO MINIMIZE ALL LIGHT AT THE PROPERTY LINES.

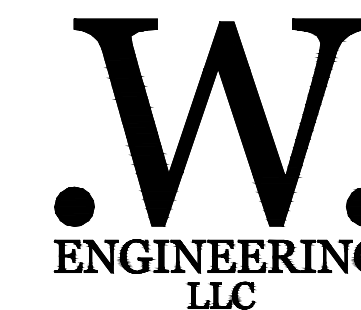
PLANTING SCHEDULE				
COMMON NAME	LATIN NAME	MIN. SIZE	KEY	QTY.
TREES				
EASTERN WHITE PINE	PINUS STROBUS	4' HT.	PS	3
LITTLELEAF LINDEN	TILIA CORDATA	2" CAL.	TC	3

*IT IS IMPORTANT TO NOTE THAT THE PROPOSED WAREHOUSE WILL NOT RESULT IN A REQUIRED PARKING INCREASE OF SIX OR MORE SPACES. THEREFORE, THE LANDSCAPING AND SCREENING REQUIREMENTS SET FORTH IN 3500 ARE NOT APPLICABLE.



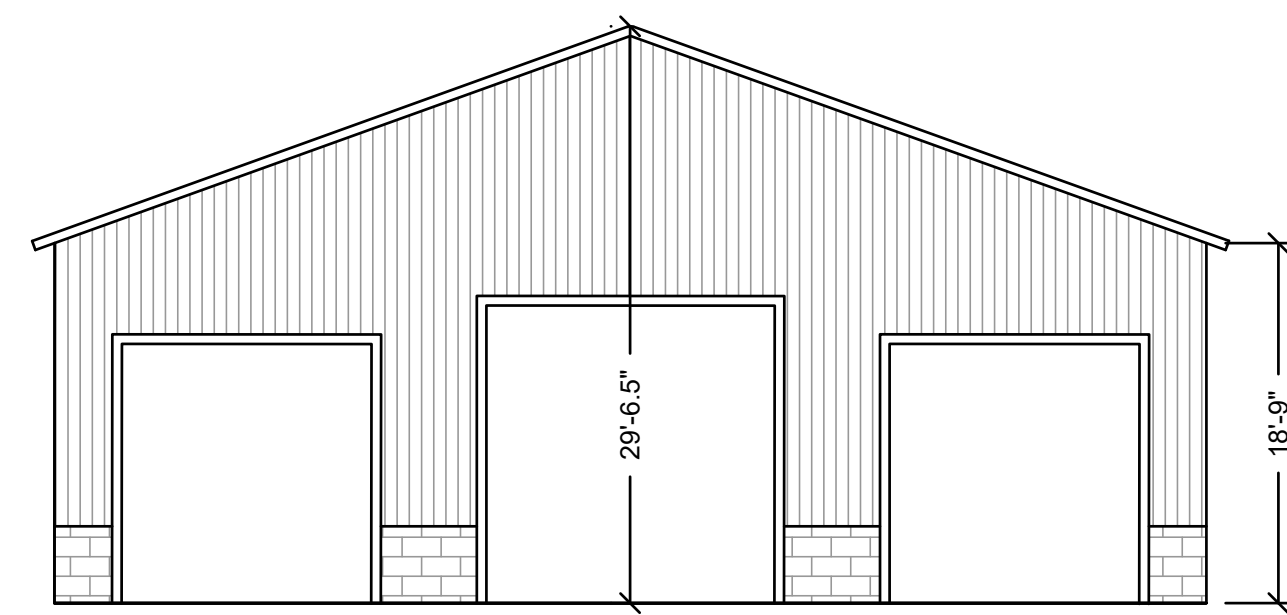
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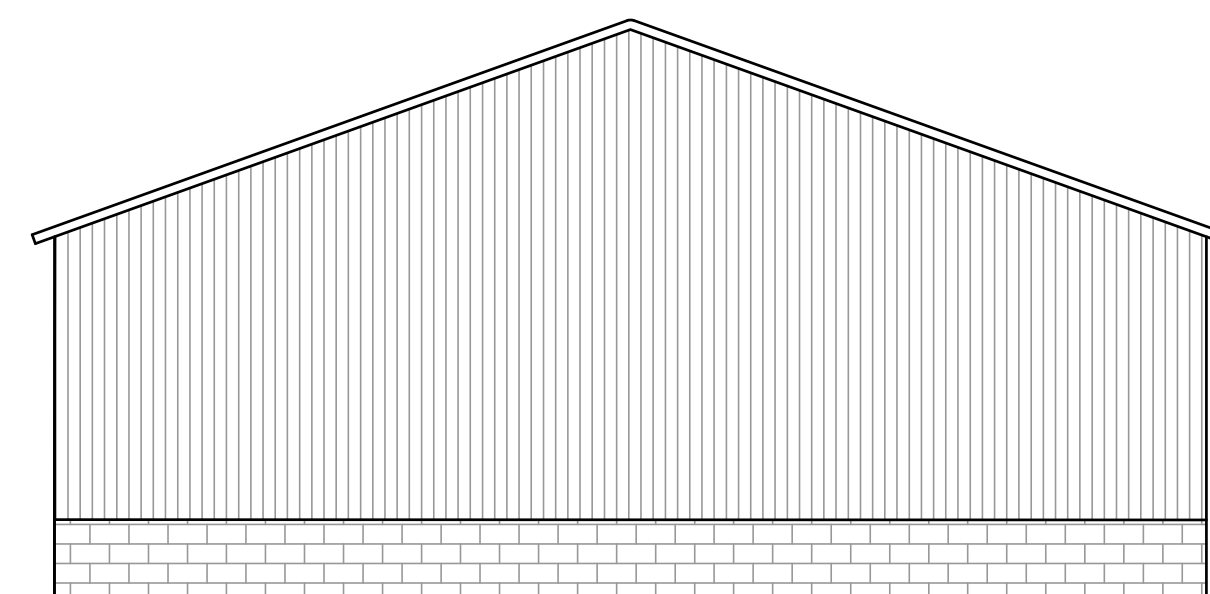


