

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS AND/OR DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND IDENTIFY ANY DISCREPANCIES TO THE ARCHITECT.
2. ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES UNDER WHICH THEY ARE PERFORMED.
3. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES, AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.
4. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY AS COORDINATOR TO CHECK ALL DIMENSIONS AND DETAILS ON SHOP DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT.
5. THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL LINES, GRADES, ELEVATIONS AND MEASUREMENTS OF THE BUILDING. VERIFY ALL DIMENSIONS & DETAILS PRIOR TO STARTING CONSTRUCTION.
6. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED
7. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED
8. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL PLUMBING, ELECTRICAL & MECHANICAL W/ THE OWNER PRIOR TO CONSTRUCTION.
9. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING ARE BY OTHERS AND NOT INCLUDED IN THESE DRAWINGS.
10. ALL MILLWORK IS BY OTHERS.
11. ALL HINGE SIDE OF DOOR JAMBS TO BE 5" FROM INSIDE WALL UNLESS OTHERWISE NOTED
12. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED
13. PROVIDE PRESSURE TREATED WOOD AT ALL FRAMING LOCATIONS WHERE WOOD IS IN CONTACT WITH CONCRETE.

FOUNDATION AND CONCRETE NOTES:

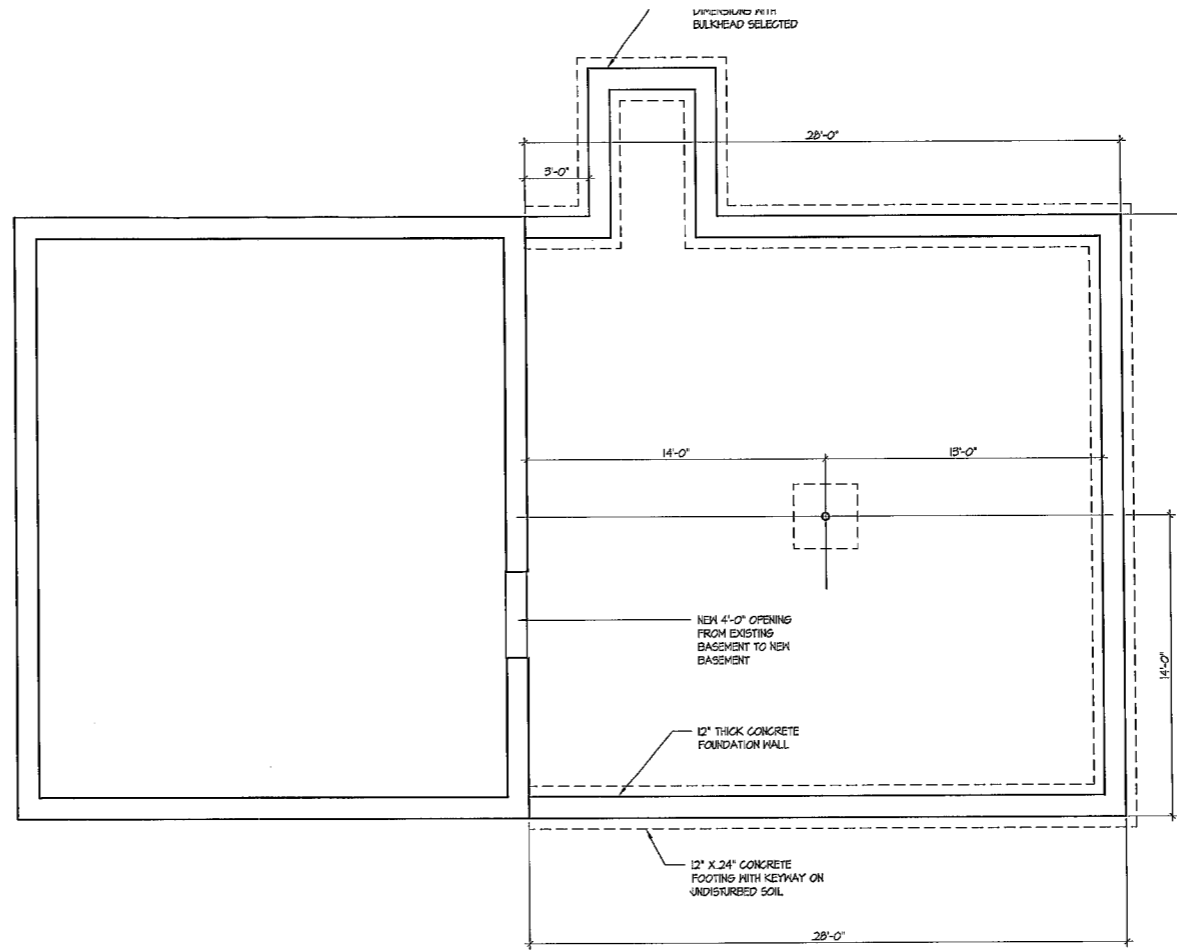
1. THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, BEDROCK, OR STRUCTURAL FILL HAVING A MINIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.
2. THE BOTTOM OF FOOTINGS SHALL MATCH THE EXISTING ADJACENT FOOTING, BUT SHALL BE A MINIMUM OF 3'-4" BELOW FINISH GRADE. ELEVATIONS GIVEN AS BOTTOM OF FOOTINGS ARE MINIMUM DEPTHS, AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY TO THE DEPTH OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
3. WHERE UNSUITABLE BEARING MATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH UNSUITABLE BEARING MATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL AND REPLACE IT WITH A CLEAN COMPACTED GRANULAR FILL. COMPACT ALL GRANULAR FILL TO 95% MAXIMUM DRY DENSITY.
4. NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND. NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
5. BOTTOM OF FOOTING EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO BOTTOM OF FOOTING EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO PLACEMENT OF CONCRETE.
6. WHERE FOUNDATIONS ARE TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED WHERE FOUNDATIONS ARE TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED SIMULTANEOUSLY, MAINTAINING A COMMON ELEVATION.
7. CONTRACTOR SHALL PROVIDE CONTINUOUS CONTROL OF SURFACE AND UNDERGROUND WATER AS CONTRACTOR SHALL PROVIDE CONTINUOUS CONTROL OF SURFACE AND UNDERGROUND WATER AS REQUIRED DURING CONSTRUCTION SUCH THAT WORK IS DONE IN THE DRY. CONTRACTOR SHALL INSURE THAT GROUNDWATER LEVELS UNDER ADJACENT STRUCTURES ARE NOT LOWERED BY HIS CONSTRUCTION TECHNIQUES.
8. WITHIN THE BUILDING AREA AND 5 FEET BEYOND, EACH SIDE, ANY UNSUITABLE ORGANIC WITHIN THE BUILDING AREA AND 5 FEET BEYOND, EACH SIDE, ANY UNSUITABLE ORGANIC SOILS AND EXISTING FILL SHALL BE REMOVED, UNTIL SUITABLE MATERIAL IS ENCOUNTERED AND REPLACED WITH COMPACTED GRANULAR FILL.

CAST-IN-PLACE CONCRETE:

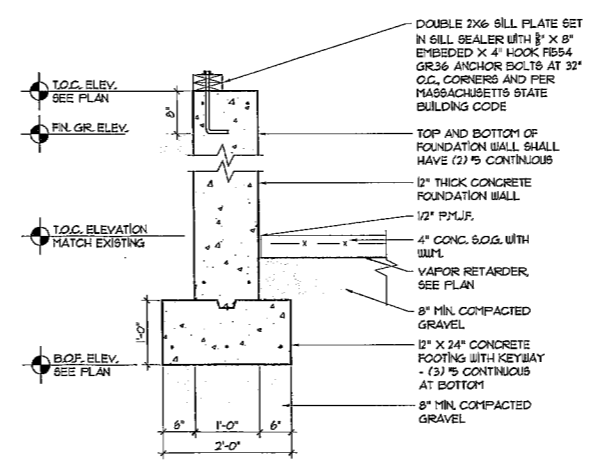
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3. CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND. CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND.
4. CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & 301 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF THE FOLLOWING:
 FOUNDATION AND FOOTINGS: 3000 PSI
 SLAB ON GRADE: 4000 PSI
5. CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS (SEE ACI 318 FOR CLEAR CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS (SEE ACI 318 FOR CONDITIONS NOT NOTED).
 FOOTINGS: 3 INCHES
 WALLS AND PIERS (I.N.O.) 1-1/2 INCHES
6. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER.
7. ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE. BARS TO BE ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE. BARS TO BE SECURELY WIERED TOGETHER AND PROTECTED AGAINST DISPLACEMENT BEFORE AND DURING PLACEMENT OF CONCRETE.
8. BARS SHALL BE NEW BILLET STEEL CONFORMING WITH ASTM A615 GRADE 60. BARS SHALL BE NEW BILLET STEEL CONFORMING WITH ASTM A615 GRADE 60.
9. DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT EDITION.
10. REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE. REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.
11. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL RUN CONTINUOUSLY AROUND CORNERS AND BE LAPPED AT NECESSARY SPLICES, OR HOOKED AT DISCONTINUOUS ENDS.
12. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE LAPPED 6". WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND BE LAPPED 6".
13. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO FABRICATION.

WORKING NOTES:

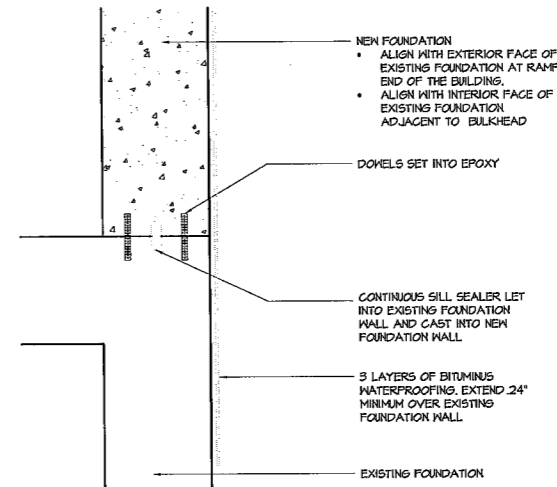
1. ALIGN FACE OF NEW FOUNDATION WALL WITH FACE OF EXISTING FOUNDATION WALL.
2. SET TOP OF FOUNDATION WALL TO ALLOW FOR NEW FLOOR JOISTS AND FLOOR TO BE FUSH WITH EXISTING FLOOR. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM FACE OF WOOD STUDS OR CONCRETE.
- 3.



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1' - 0"



2 TYPICAL DETAIL - FOUNDATION
SCALE: 3/4" = 1' - 0"



3 TYPICAL DETAIL - FOUNDATION CONNECTION
SCALE: 3/4" = 1' - 0"

CERTIFICATION:

CONSULTANT LOGO:

OWN CLER

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REFER TO ALL OTHER DRAWINGS FOR COMPLETE SCOPE OF WORK.

THIS DRAWING IS NOT TO BE SCALED AND/OR USED AS AN AS-BUILT.

REVISIONS	
No.	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
ARCHITECTURAL DESIGN

