- THE GENERAL CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS AND/OR DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND IDENTIFY ANY DISCREPANCIES TO THE ARCHITECT,
- 2. ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES UNDER WHICH THEY ARE
- PERFORMED.

  3. THE CONTRACTOR SHALL VERIEY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, THE CONTRACTOR SHALL VERIEY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES, AND ANCHOR BOLTS AS REGUINED BY ALL TRADES.

  4. IT SHALL BE THE SENERAL CONTRACTORS RESPONSIBILITY AS COORDINATOR TO CHECK ALL DIMENSIONS AND DETAILS ON SHOP DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL LINES, GRADES, ELEVATIONS AND MEASUREMENTS OF THE BUILDING. VERIFY ALL DIMENSIONS & DETAILS PRIOR TO
- STARTING CONSTRUCTION.

  6. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED 1. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED
- 8. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL PLYMBING, ELECTRICAL & MECHANICAL W THE OWNER PRIOR TO CONSTRUCTION.
- 4. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING ARE BY OTHERS AND NOT INCLUDED IN THESE DRAWINGS.
- IA ALL MILL WORK IS BY OTHERS
- II. ALL HINGE SIDE OF DOOR JAMBS TO BE 5" FROM INSIDE WALL UNLESS OTHERWISE NOTED
- 12. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED
  13. PROVIDE PRESSURE TREATED MOOD AT ALL FRAMING LOCATIONS WHERE MOOD IS IN CONTACT WITH CONCRETE.

#### FOUNDATION AND CONCRETE NOTES:

- THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, BEDROCK, OR STRUCTURAL FILL HAYING A MINIMA ALLOMABLE BEARING PRESSURE OF 3,000 PSF.
- 2. THE BOTTOM OF FOOTINGS SHALL MATCH THE EXISTING ADJACENT FOOTING, BUT SHALL BE A THE BOTTOM OF FOOTINGS SHALL MATCH THE EXISTING ADJACENT FOOTING, BUT SHALL BE A MINIMAM OF 3"-4" BELDAY FINISH GRADE, ELEVATIONS GIVEN AS BOTTOM OF FOOTINGS ARE WINIMAM DEPTING, AND ARE NOT DO BE CONSTRUED AS LIMITING IN ANY WAY TO THE DEPTIN OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL
- WHERE MINITABLE BEARING MATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH INTEREMINISTRABLE
  BEARING HATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL AND REPLACE IT MITH A CLEAN
  COMPACTED GRANULAR FILL COMPACT ALL GRANULAR FILL TO 95% MAXIMM DIXY DISBLYING.
- 4. NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND, NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
- BOTTOM OF FOOTING EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO BOTTOM OF FOOTING
  EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO PLACEMENT OF CONCRETE.
   WHERE FOUNDATIONS ARE TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED WHERE FOUNDATIONS ARE
- TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED SIMULTANEOUSLY, MAINTAINING A COMMON
- 1. CONTRACTOR SHALL PROVIDE CONTINUOUS CONTROL OF SURFACE AND VINDERGROUND WATER AS CONTRACTOR SHALL PROVIDE CONTINIOUS CONTROL OF SURFACE AND UNDERGROUND WATER AS REQUIRED DURING CONSTRUCTION SUCH THAT WORK IS DONE IN THE DRY, CONTRACTOR SHALL INSURE THAT GROUNDWATER LEVELS UNDER ADJACENT STRUCTURES ARE NOT LOWERED BY HIS CONSTRUCTION TECHNIQUES.
- 6. WITHIN THE BUILDING AREA AND 5 FEET BEYOND, EACH SIDE, ANY UNSUITABLE ORGANIC WITHIN THE BUILDING AREA AND 5 FEET BEYOND, EACH SIDE, ANY UNSUITABLE ORGANIC SOILS AND EXISTING FILL SHALL BE REMOVED, UNTIL SUITABLE MATERIAL IS ENCOUNTERED AND REPLACED WITH COMPACTED GRANULAR FILL.

- I. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318).
- DETAILS NOT SHOWN SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL, DETAILS NOT SHOWN SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL.
- 3. CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND, CONCRETE SHALL NOT BE CAST IN WATER OR
- 4. CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & 301 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENSTH AT 28 DAYS OF THE FOLLOWING:

FOUNDATION AND FOOTINGS: 3000 PSI SLAB ON GRADE: 4000 PSI

CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOW (SEE ACI 318 FOR CLEAR CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOW (SEE ACI 318 FOR CONDITIONS NOT NOTED);