PROJECT:
119 CRANBERRY HIGHWAY
SAGAMORE, MA
PREPARED FOR:
CANAL FUEL
SHEET NAME:
LANDSCAPE & LIGHTING
DATE: 9/22/2022 SCALE: AS SHOWN
REVISED: 1/22/2024
DRAWN BY: JAG

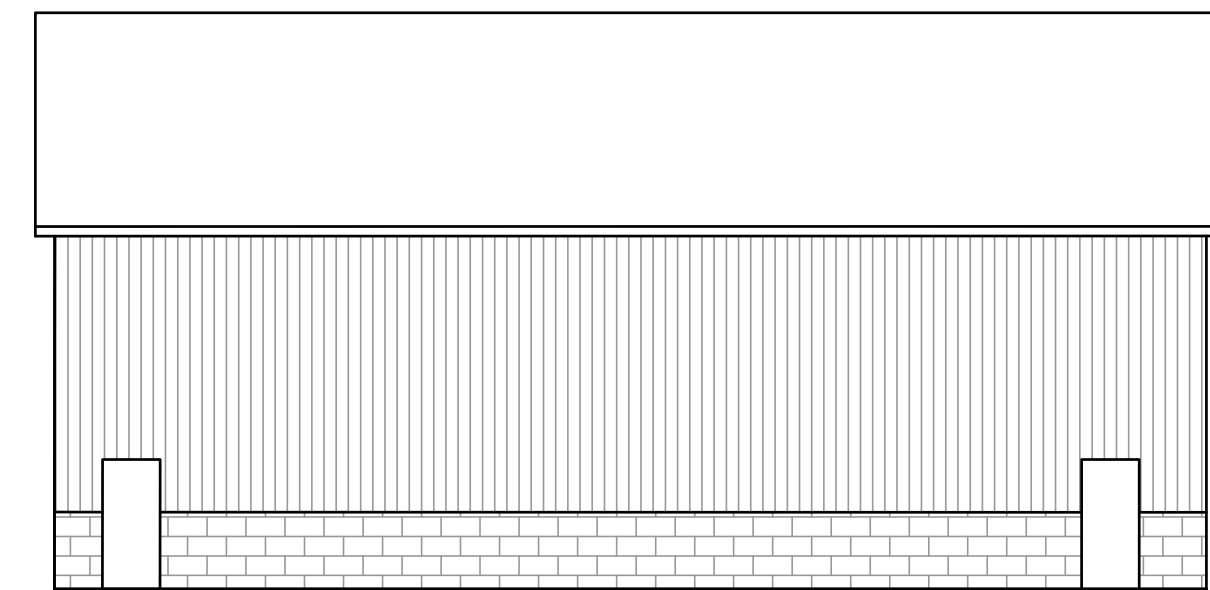