43 Fieldstone Circle
Middleboro, MA 02346
Phone: 508-320-3850
Fax:
www.jacquesco@attbi.com

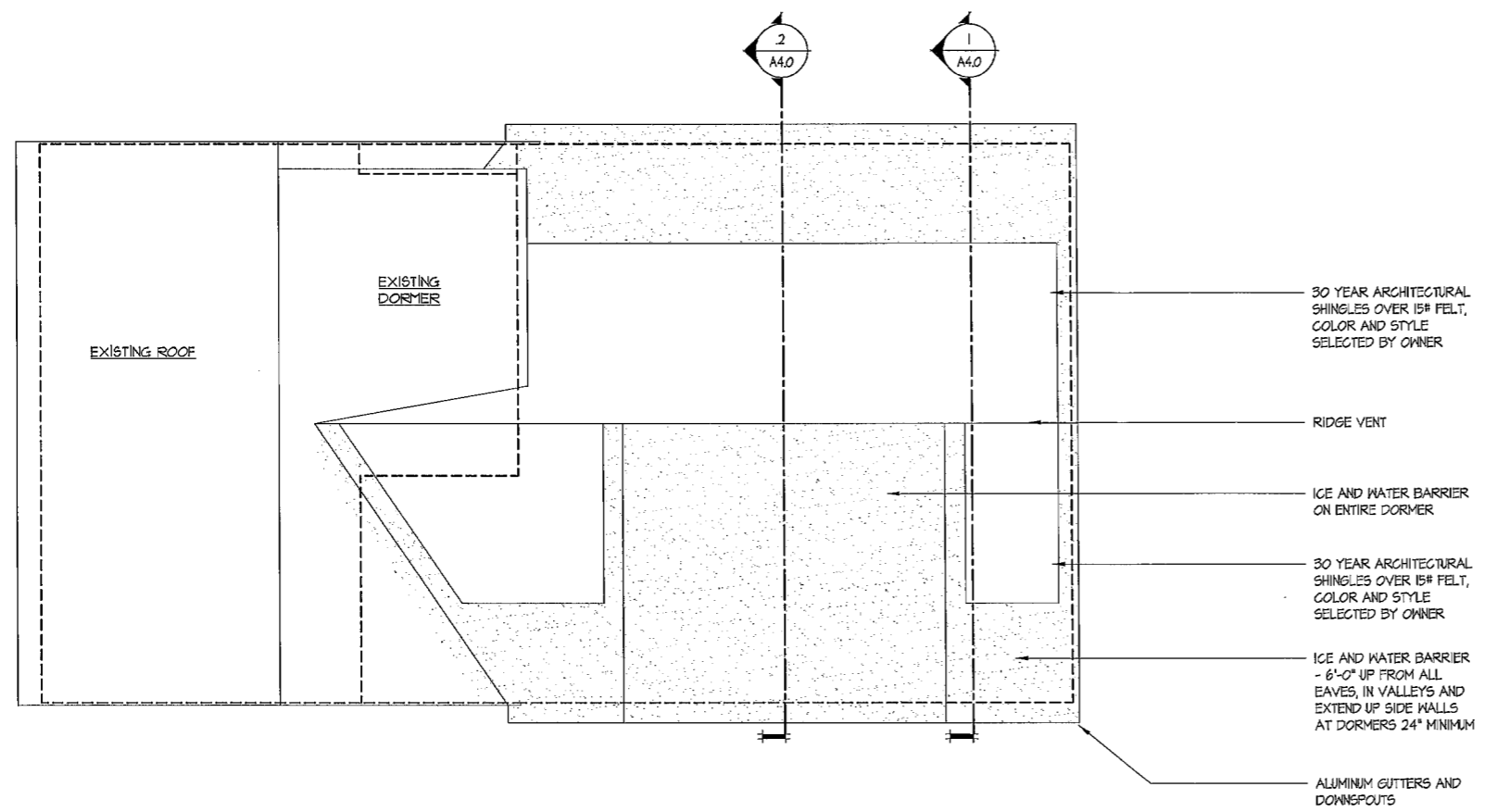
SHEET TITLE:
BASEMENT PLAN

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

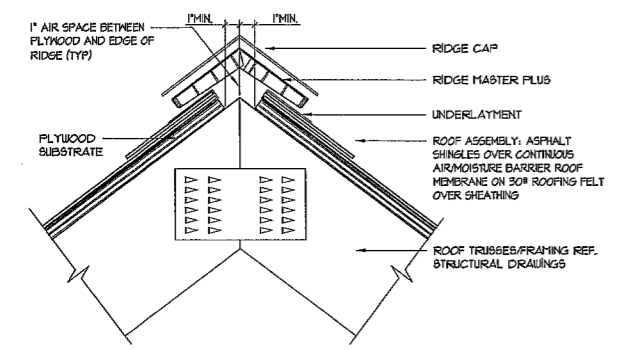
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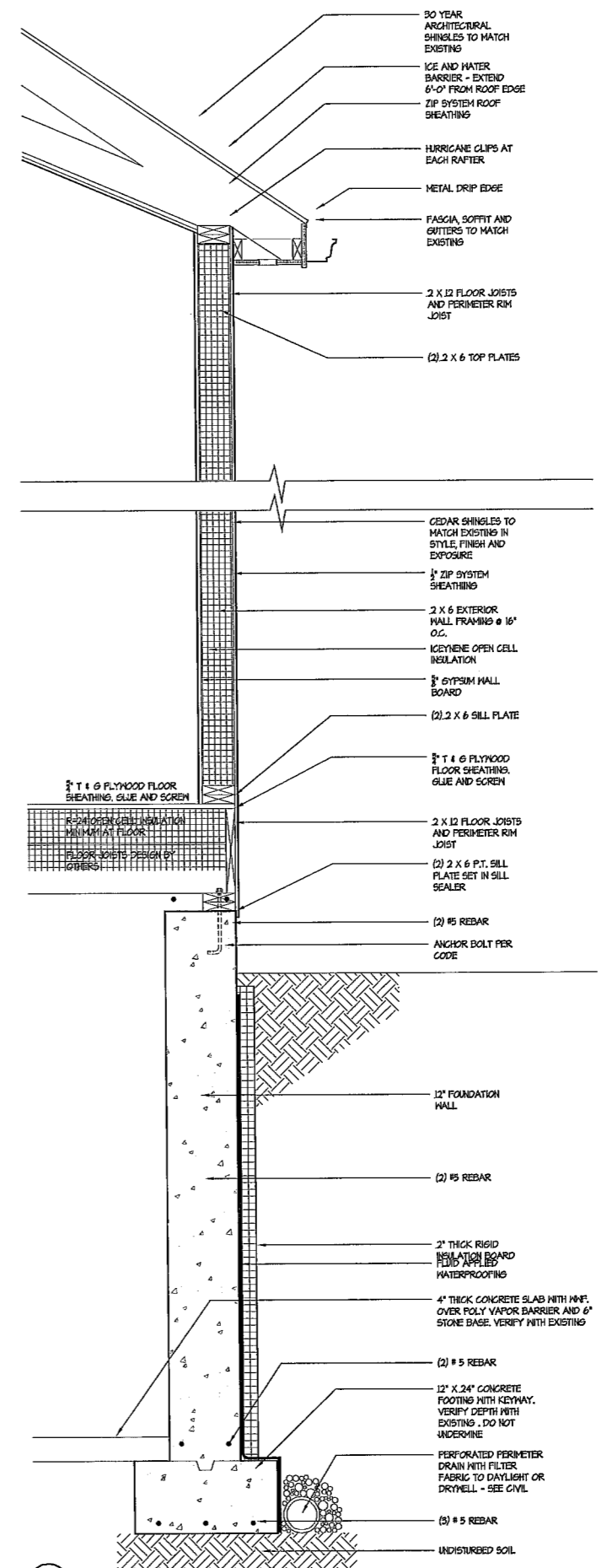
ISSUED FOR REVIEW - DATE: 01/26/21



1 ROOF PLAN
ASJ SCALE: 1/4" = 1' - 0"



2 ROOF RIDGE VENT DETAIL
ASJ SCALE: 1/2" = 1' - 0"



3 TYPICAL WALL SECTION DETAIL
ASJ SCALE: 1" = 1' - 0"

CERTIFICATION:

CONSULTANT LOGO: TOWN OF EASTON

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REVISIONS	
No.	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
ARCHITECTURAL DESIGN

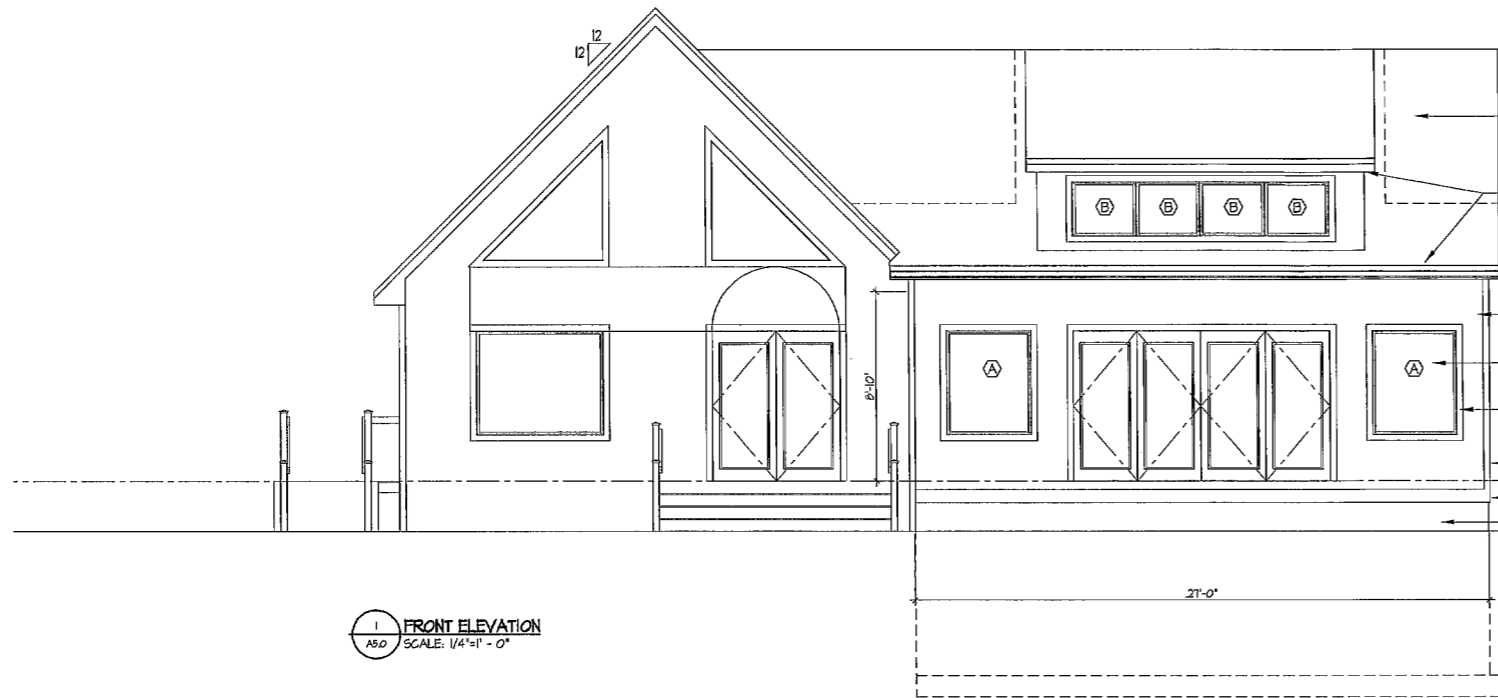
43 Fieldstone Circle
Middleboro, MA 02346
Phone: 508-320-3850
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www.jacquesco@attbi.com

SHEET TITLE:
ROOF PLAN

JOB NUMBER: 201816
DRAWN BY: WJJ
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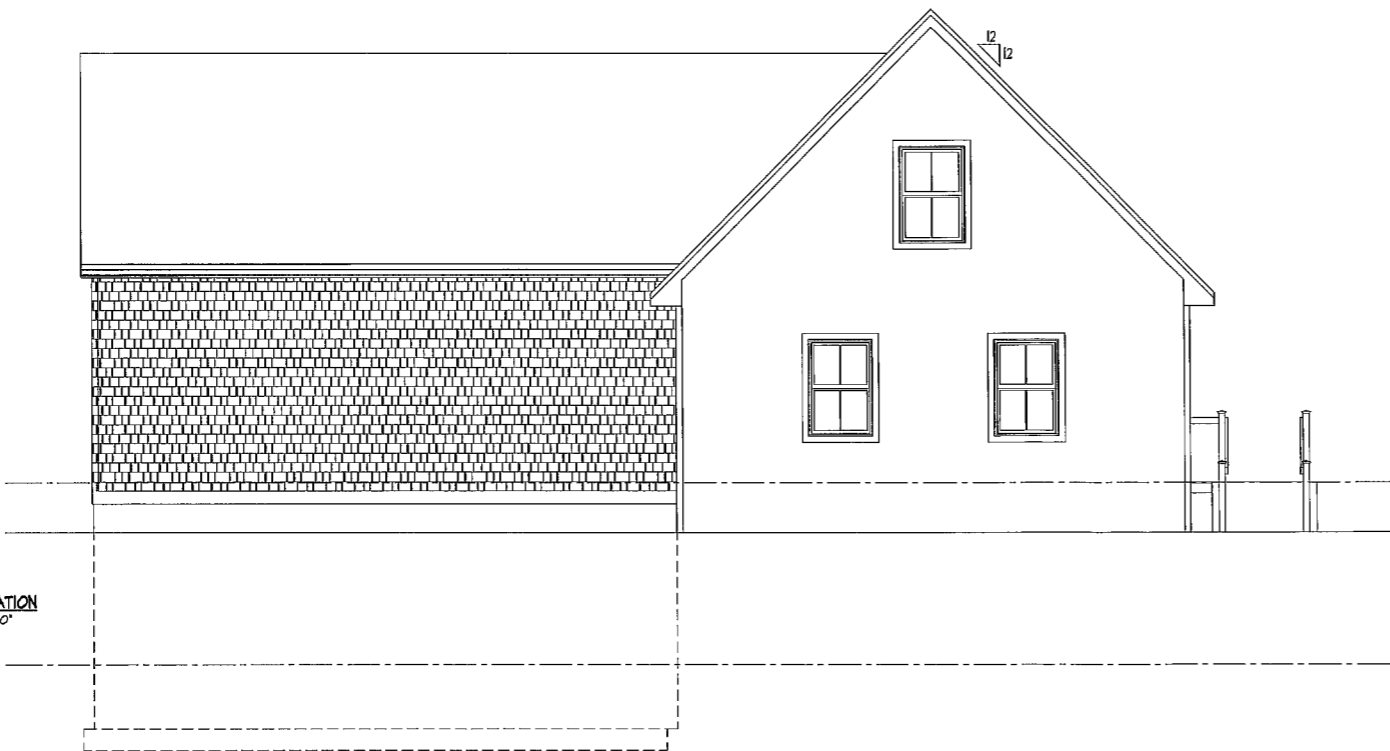
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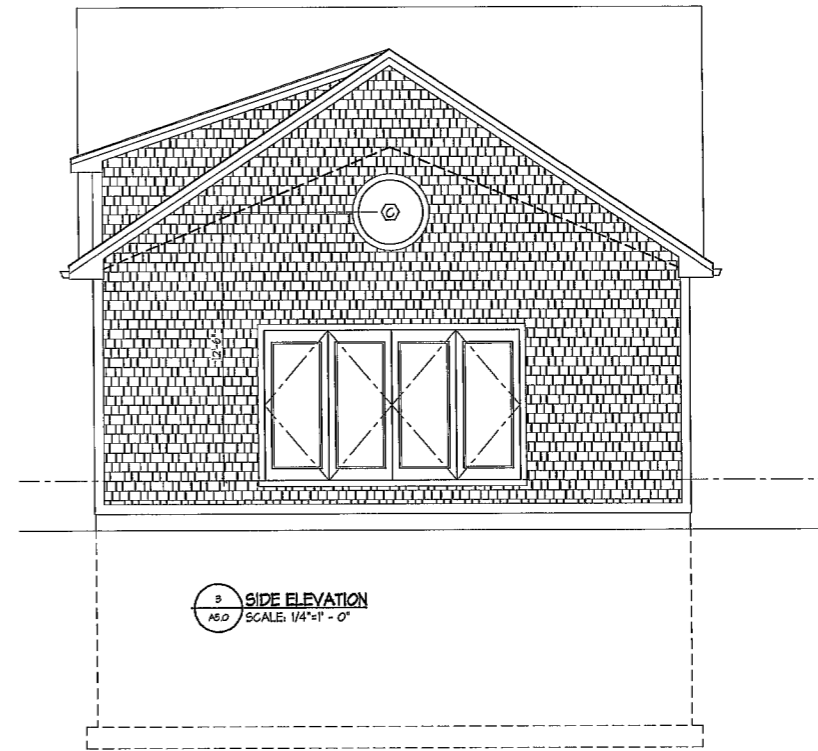