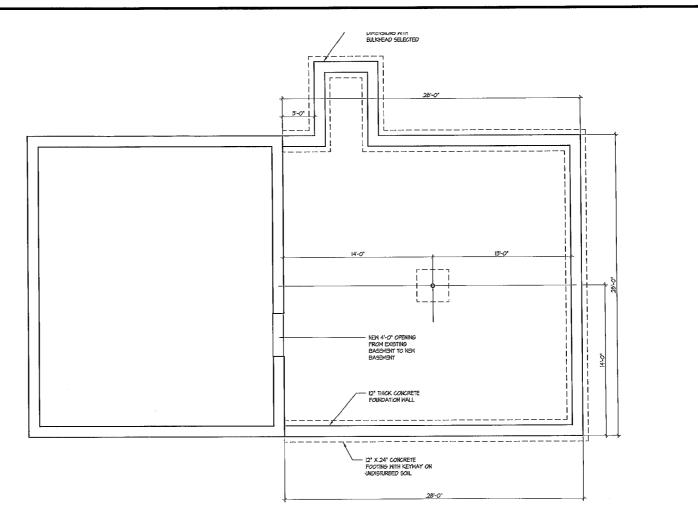
FOOTINGS: 3 INCHES

WALLS AND PIERS (U.N.O.) 1-1/2 INCHES

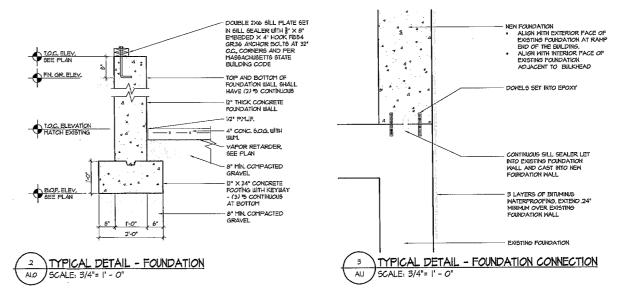
- PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER.
- ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE, BARS TO BE ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE, BARS TO BE SECURELY WIRED TOGETHER AND PROTECTED AGAINST DISPLACEMENT BEFORE AND DURING PLACEMENT OF CONCRETE.
- BARS SHALL BE NEW BILLET STEEL, CONFORMING WITH ASTM A615 GRADE 60. BARS SHALL BE NEW BILLET STEEL CONFORMING WITH ASTM A615 GRADE 60.
- DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT EDITION.
- IO. REINFORCING STEEL SHALL BE LAPPED A MINIMAM OF 40 BAR DIAMETERS UNLESS NOTED REINFORCING STEEL SHALL BE LAPPED A MINIMAM OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- II. WHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL RUN CONTINUOUSLY AROUND CORNERS PHERE CONTINUOUS BARS ARE CALLED FOR, THEY SHALL RUN CONTINUOUSLY AROUND CORNERS AND BE LAPPED AT RECESSARY SPLICES, OR HOOKED AT DISCONTINUOUS BIDS.
- 12. WELDED WIRE FABRIC SHALL CONFORM TO ASTM AIRS AND BE LAPPED 6", WELDED WIRE FABRIC SHALL CONFORM TO ASTM AIRS AND BE LAPPED 6".
- 13. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO FABRICATION

## WORKING NOTES:

- ALIGN FACE OF NEW FOUNDATION WALL WITH FACE OF EXISTING FOUNDATION WALL.
- 2 SET TOP OF FOUNDATION WALL TO ALLOW FOR NEW FLOOR JOISTS AND FLOOR TO BE FILLER WITH EXISTING FLOOR.
  3 UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM FACE OF NOOD STUDG OR CONCRETE.









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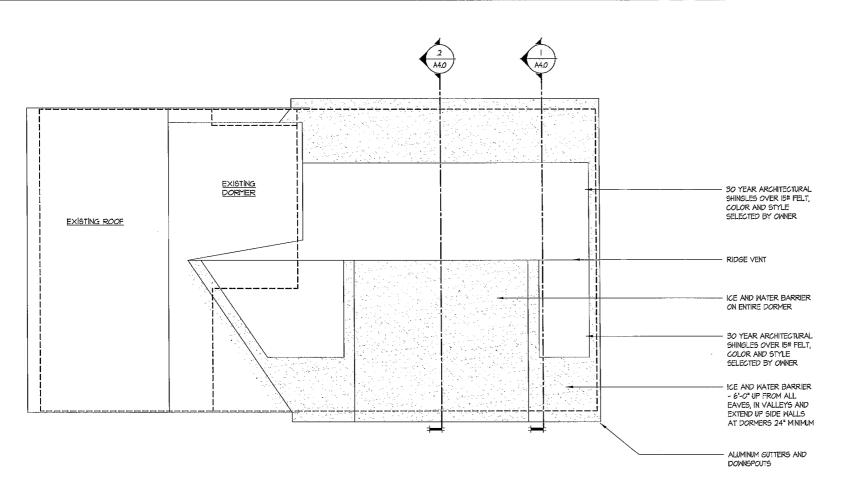
# WAYNE **JOHN JACQUES**