SHEET NO.
3 OF 5



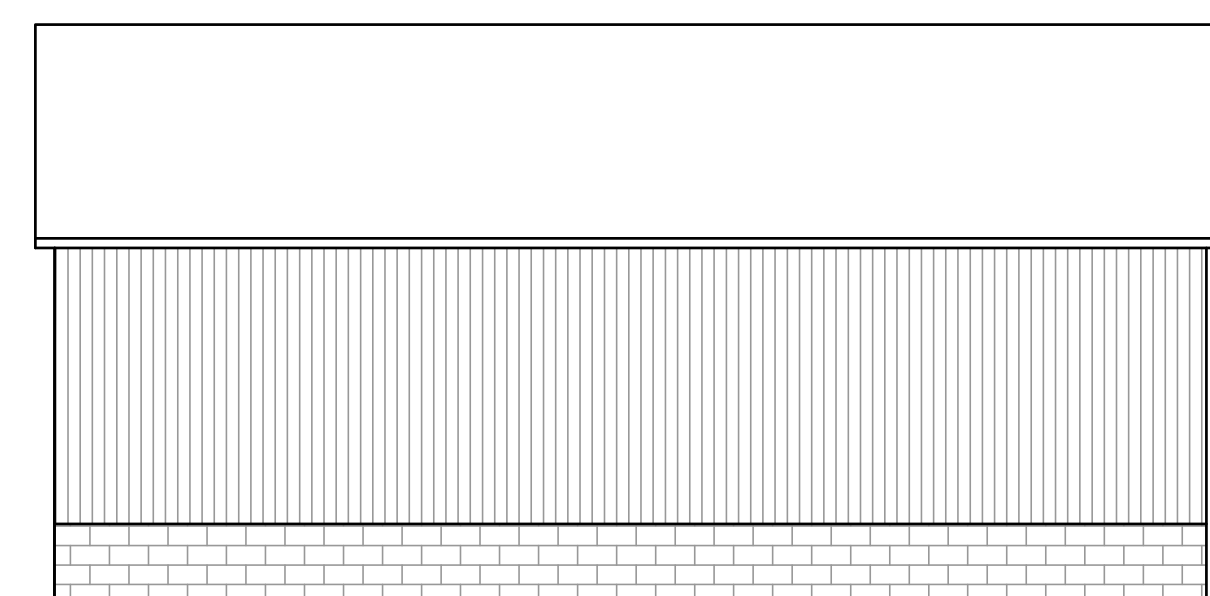
CONCEPTUAL SOUTH ELEVATION
NOT TO SCALE



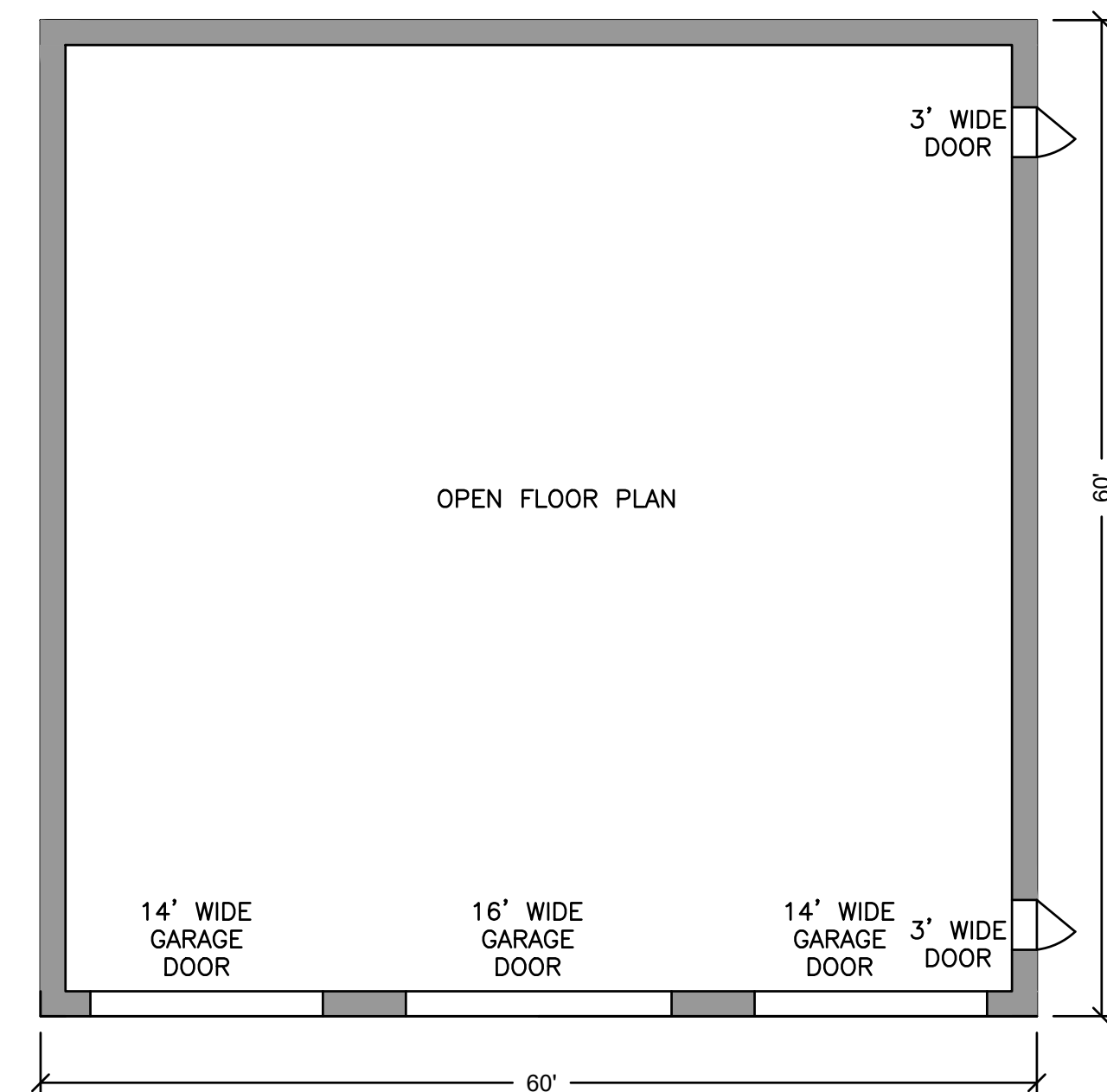
CONCEPTUAL NORTH ELEVATION