- 30 YEAR ARCHITECTURAL SHINGLES OVER FELT PAPER TO MATCH EXISTING
- SOFFIT AND RAKE DETAIL TO MATCH EXISTING
- ALUMINUM GUTTERS AND DOWNSPOUTS (TYP)
- SIDING TO MATCH EXISTING
- ANDERSEN 400 SERIES WINDOWS TO MATCH
- 1 X 4 CASING
- 1 X 4 TRIM
- 1 X 8 TRIM
- EXPOSED CONCRETE FOUNDATION WALL

1 FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



2 REAR ELEVATION
SCALE: 1/4" = 1' - 0"



3 SIDE ELEVATION
SCALE: 1/4" = 1' - 0"

CERTIFICATION:

CONSULTANT'S LOG:

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No.	DATE	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
ARCHITECTURAL DESIGN

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Middleboro, MA 02346
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SHEET TITLE:

EXTERIOR ELEVATIONS

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

SHEET NUMBER:

A5.0

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FOUNDATION AND CONCRETE NOTES:

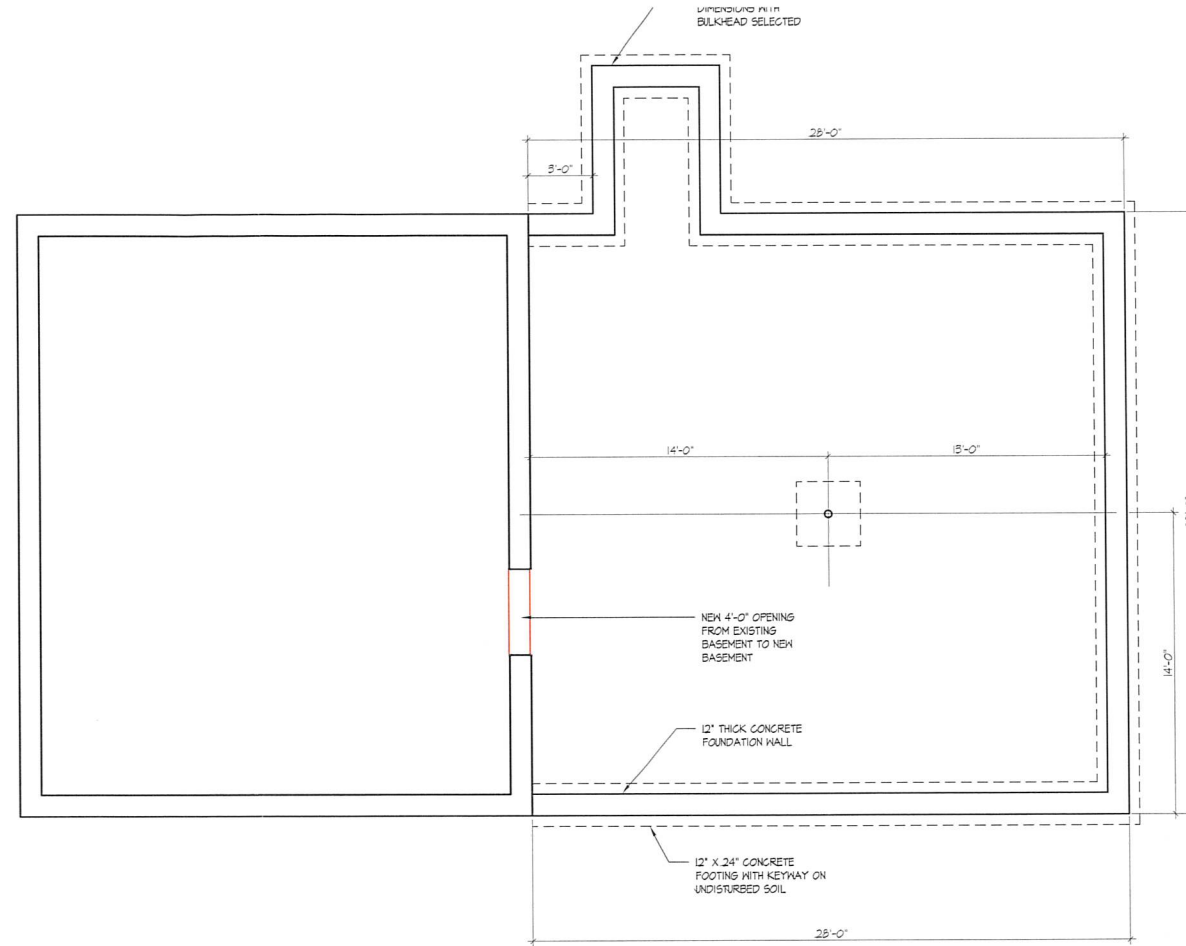
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CAST-IN-PLACE CONCRETE:

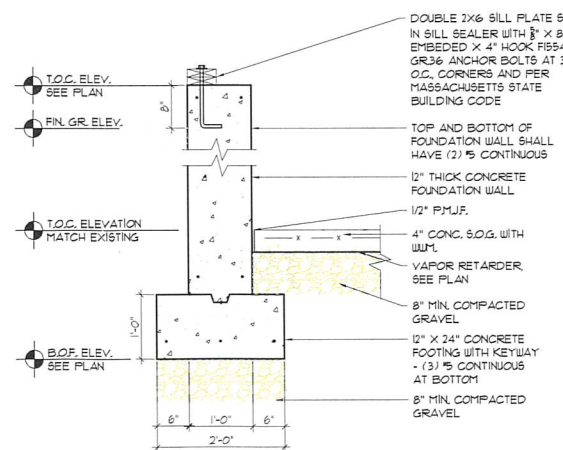
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WORKING NOTES:

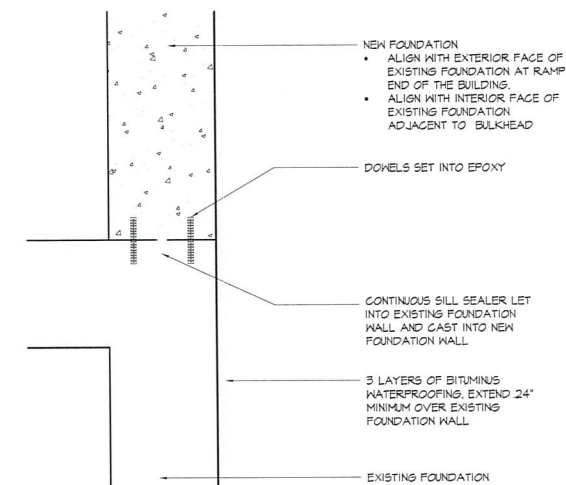
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- SET TOP OF FOUNDATION WALL TO ALLOW FOR NEW FLOOR JOISTS AND FLOOR TO BE FLUSH WITH EXISTING FLOOR.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM FACE OF WOOD STUDS OR CONCRETE.



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1' - 0"



2 TYPICAL DETAIL - FOUNDATION
SCALE: 3/4" = 1' - 0"



3 TYPICAL DETAIL - FOUNDATION CONNECTION
SCALE: 3/4" = 1' - 0"

CERTIFICATION:

CONSULTANT LOGO:

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REVISIONS	
No.	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
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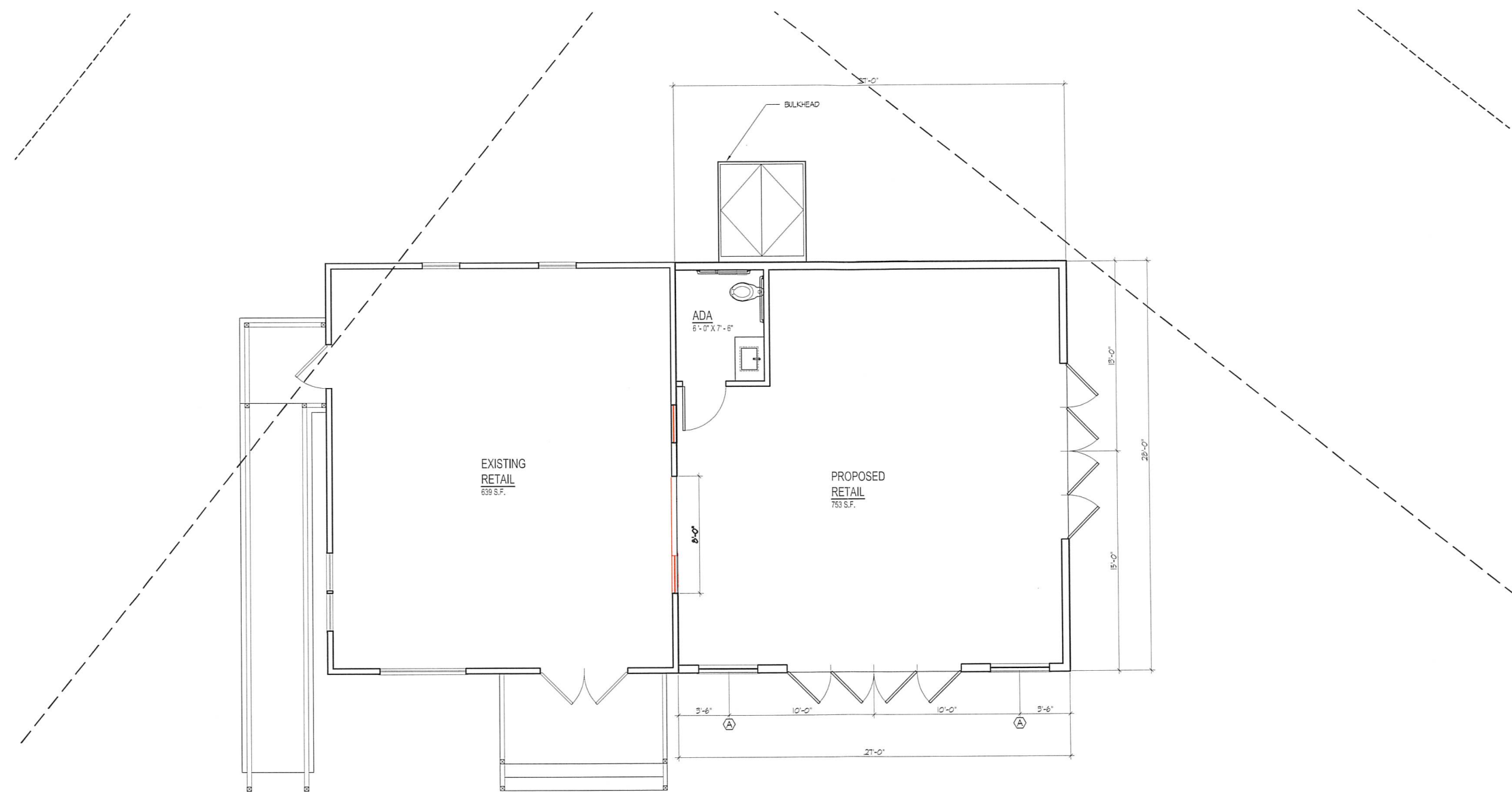
SHEET TITLE:
BASEMENT PLAN

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

SHEET NUMBER:
A1.0

RECEIVED

ISSUED FOR REVIEW - DATE: 01/26/21



1 FIRST FLOOR PLAN
 A11 SCALE: 1/4" = 1' - 0"

756 S.F.

CERTIFICATION:

