

MASSACHUSETTS STATE EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 04-25-2023 @ 02:19pm
Ctl#: 501 Doc#: 15766
Fee: \$2,565.00 Cons: \$750,000.00

BARNSTABLE COUNTY EXCISE TAX
BARNSTABLE COUNTY REGISTRY OF DEEDS
Date: 04-25-2023 @ 02:19pm
Ctl#: 501 Doc#: 15766
Fee: \$2,295.00 Cons: \$750,000.00

QUITCLAIM DEED

WE, GREGORY LEACH AND KARYN CHAUVIN, CO-TRUSTEES OF ST. MARGARET'S REALTY TRUST, under Declaration of Trust dated March 11, 2020, an Abstract of which pursuant to MGL Chapter 184 Section 35 is recorded in Book 32771 Page 196 and having an address at 129 Puritan Road, Buzzards Bay, Massachusetts

FOR CONSIDERATION PAID OF SEVEN HUNDRED FIFTY THOUSAND (\$750,000.00) AND 00/100 DOLLARS,

Grant to **Calvin H. Vu and Angel L. Vu**, husband and wife, as tenants by the entirety, now of 7-9 St. Margaret's Street, Bourne, MA 02532,

with **QUITCLAIM COVENANTS**, the land with any buildings thereon in Bourne, Barnstable County, Commonwealth of Massachusetts, bounded and described as follows:

The land with the buildings thereon known as 9 St. Margaret's Street, located in the village of Buzzards Bay, Bourne, Barnstable County, Massachusetts, described as follows:

Being shown as Parcel B on a plan of land entitled "Plan of Land as surveyed for Colonial Square, Inc. in Buzzards Bay, Bourne, MA: 1"=30', Jan 22, 1986, Charles W. Ehmann, Jr., R.L.S., Newell B. Snow, Inc., 207 Main Street, Buzzards Bay, Mass." Which plan is filed with the Barnstable County Registry of Deeds in Plan Book 418, Page 5.

Together with the benefit of and the right to use the driveway easement over Parcel A shown on said plan.

Said premises is conveyed subject to and with the benefit of easements and restrictions of record, if any, insofar as the same may now be in force and applicable.

Together with all rights, privileges and easements connected therewith and subject to restrictions and easements of record and are hereby conveyed subject to any building and zoning law requirements which may be in force and applicable.

The undersigned hereby certifies under the pains and penalties of perjury that the subject premises are not homestead property of any person.

The undersigned hereby certify that they are the sole trustees of said trust, that there has been no amendment or revocation of said trust except as of record, that no beneficiary is a minor, incompetent, a corporation selling all or substantially all of its assets located in Massachusetts, an estate subject to unpaid estate taxes, and that all of said beneficiaries have directed the

Return To:
Attorney Vy H. Truong
985 Dorchester Avenue
Dorchester, MA 02125

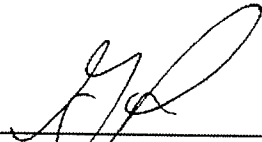
Loc: 7-9 St. Margaret's Street, Bourne, MA 02532

trustees to execute this instrument.

Meaning and intending to convey and thereby conveying the same premises as conveyed to Grantor(s) by Deed at Book 32908, Page 230 recorded with the Barnstable County Registry of Deeds.

Property address: 7-9 St. Margaret's Street, Buzzards Bay MA 02532

WITNESS my hand and seal this 5th day of April, 2023

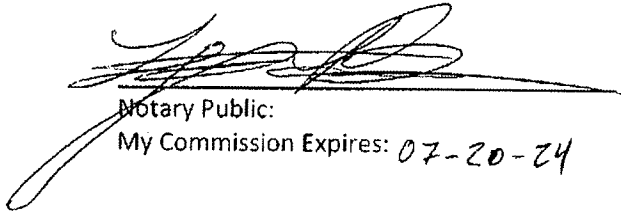


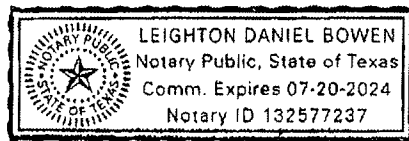
GREGORY LEACH, Trustee

STATE OF TEXAS

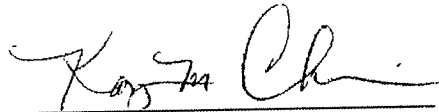
Dallas, ss.

On this 5th day of April, 2023, before me, the undersigned Notary Public, personally appeared **GREGORY LEACH, Trustee** as aforesaid, proved to me through satisfactory evidence of identification which was photo identification personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purposes on behalf of the **ST. MARGARET'S REALTY TRUST**.


Notary Public:
My Commission Expires: 07-20-24



WITNESS my hand and seal this 7th day of April, 2023



KARYN CHAUVIN, Trustee

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss.

On this 7th day of April, 2023, before me, the undersigned Notary Public, personally appeared **KARYN CHAUVIN, Trustee** as aforesaid, proved to me through satisfactory evidence of identification which was photo identification ___ personal knowledge, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it voluntarily for its stated purposes on behalf of the **ST. MARGARET'S REALTY TRUST.**



Notary Public:

My Commission Expires:



VINCENT PIRCIO
Notary Public
Commonwealth of Massachusetts
My Commission Expires Sept. 11, 2026



JOHN E. WEAVER, REGISTER
BARNSTABLE COUNTY, REGISTRY OF DEEDS
RECEIVED & RECORDED ELECTRONICALLY