NOT TO SCALE



CONCEPTUAL EAST ELEVATION
NOT TO SCALE



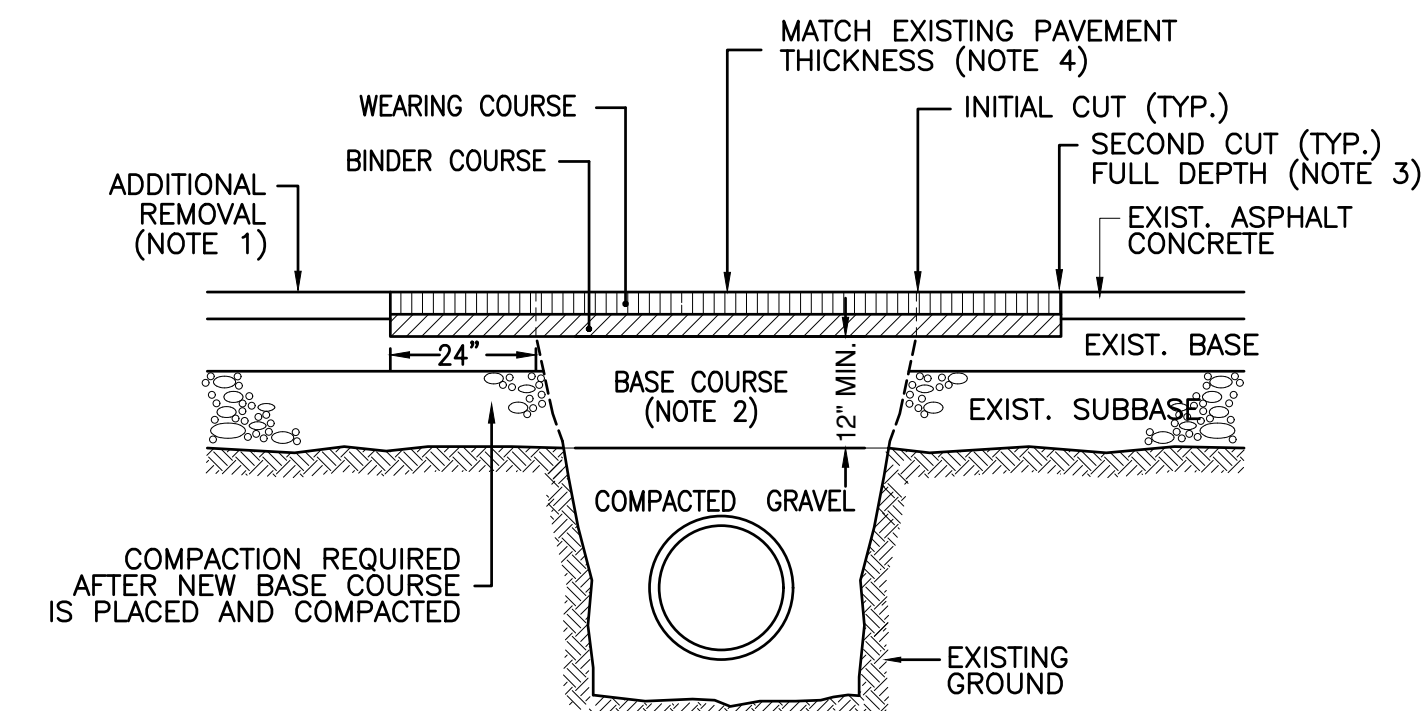
CONCEPTUAL WEST ELEVATION
NOT TO SCALE



CONCEPTUAL FLOOR PLAN
NOT TO SCALE

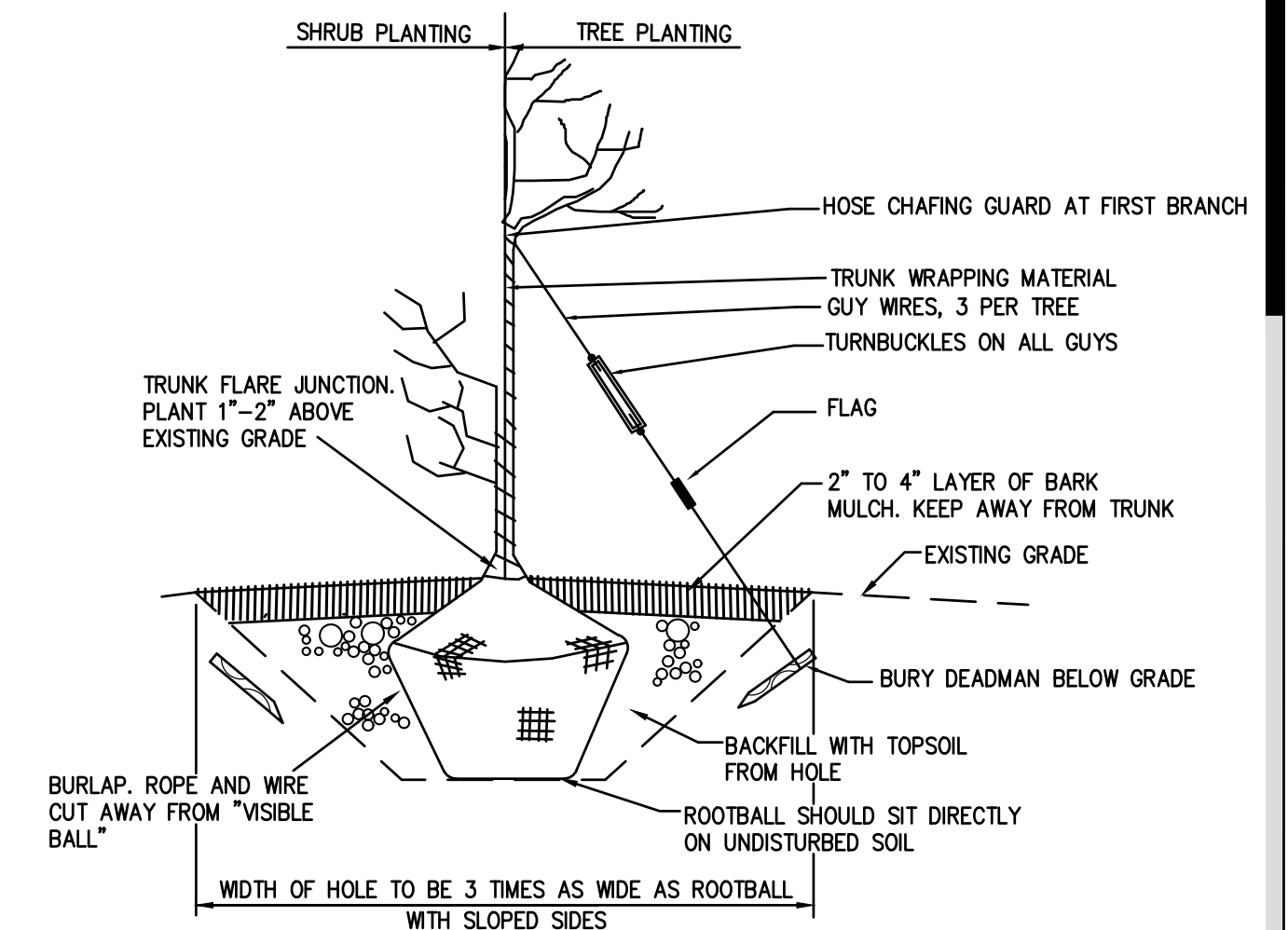
NOTES:

1. BUILDING BY MORTON BUILDINGS, INC. STYLE 306, 60'x18'x60'.
2. SEE ARCHITECTURAL PLANS/SPECIFICATIONS.
3. AT LEAST ONE KNOCK BOX TO BE PROVIDED FOR EMERGENCY ACCESS.