CONSULTANT LOGO:

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 POCASSET, MA 02559

WAYNE JOHN JACQUES
 ARCHITECTURAL DESIGN

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SHEET TITLE:

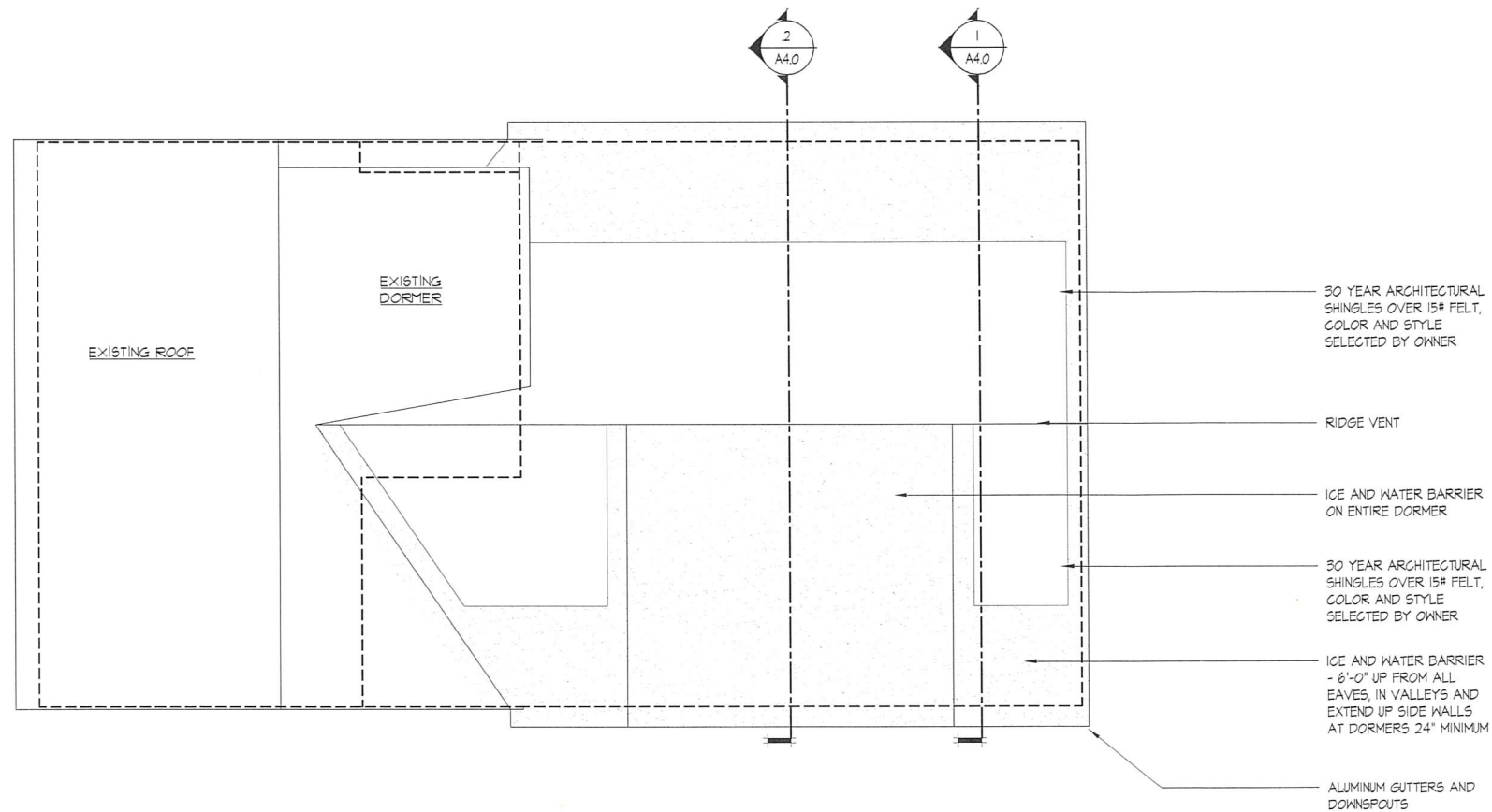
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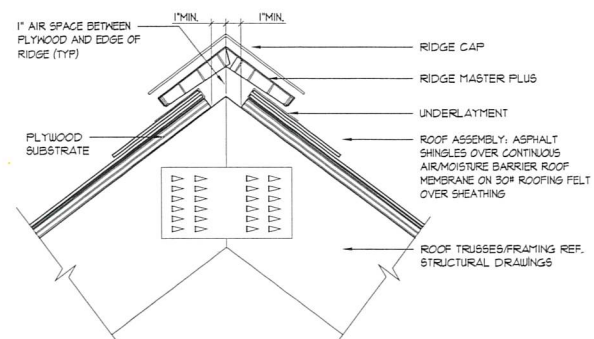
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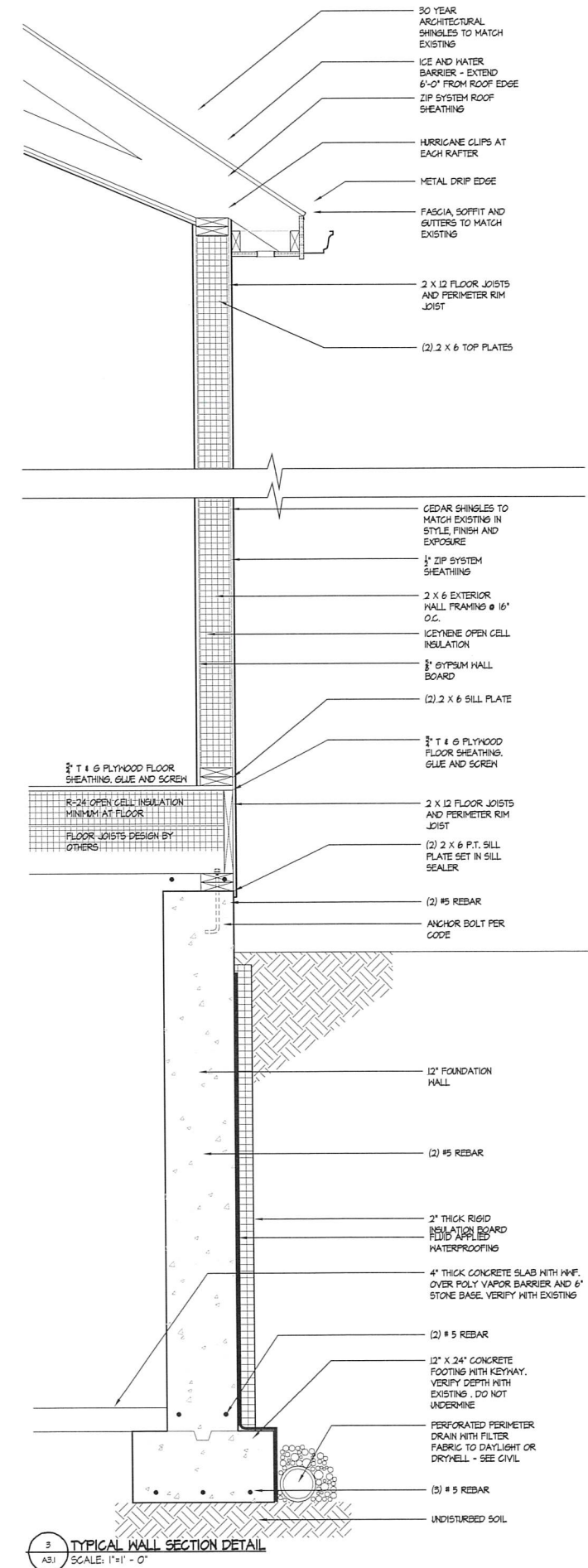
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1 ROOF PLAN
ASJ SCALE: 1/4" = 1' - 0"



2 ROOF RIDGE VENT DETAIL
ASJ SCALE: 1/2" = 1' - 0"



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No.	DATE	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
ARCHITECTURAL DESIGN

43 Fieldstone Circle
Middleboro, MA 02346
Phone: 508-320-3850
Fax:
www.jacquesco@attbi.com

SHEET TITLE:

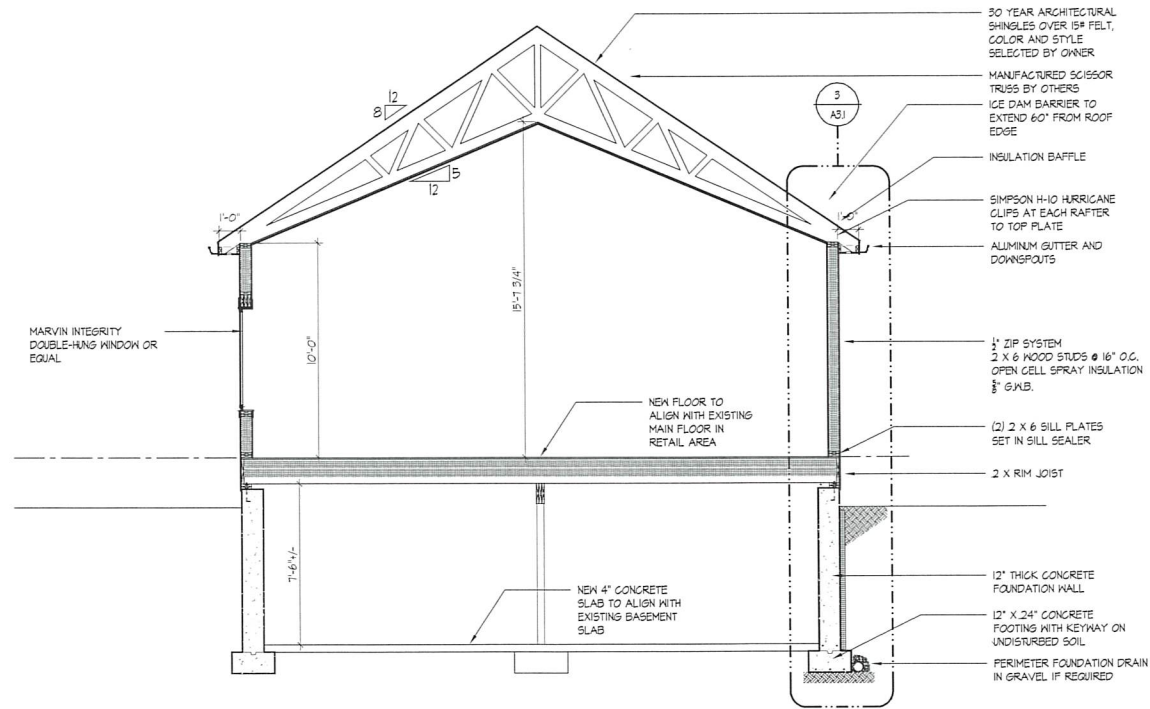
ROOF PLAN

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

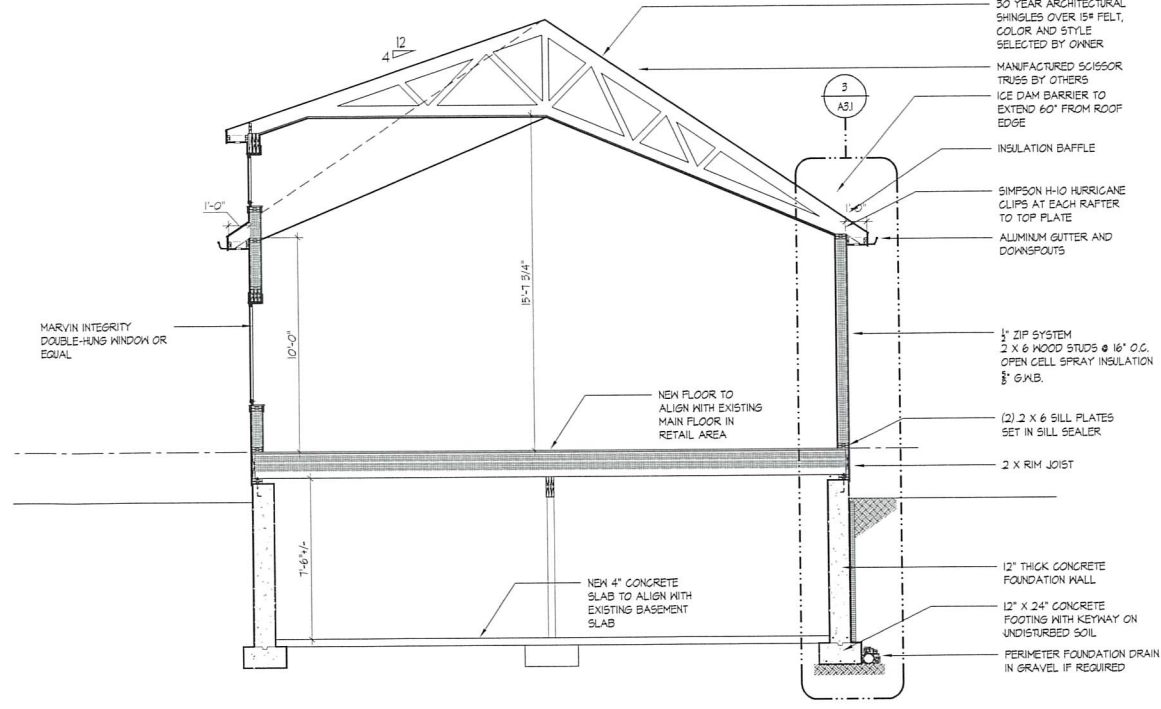
SHEET NUMBER:

A3.1

ISSUED FOR REVIEW - DATE: 01/26/21



1 TYPICAL BUILDING SECTION
SCALE: 1/4" = 1' - 0"



2 BUILDING SECTION AT DORMER
SCALE: 1/4" = 1' - 0"

CERTIFICATION:

CONSULTANT LOGO:

THIS DRAWING IS A PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS. REFER TO ALL DRAWINGS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO "GENERAL CONDITIONS", "SUMMARY OF WORK" AND ANY APPLICABLE MANUFACTURERS TECHNICAL SPECIFICATIONS.