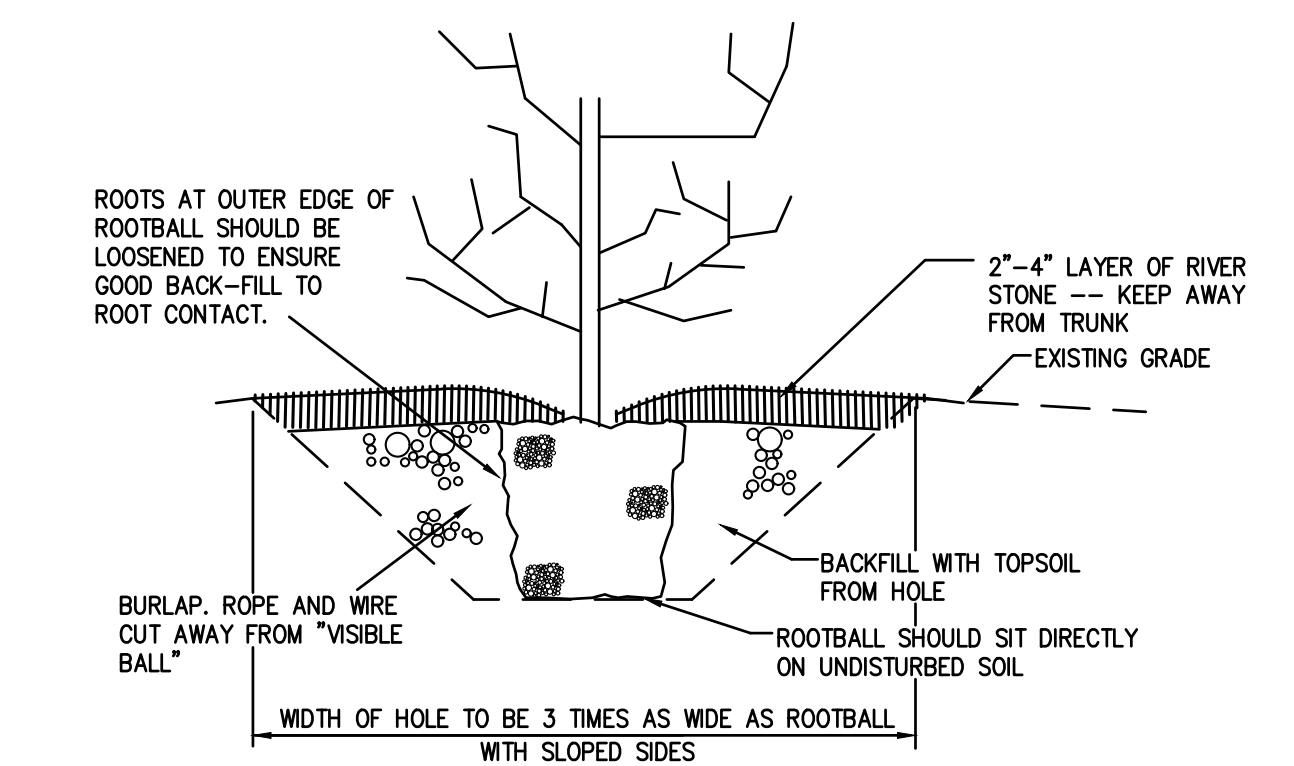


- NOTES:
1. ADDITIONAL PAVEMENT REMOVAL - REMOVE ADDITIONAL PAVEMENT TO A PAINTED LANE STRIPE, A LIP OF GUTTER, A CURB, AN EXISTING PAVEMENT PATCH, OR AN EDGE OF THE PAVEMENT IF SUCH STREET FEATURE IS WITHIN 2' OF THE SECOND SAW CUT.
 2. NEW BASE COURSE - PROVIDE BASE COURSE MATERIAL IN LIFTS NOT EXCEEDING 6" AFTER COMPACTION. COMPACT TO A MODIFIED PROCTOR DENSITY OF 95% OR GREATER.
 3. TACK COAT - PROVIDE FULL TACK COAT COVERAGE ON ALL VERTICAL SURFACES.
 4. NEW ASPHALT PAVEMENT - THICKNESS SHALL EITHER BE EQUIVALENT TO EXISTING CONDITION OR MEET DETAIL RS.01, WHICHEVER IS GREATER. COMPACT THE NEW PAVEMENT TO 96% OF LABORATORY DENSITY OR 94% OF MAXIMUM THEORETICAL DENSITY. INSTALL ASPHALT IN 2" LIFTS, MAXIMUM.