REFER TO ALL OF THE DRAWINGS FOR COMPLETE SCOPE OF WORK.

THIS DRAWING IS NOT TO BE SCALED AND/OR USED AS AN AS-BUILT.

REVISIONS	
No.	DESCRIPTION

PROJECT NAME:

EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

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SHEET TITLE:

BUILDING SECTIONS

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

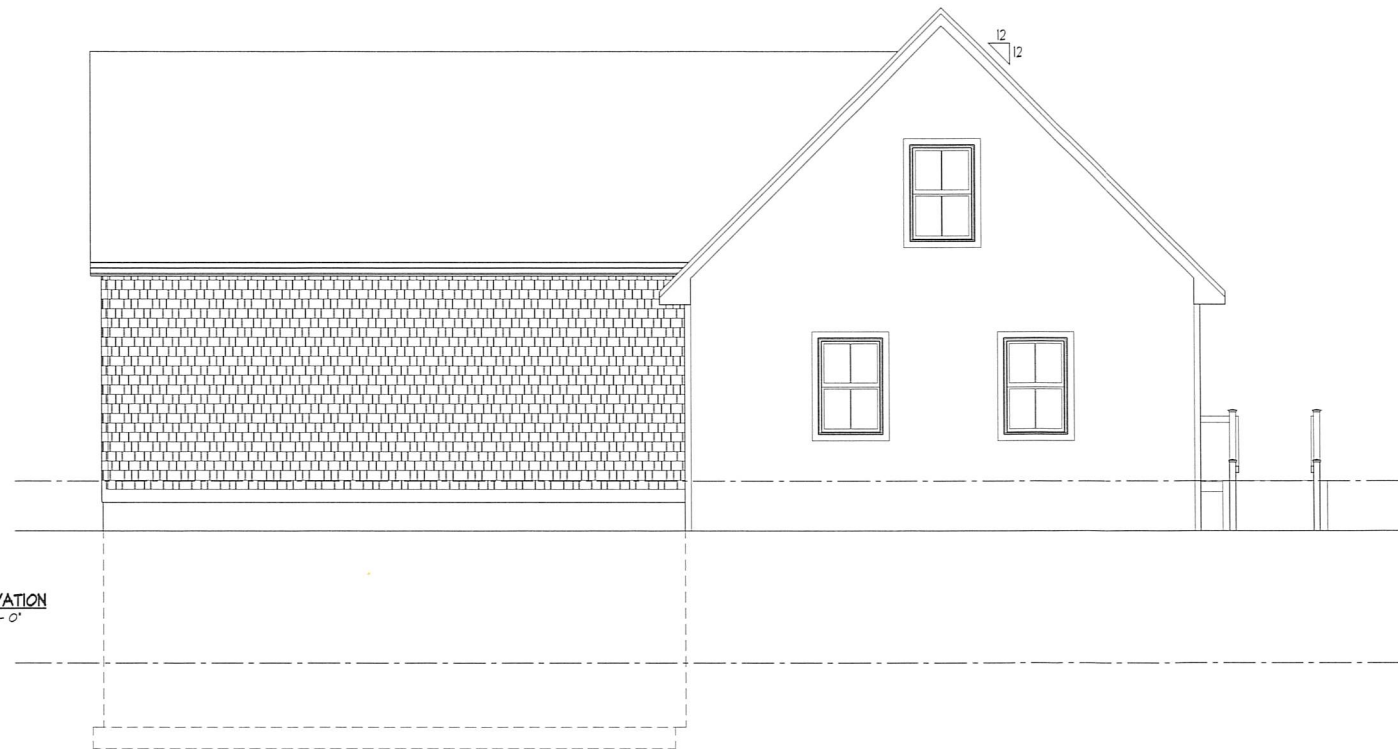
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A4.0

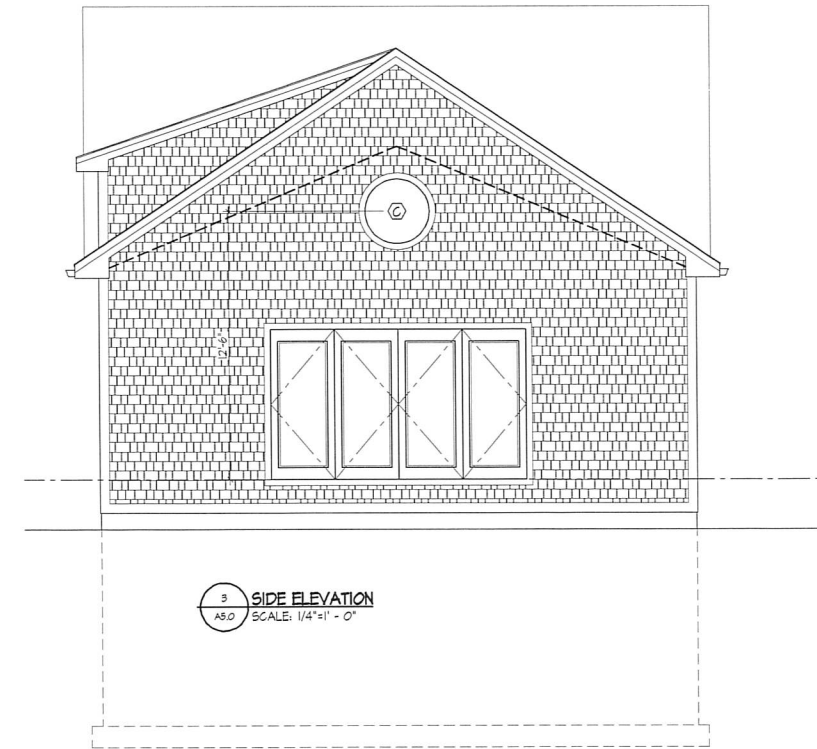
ISSUED FOR REVIEW - DATE: 01/26/21



1 FRONT ELEVATION
ASD SCALE: 1/4" = 1' - 0"



2 REAR ELEVATION
ASD SCALE: 1/4" = 1' - 0"



3 SIDE ELEVATION
ASD SCALE: 1/4" = 1' - 0"

CERTIFICATION:

CONSULTANT LOGO:

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REVISIONS	
No.	DESCRIPTION

PROJECT NAME:
EASTON POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

WAYNE JOHN JACQUES
ARCHITECTURAL DESIGN
43 Fieldstone Circle
Middleboro, MA 02346
Phone: 508-320-3850
Fax:
www.jacquesco@attbi.com

SHEET TITLE:
EXTERIOR ELEVATIONS

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

SHEET NUMBER:
A5.0

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ISSUED FOR REVIEW - DATE: 01/26/21

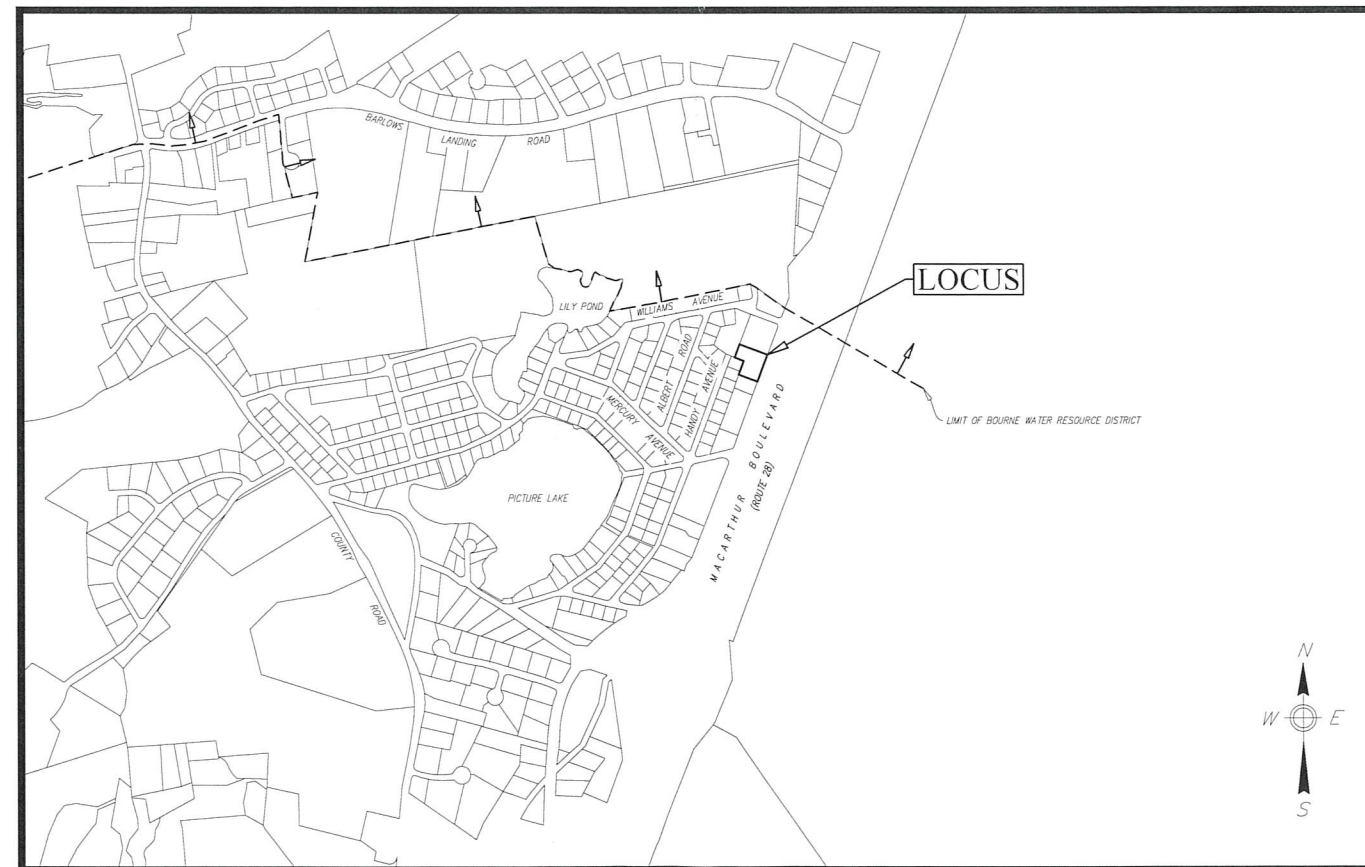
PROPOSED SITE IMPROVEMENT AT 724 MACARTHUR BOULEVARD BOURNE, MASSACHUSETTS

FEBRUARY 12, 2021

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TOWN CLERK BOURNE

SHEET INDEX	REVISED DATES		△ CONSTRUCTION REVISIONS
1 TITLE SHEET	NO CHANGE	NO CHANGE	
2 CONSTRUCTION NOTES	NO CHANGE	NO CHANGE	
3 EXISTING CONDITIONS & EROSION CONTROL	NO CHANGE	NO CHANGE	
4 LAYOUT, ZONING and LANDSCAPING	6/30/21	1/13/22	
5 GRADING, DRAINAGE and UTILITIES	NO CHANGE	NO CHANGE	
6 LIGHTING PLAN	NO CHANGE	NO CHANGE	

- LOCUS: #724 MACARTHUR BOULEVARD
MAP 44.2 PARCEL 23
- OWNER: GULF COAST REALTY, LLC
736 WASHINGTON STREET
SOUTH EASTON, MA 02375
- DEED REF: Bk: 30391 Pg: 68
- PLAN REF: Bk: 600 Pg: 35 (LOT K)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25001C-0504-J dated 07/16/2014.
- LOCUS DOES NOT FALL WITHIN A ZONE II WELLHEAD PROTECTION ZONE OR A BOURNE WATER RESOURCE DISTRICT.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONYER, WETLAND SCIENTIST, ON MARCH 23, 2017.
- REFER TO ORDER OF CONDITIONS MassDEP File #SE7-1989 FOR APPROVED LIMIT OF CLEARING/WORK.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.



LOCUS MAP

Scale : 1" = 600'

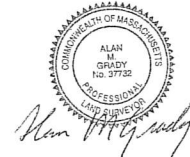
CIVIL ENGINEER / LAND SURVEYOR:

BRACKEN
ENGINEERING, INC

49 HERRING POND ROAD BUZZARDS BAY, MA 02532
19 OLD SOUTH ROAD NANTUCKET, MA 02554
(Tel) 508.833.0070 (Tel) 508.325.0044
(Fax) 508.833.2282 www.brackeneng.com

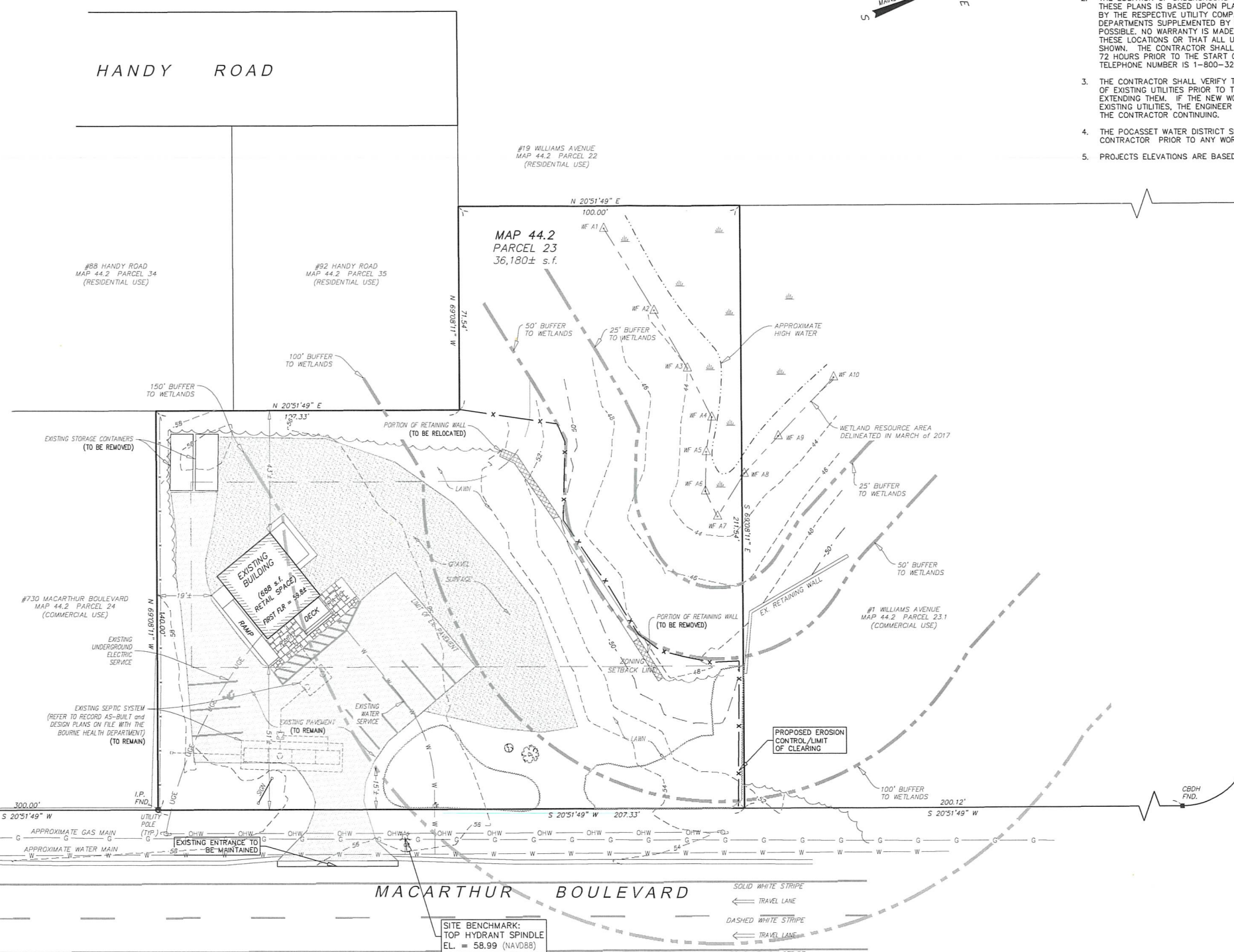
OWNER / APPLICANT :

GULF COAST REALTY, LLC
735 WASHINGTON STREET
SOUTH EASTON, MA 02375



TP NO. 1 GRD. EL. 57.4 GW. EL. NONE to 47.4	TP NO. 2 GRD. EL. 57.5 GW. EL. NONE to 47.5
0" FILL 10YR 3/3 56.8	0" FILL 10YR 3/3 56.9
9" Bw SANDY LOAM 10YR 5/8 54.7	9" Bw SANDY LOAM 10YR 5/8 54.8
32" C1 VERY COARSE SAND 2.5Y 7/6 47.4	32" C1 VERY COARSE SAND 2.5Y 7/6 47.5
120" NO WATER NO MOTTLES	120" NO WATER NO MOTTLES
TP NO. 3 GRD. EL. 57.8 GW. EL. NONE to 47.8	TP NO. 4 GRD. EL. 58.5 GW. EL. NONE to 48.5
0" FILL 10YR 3/3 56.1	0" FILL 10YR 3/3 56.8
20" Bw SANDY LOAM 10YR 5/8 53.0	20" Bw SANDY LOAM 10YR 5/8 53.7
58" C1 VERY COARSE SAND 2.5Y 7/6 47.8	58" C1 VERY COARSE SAND 2.5Y 7/6 48.5
120" NO WATER NO MOTTLES	120" NO WATER NO MOTTLES

DATE PERFORMED: JANUARY 18, 2018
 SOIL EVALUATOR: ZACHARY L. BASINSKI, P.E., S.E. #2938
 WITNESSED BY: TERRI GUARINO, HEALTH AGENT



PROJECT NOTES:

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
4. THE POCASSET WATER DISTRICT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY WORK ON THE WATER SYSTEM.
5. PROJECTS ELEVATIONS ARE BASED THE NAVD88 DATUM.

Notes

1. LOCUS: #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23
2. OWNER: GULF COAST REALTY, LLC 736 WASHINGTON STREET SOUTH EASTON, MA 02375
3. DEED REF: Bk: 30391 Pg: 68
4. PLAN REF: Bk: 600 Pg: 35 (LOT K)
5. LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25001C-0504-J dated 07/16/2014.
6. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
7. THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONYER, WETLAND SCIENTIST, ON MARCH 23, 2017.
8. ALL DISTURBED AREAS ARE TO BE STABILIZED WITH LOAM AND SEED.
9. REFER TO ORDER OF CONDITIONS MassDEP File #SET-1989 FOR APPROVED LIMIT OF CLEARING/WORK.
10. LOCUS DOES NOT FALL WITHIN THE TOWN OF BOURNE WATER RESOURCE DISTRICT.
11. EXISTING BUILDING WAS CONSTRUCTED IN 1986.

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 TOWN CLERK DOURNE



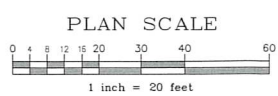
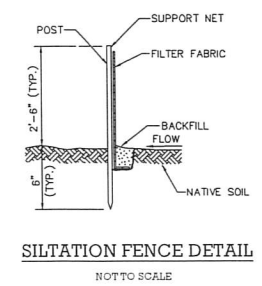
Prepared By:

BRACKEN ENGINEERING, INC.
 49 HERBING POND ROAD BUZZARDS BAY, MA 02532 (tel) 508.833.0070 (fax) 508.833.2282
 19 OLD SOUTH ROAD NANTUCKET, MA 02554 (tel) 508.325.0044 (fax) 508.325.0044 www.brackeneng.com

Sheet Title:

EXISTING CONDITIONS & EROSION CONTROL

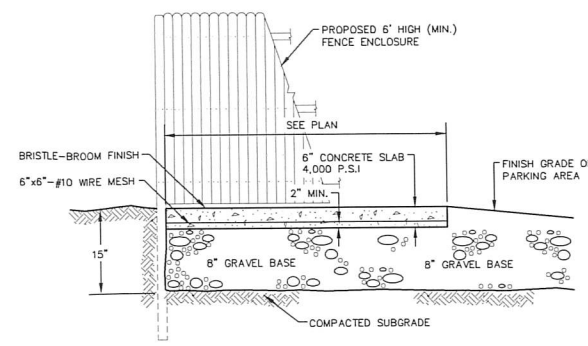
PROPOSED SITE IMPROVEMENT PLAN IN BOURNE, MASSACHUSETTS
 Prepared For:
GULF COAST REALTY, LLC
 #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23



Date:	Drawn:	Checked:	Sheet:
FEBRUARY 12, 2021	RED/RMM/BE	ZLB/AMG	3 of 6

PLANTING SCHEDULE					
SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	QNTY.
GENERAL SITE SHRUBS					
VD	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3'-4" HT	B & B 4' O/C	9
HMNB	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	24"-30" HT	5 GAL. 5' O/C	10
HMES	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	PINK LARGE LEAF HYDRANGEA	24"-30" HT	3 GAL. 5' O/C	6
JCOG	JUNIPERUS CHINENSIS 'OLD GOLD'	OLD GOLD SPREADING JUNIPER	18"-24" SPR	3 GAL. 5' O/C	15
MP	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	18"-24" SPR	3 GAL. 5' O/C	5
TOS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HT	B & B 4' O/C	4
AC	AMELANCHIER CANADENSIS	SHADBUSH	5'-6' HT	B & B 8' O/C	4
CA	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	18"-24" HT	3 GAL. 5' O/C	7
CS	CORNUS STOLONIFERA	REDOSEIR DOGWOOD	18"-24" HT	3 GAL. 5' O/C	9
HHR	HEMEROCALIS HAPPY RETURNS	DWARF LEMON YELLOW DAYLILY	15"-18" HT	1 GAL. 52 O/C	120
GENERAL SITE TREES					
ARB	ACER RUBRUM 'BOWHALL'	BOWHALL COLUMNAR RED MAPLE	3" CAL.	B & B	3
PCC	PURUS CALLERYANA 'CHANTICLEER'	CLEVELAND SELECT CALLERY PEAR	3" CAL.	B & B	1
HERBACEOUS LAYER IN RAIN GARDEN					
IV	IRIS VERSICOLOR	BLUE FLAG IRIS	36" HT	1 qt. - 24" O/C	25
SHRUBS AT RAIN GARDEN					
CA	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SWEET PEPPERBUSH	18"-24" HT	3 GAL. 5' O/C	3
JHW	JUNIPERUS HORIZONTALIS 'WILTONI'	WILTONI GROUND JUNIPER	18"-24" SPR	3 GAL. 4' O/C	20

PLANTING SUMMARY			
per \$3500			
USE	REQUIRED	REQUIRED	PROVIDED
TREES	PLANTING AREA LENGTH / 30 = 6		6
SHRUBS	PLANTING AREA LENGTH / 3 = 69		89

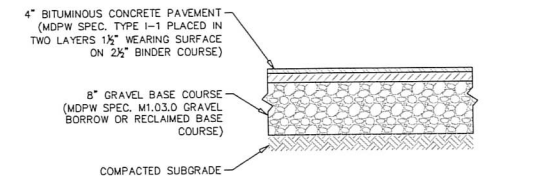


CONCRETE PAD and FENCE FOR TRASH CONTAINER
NOT TO SCALE

ZONING SUMMARY			
ZONING DISTRICT: B-2	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 S.F.	36,180 S.F.	36,180 S.F.
PRIMARY FRONT YARD	30'(MIN.)	51'±	51'±
PRIMARY SIDE YARD	12'(MIN.)	19'±	19'±
PRIMARY REAR YARD	12'(MIN.)	43'±	25'±
MAXIMUM LOT COVERAGE	50% (MAX.)	2.6%	5.9%
MAXIMUM HEIGHT	35' (MAX.)	<35'	<35'

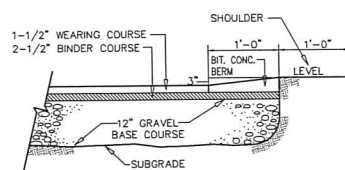
PARKING SUMMARY	
per \$2853	
REQUIRED PARKING:	
1 SPACES PER 180 S.F. (OFFICE & RETAIL SPACES)	
1,441 S.F. TOTAL = 8 SPACES REQUIRED	9 SPACES PROVIDED

ADA PARKING SUMMARY	
per §521 CMR 23.2.1	
REQUIRED:	
TOTAL PARKING SPACES = 9	
MIN. ACCESSIBLE SPACES REQUIRED = 1 (MIN. of 1 VAN ACCESSIBLE)	
PROVIDED:	
(1) ACCESSIBLE SPACES TOTAL	
(1) VAN ACCESSIBLE SPACE	

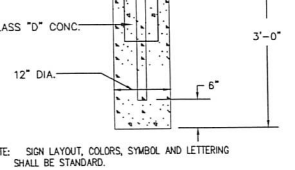
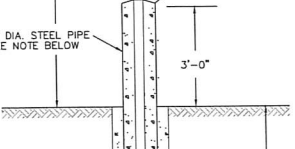
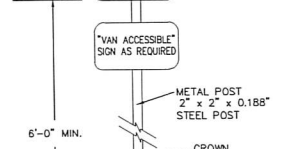


- NOTE:
- SANDY LOAM and/or LOAMY SAND TOPSOIL MATERIAL SHALL BE EXCAVATED FROM ALL PAVED AREAS PRIOR TO SUB-BASE INSTALLATION.
 - SUB-GRADE (EXISTING MATERIAL) SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE and/or COARSE SAND, FREE FROM LOAM and CLAY TO A DEPTH NOT LESS THAN 4 FEET BELOW THE FINISH PAVEMENT SURFACE.
 - SUBGRADE FILL SHALL BE COMPACTED TO 95% COMPACTION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH and LOCATION.
 - SEE GRADING PLAN FOR PAVEMENT SLOPE and CROSS SLOPE.
 - PRIOR TO INSTALLING THE WEARING COURSE, THE EXISTING BINDER COURSE SURFACE SHALL BE SWEEPED COMPLETELY CLEAN BY A STREET SWEEPING MACHINE AND A TACK COAT SHALL BE INSTALLED TO A LEVEL APPROVED BY THE ENGINEER.