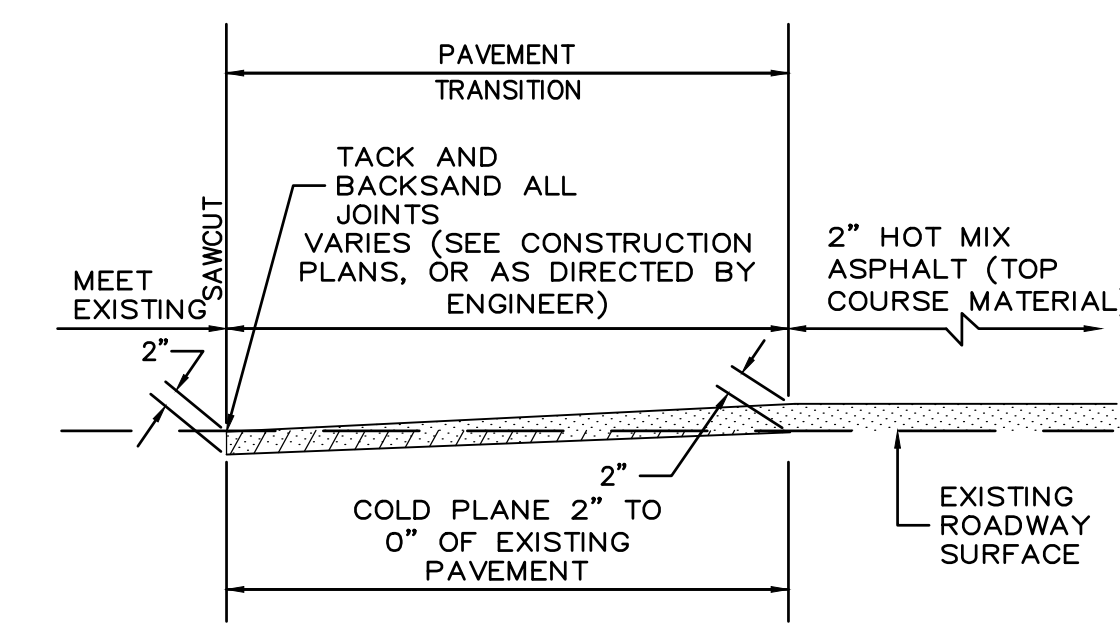
SHALLOW EXCAVATION IN ASPHALT PAVEMENT
(42" DEPTH OR LESS)
NOT TO SCALE



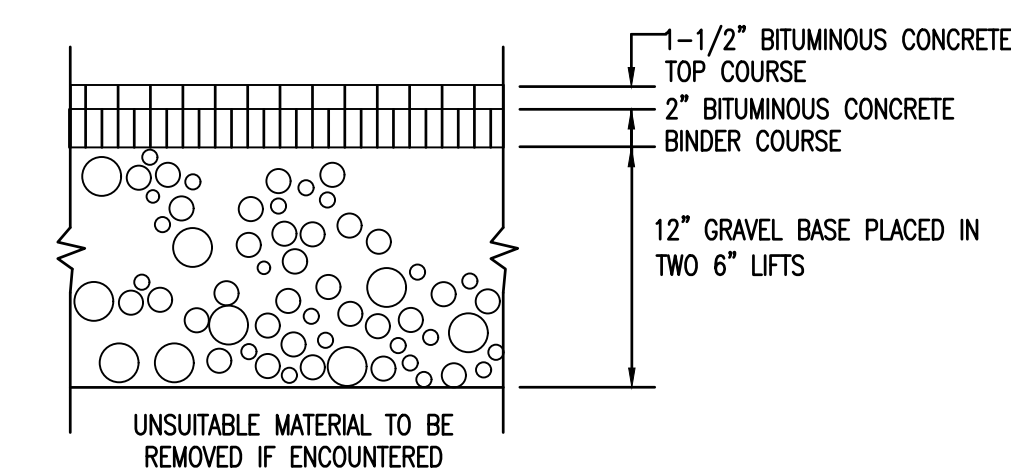
B&B TREE AND SHRUB
PLANING DETAIL
NOT TO SCALE



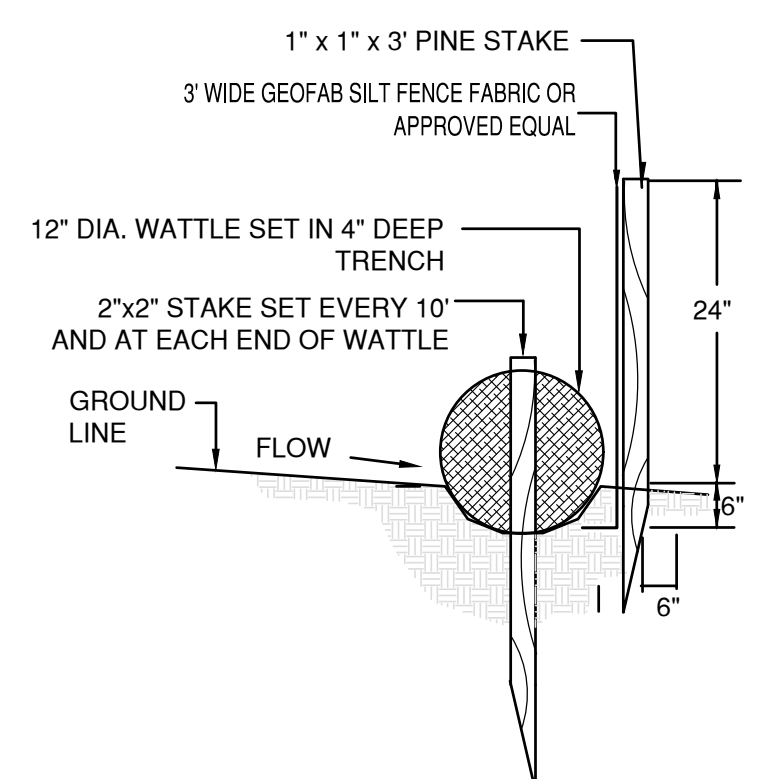
CONTAINER GROWN
TREE AND SHRUB
PLANING DETAIL
NOT TO SCALE



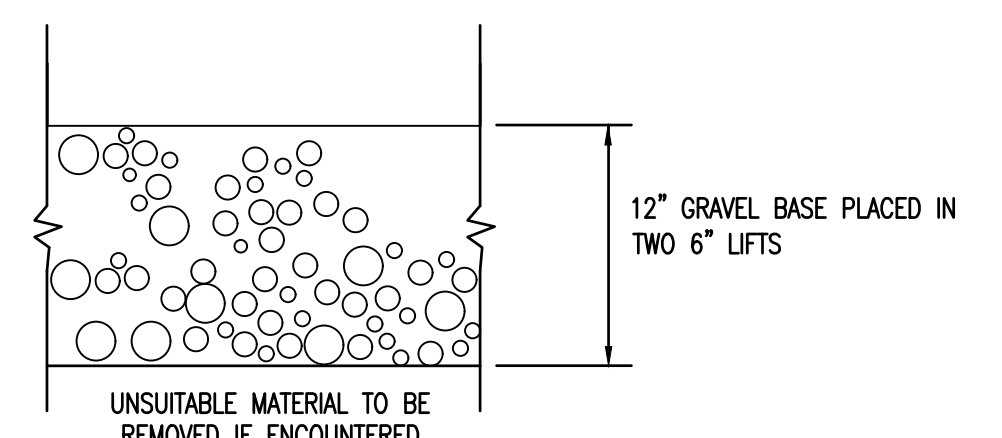
PAVEMENT TRANSITION
NOT TO SCALE



BITUMINOUS PAVEMENT
NOT TO SCALE



EROSION CONTROL: STRAW WATTLE
WITH SILT FENCE
NOT TO SCALE



CRUSHED STONE SURFACE
NOT TO SCALE

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CANAL FUEL
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DETAILS
DATE: 9/22/2022 SCALE: AS SHOWN
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SHEET NO.
4 OF 5



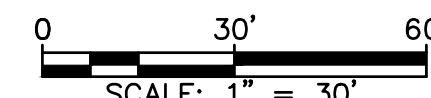
TRUCK TURNING PLAN
SCALE: 1"=30'

EMERGENCY ACCESS NOTES:

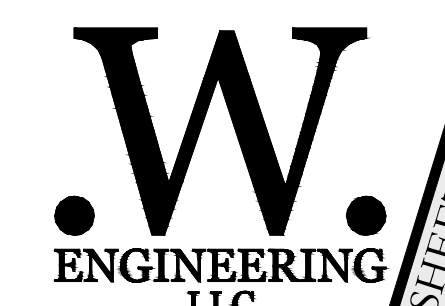
1. A MINIMUM OF ONE KNOX BOX IS REQUIRED FOR THE PROPOSED BUILDING.
2. EMERGENCY ACCESS TO ACCOMMODATE THE FOLLOWING SPECIFICATIONS AS PROVIDED BY THE TOWN OF BOURNE FIRE/RESCUE & EMERGENCY SERVICES:

TRUCK 125 SPECIFICATIONS
2006 AMERICAN LAFRANCE/LTI 100' AERIAL TOWER LADDER TRUCK

- OVERALL LENGTH: 47 FEET, 2 3/4 INCHES
- HEIGHT: 11 FEET
- CENTER OF FRONT WHEEL TO FRONT OF TRUCK: 92 INCHES
- WHEELBASE: 255 INCHES
- FRONT BUMPER EXTENSION: 18 INCHES
- CENTER OF BETWEEN THE REAR WHEELS, TO THE REAR OF THE TRUCK: 199.25 INCHES.
- THE BUCKET HANGS ABOUT 2 FEET BEYOND THE REAR OF THE TRUCK.
- WIDTH OF THE TRUCK: 9 FEET
- WIDTH OF THE TRUCK WITH THE OUTRIGGERS EXTENDED: 18 FEET
- WEIGHT OF THE TRUCK: 71,060 POUNDS
- MAXIMUM TURNING (CRAMP) ANGLE WITH ALL SELECTED WHEEL AND STEERING EQUIPMENT INSTALLED: 30°
- INSIDE TURNING RADIUS: 35.71 FEET
- CURB TO CURB TURNING RADIUS: 49 FEET
- WALL TO WALL TURNING RADIUS: 52.65 FEET



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