PARKING AREA PAVEMENT SECTION
NOT TO SCALE

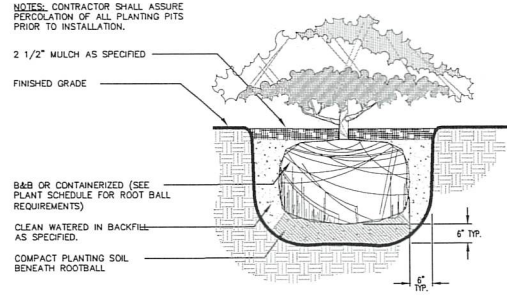


CAPE COD BERM
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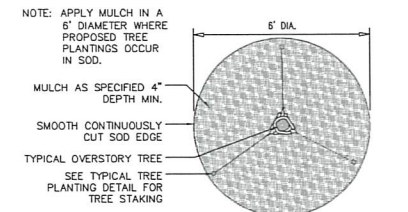


HANDICAP PARKING SIGN
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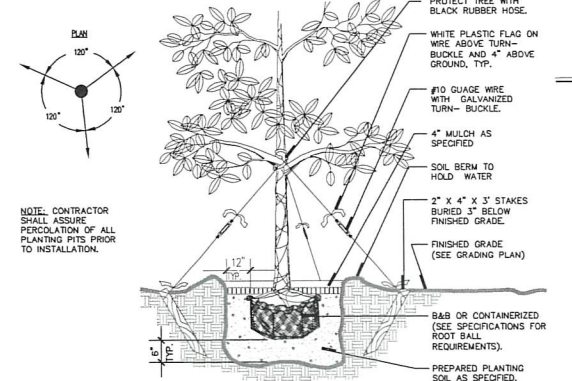
LANDSCAPE PLAN
PROVIDED BY:
ED FULLER
LANDSCAPE ARCHITECT
24 SCOTT DRIVE
PLYMOUTH MA, 02360



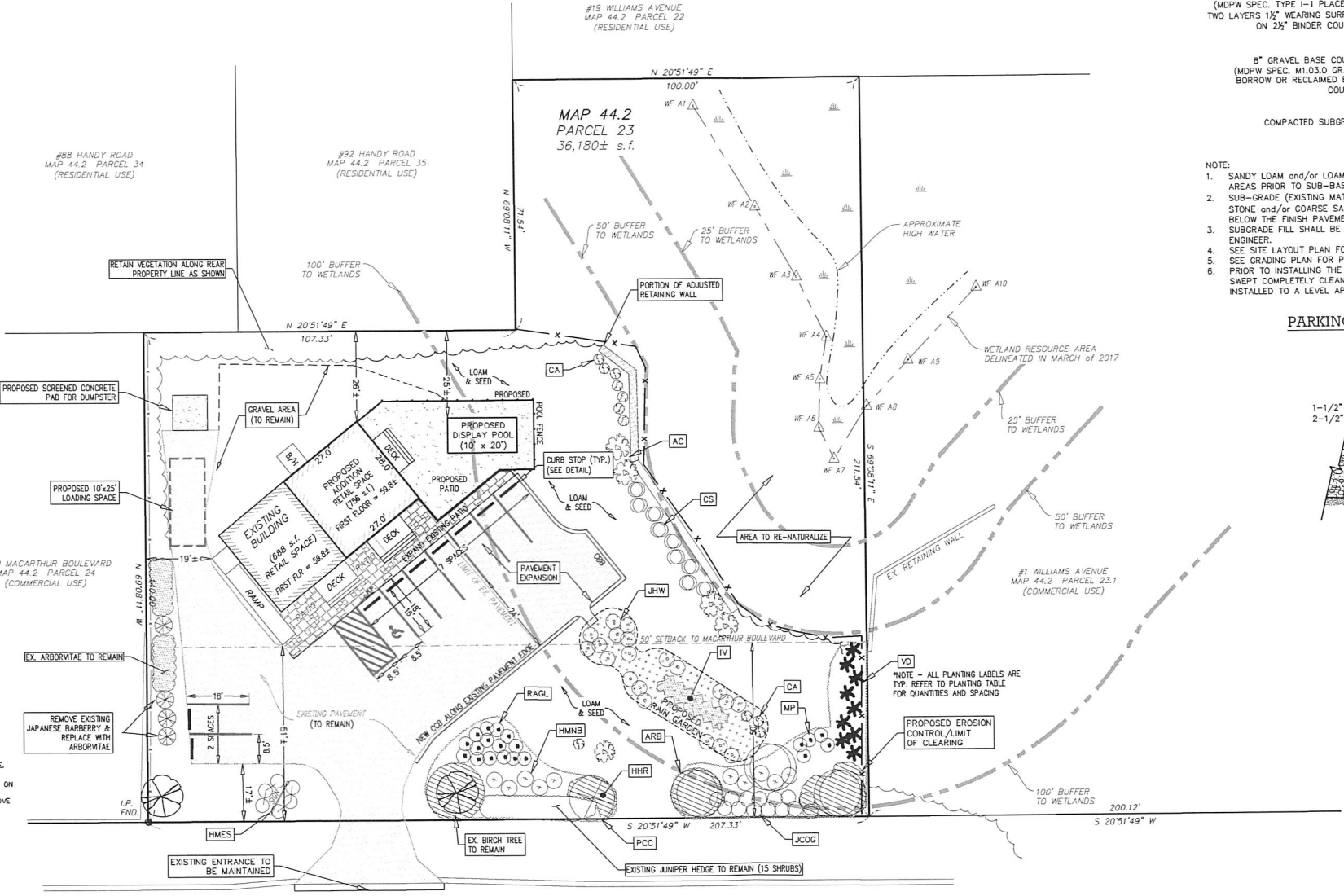
SHRUB PLANTING DETAIL
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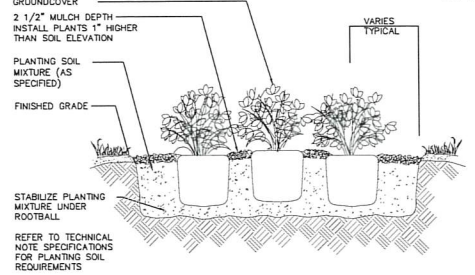
MULCH RING IN SOD AREA DETAIL
NOT TO SCALE



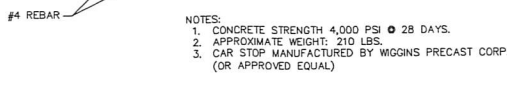
LARGE TREE PLANTING DETAIL
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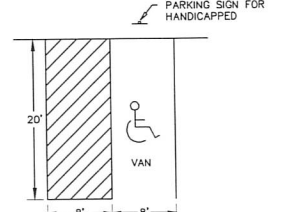
MACARTHUR BOULEVARD



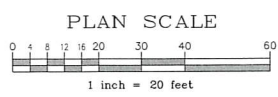
GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



CURB STOP DETAIL
NOT TO SCALE



HANDICAP PARKING DETAIL
NOT TO SCALE

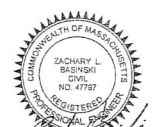
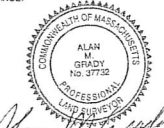


GENERAL NOTES

- LOCUS: #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23
- OWNER: GULF COAST REALTY, LLC 736 WASHINGTON STREET SOUTH EASTON, MA 02375
- DEED REF: Bk 30391 Pg 68
- PLAN REF: Bk 600 Pg 35 (LOT K)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 25001C-0504-J dated 07/16/2014.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONVER, WETLAND SCIENTIST, ON MARCH 23, 2017.
- REFER TO ORDER OF CONDITIONS MassDep File #SET-1989 FOR APPROVED LIMIT OF CLEARING/WORK.

LANDSCAPING NOTES

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 4" ACED PINEBARK MULCH SHALL BE APPLIED TO ALL SHRUB & GROUNDCOVER BEDS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 1 PART OF DEHYDRATED COW MANURE. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEEDING OR SODDING AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6"± CORRECTED TOPSOIL AFTER TOP-SOIL IS SPREAD EVENLY OVER ENTIRE AREA. ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS, LIME AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEASON SHALL RECEIVE 6"± CORRECTED TOPSOIL AFTER TOP-SOIL IS SPREAD EVENLY OVER ENTIRE AREA. ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- ANY CHANGES IN PLANT LOCATIONS OR TYPE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS SHOWN ON GRADING PLAN) TO REMOVE TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL STRIP and STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- FOR SEED AND SOD AREAS G.C. TO USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH and TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN.
- ALL TREES, SHRUBS AND SOD SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER ACCEPTANCE.



Prepared By:
BRACKEN ENGINEERING, INC.
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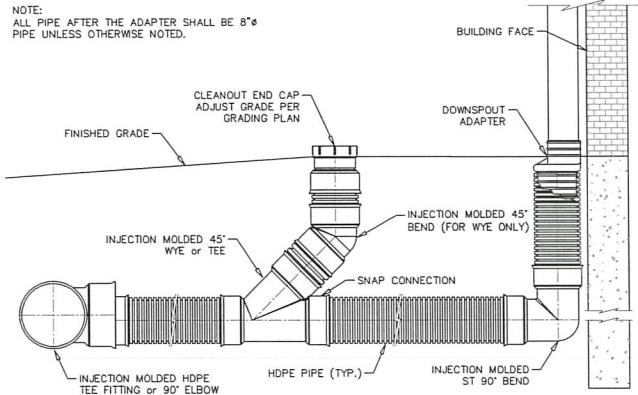
Sheet Title:
LAYOUT, ZONING and LANDSCAPING
PROPOSED SITE IMPROVEMENT PLAN IN BOURNE, MASSACHUSETTS
Prepared For:
GULF COAST REALTY, LLC
#724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23

No.	Date	Revision Description	By
1	6/30/21	ADD REVISED PLANTING PLAN	JPH
2	1/13/22	REVISE PLANTINGS per CONSERVATION AGENT COMMENTS	JPH

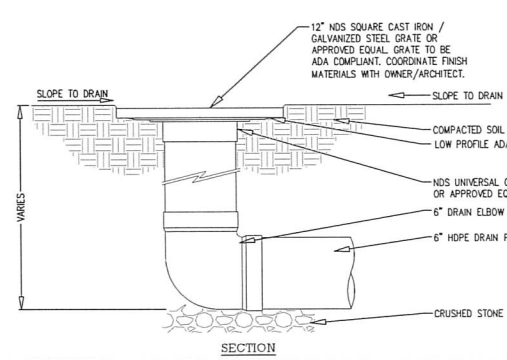
Date: FEBRUARY 12, 2021
Drawn: RED/RMM/BEI
Checked: ZLB/AMG
Sheet: 4 of 6

PERMIT SET - NOT FOR CONSTRUCTION

NOTE:
ALL PIPE AFTER THE ADAPTER SHALL BE 8" PIPE UNLESS OTHERWISE NOTED.

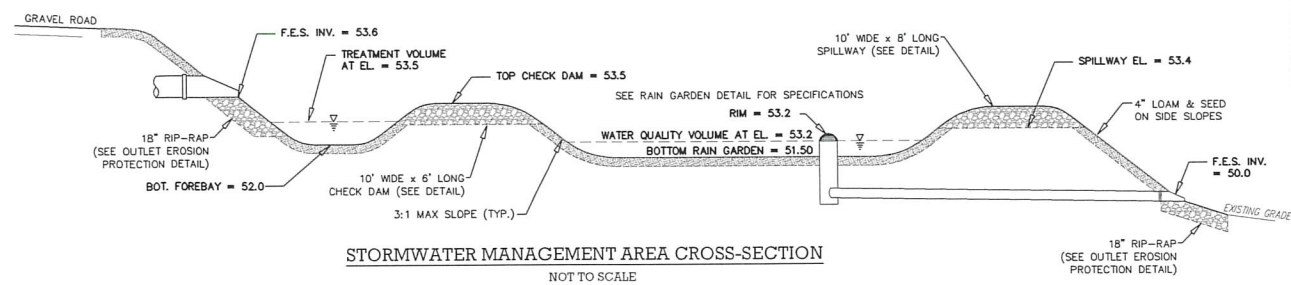


TYPICAL ROOF DRAIN DETAIL
NOT TO SCALE

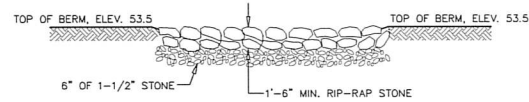


NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

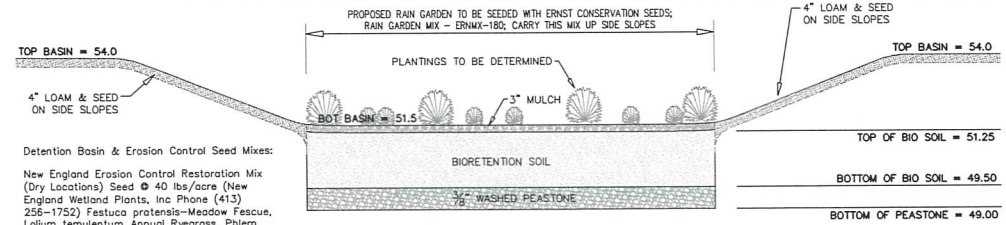
NDS LOW PROFILE ADAPTER AND ELBOW
NOT TO SCALE



STORMWATER MANAGEMENT AREA CROSS-SECTION
NOT TO SCALE



CHECK DAM CROSS-SECTION
NOT TO SCALE

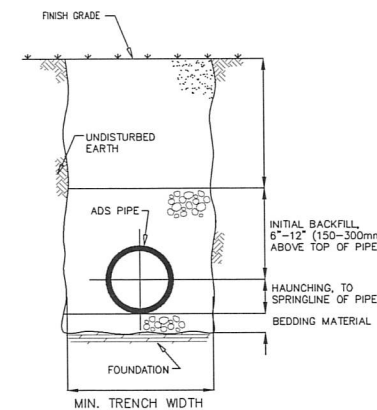


USE ENGINEERED SOIL MIX FOR BIORETENTION/RAIN GARDEN SYSTEMS

- THE SOIL MIX SHOULD BE A MIXTURE OF SAND, COMPOST AND SOIL (40% SAND; 20-30% TOPSOIL; 30-40% COMPOST)
- THE SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN 2 INCHES. CLAY CONTENT SHOULD NOT EXCEED 3%.
- SOIL PH SHOULD GENERALLY BE BETWEEN 5.5-6.5.
- USE SOILS WITH 1.5% TO 3% ORGANIC CONTENT AND MAXIMUM 500 PPM SOLUBLE SALTS.
- THE SAND COMPONENT SHOULD BE GRAVELY SAND THAT MEETS ASTM D422.

- THE TOPSOIL COMPONENT SHALL BE A LOAMY SAND TEXTURE.
- THE COMPOST COMPONENT MUST BE PROCESSED FROM YARD WASTE IN ACCORDANCE WITH MASSDEP GUIDELINES (SEE [HTTP://WWW.MASS.GOV/DEP/RECYCLE/REDUCE/LEAFGUID.DOC](http://www.mass.gov/dep/recycle/reduce/leafguid.doc)). THE COMPOST MUST NOT CONTAIN BIOSOLIDS.
- ON-SITE SOIL MIXING OR PLACEMENT IS NOT ALLOWED IF SOIL IS SATURATED OR SUBJECT TO WATER WITHIN 48 HOURS. COVER AND STORE SOIL TO PREVENT WETTING OR SATURATION.
- PLACE PLANTING SOILS IN 6" LIFTS AND COMPACT WITH MINIMAL PRESSURE UNTIL THE DESIRED ELEVATION IS REACHED.

RAIN GARDEN CROSS-SECTION
NOT TO SCALE

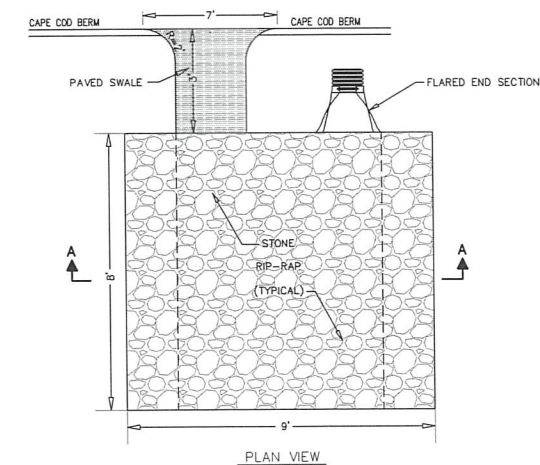


NOTES:
1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321. "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

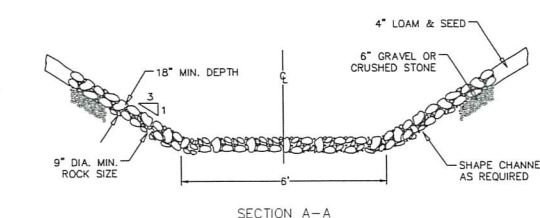
SEVE SIZES	PASSING
3/4"	85-95%
NO. 4	5-15%
NO. 8	0-2%

MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100-600MM) AND 42"-48" (1050-1200MM) CORRUGATED POLYETHYLENE PIPE (CPEP); 8" (150MM) FOR 30"-36" (750-900MM) CPEP.

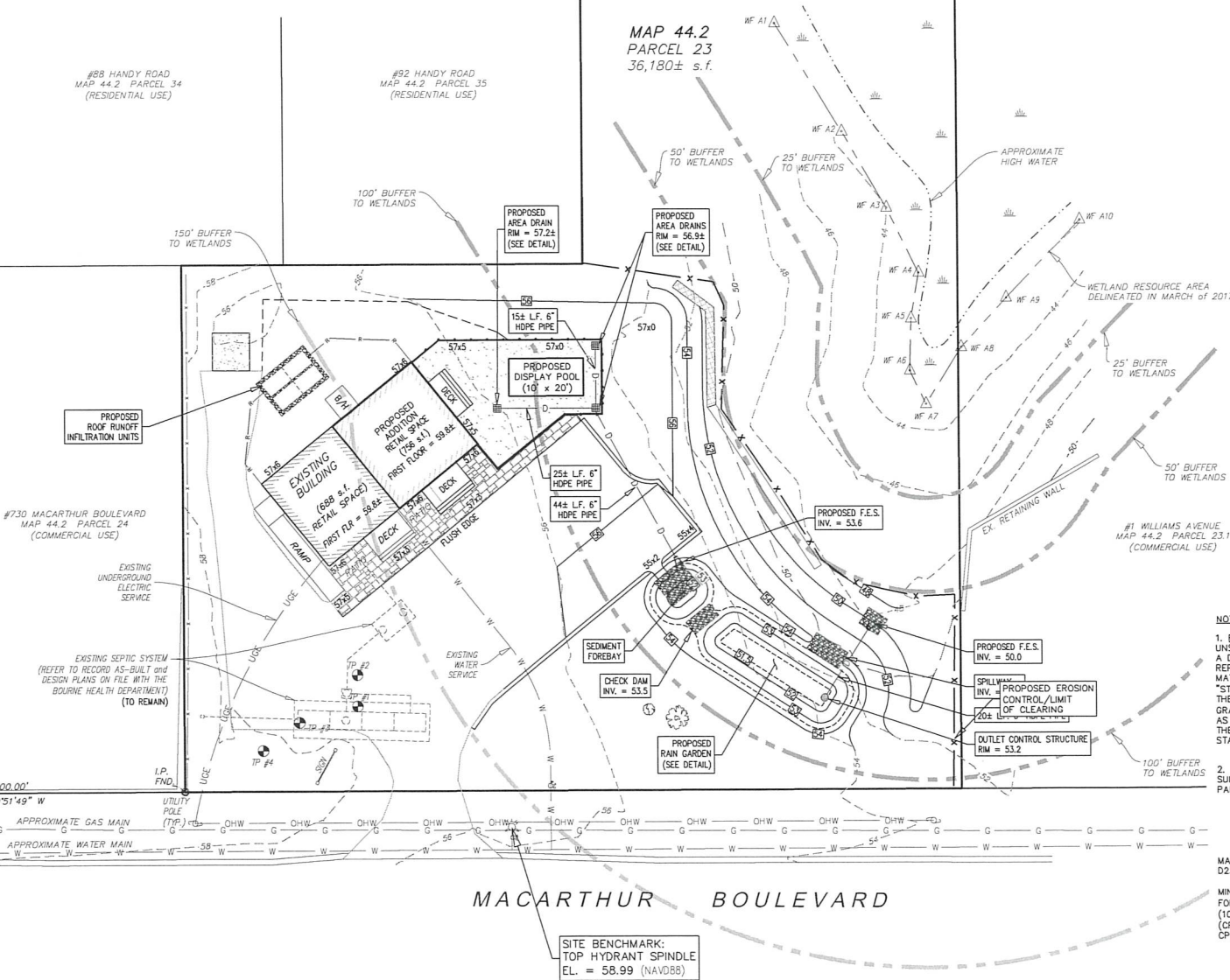
TRENCH CROSS-SECTION & A.D.S. PIPE INSTALLATION DETAIL
NOT TO SCALE



PLAN VIEW



OUTLET EROSION PROTECTION DETAIL
NOT TO SCALE



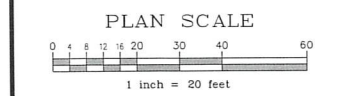
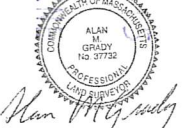
MACARTHUR BOULEVARD

SITE BENCHMARK:
TOP HYDRANT SPINDLE
EL. = 58.99 (NAVD85)

GENERAL NOTES

- BENCHMARK: ELEVATION = 58.99 (NAVD85) TOP OF HYDRANT SPINDLE
- LOCUS: #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23
- OWNER: GULF COAST REALTY, LLC 736 WASHINGTON STREET SOUTH EASTON, MA 02375
- DEED REF: Bk: 30391 Pg: 68
- PLAN REF: Bk: 600 Pg: 35 (LOT 4)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 25001C-0504-J dated 07/16/2014.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE AND PRIORITY HABITATS OF RARE SPECIES.
- THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONTER, WETLAND SCIENTIST, ON MARCH 23, 2017.
- REFER TO ORDER OF CONDITIONS MassDEP File #SE7-1999 FOR APPROVED LIMIT OF CLEARING/WORK.

PROPOSED 15' MIN. TOWN CLEAR DISTANCE

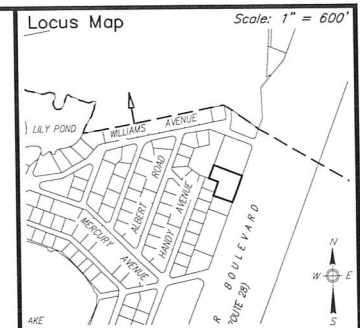
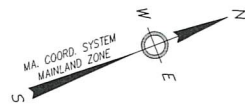


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Sheet Title:
GRADING, DRAINAGE & UTILITIES
PROPOSED SITE IMPROVEMENT PLAN IN BOURNE, MASSACHUSETTS
Prepared For:
GULF COAST REALTY, LLC
#724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23

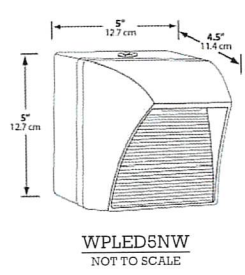
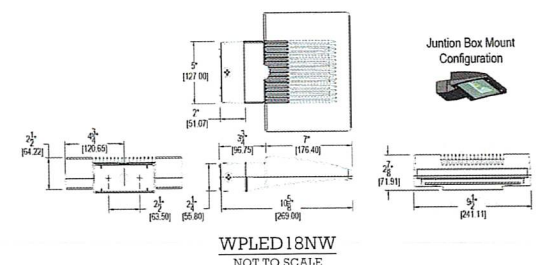
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2	1/13/22	REVISE PLANTINGS per CONSERVATION AGENT COMMENTS	JPH
1	6/30/21	ADD REVISED PLANTING PLAN	JPH

Date: FEBRUARY 12, 2021 Drawn: RED/RMM/BE Checked: ZLB/AMG Sheet: 5 of 6



GENERAL NOTES

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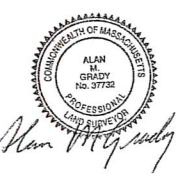


LUMINAIRE SCHEDULE

SYMBOL	QUANTITY	ARRANGEMENT	DESCRIPTION	MOUNT HEIGHT
WPLED6	2	WALL PACK	R&B LIGHTING LED 6 WATT WALLPACK - WHITE	10.0'
WPLED18	3	WALL PACK	R&B LIGHTING LED 18 WATT WALLPACK - WHITE	10.0'

LIGHTING CONSTRUCTION NOTES

- ALL LIGHT FIXTURES ARE TO BE DARK SKY COMPLIANT.
- ALL FIXTURES ARE TO BE SITED SO AS TO PREVENT LIGHT INTRUSION ON TO ADJUTING PROPERTIES AND ADJACENT ROADWAYS.



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LIGHTING PLAN

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