ARCHITECTURAL DESIGN

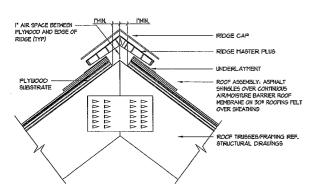
43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850 Fax:

www.jacquesco@attbi.com

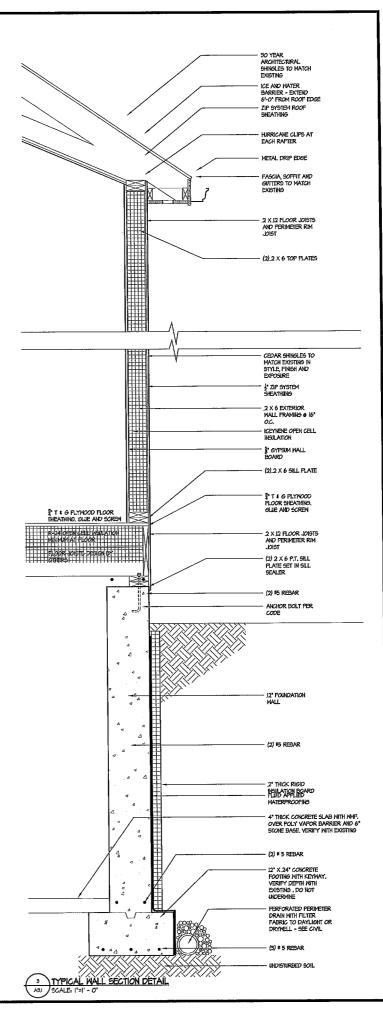
BASEMENT PLAN 201816 WJJ WJJ CHECKED BY: DATE ISSUED: JANUARY 26, 2021 1/4" = 1' - 0"



ROOF PLAN ABJ SCALE: 1/4"=1" - O"



2 ROOF RIDGE VENT DETAIL A3J SCALE: | I/2"=|" - 0"



CONSULTANT LOGO:

THIS DRAWINGES A PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS. REFER TO CALL DRAWINGS, AND SHEETINGS INCLUDING BUT NOT LIMITED TO "SIRREAL CONDITIONS," SUMMARY OF WORK" AND REPORTATIONS.

REPERT TO ALL OF THE DRAWINGS FOR COMPLETE SCOPE OF WORK AND RENAMED AND REPORTS.

THIS DRAWINGES MOT TO BE SCALED AND JOR USED AS AN AS BUILT.

REVISIONS

No. DATE DESCRIPTION

PROJECT NAME:

EASTON
POOLS

724 MacARTHUR BLVD
POCASSET, MA 02559

# WAYNE JOHN JACQUES

ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850

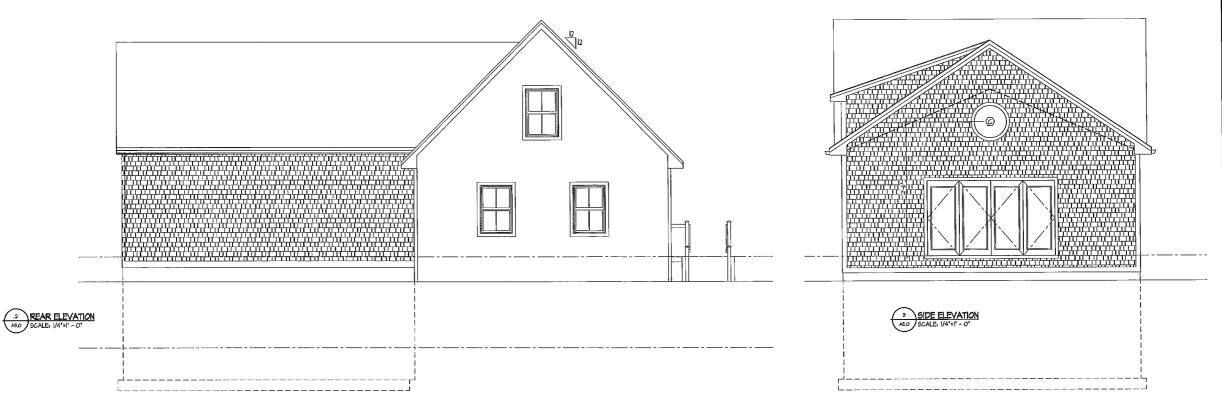
Fax: www.jacquesco@attbi.com

SHEET TITLE:
ROOF PLAN

JOB NUMBER: 201816
DRAWN BY: WJJ
CHECKED BY: WJJ
DATE ISSUED: JANUARY 26, 2021
SCALE: 1/4" = 1' - 0"

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# WAYNE JOHN JACQUES

ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850

Fax; www.jacquesco@attbi.com

JOB NUMBER:	201816
DRAWN BY:	Mil
CHECKED BY:	WJJ
DATE ISSUED:	JANUARY 26, 202
SCALE:	1/4" = 1" - 0"

A5.0

- THE GENERAL CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS AND/OR DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND IDENTIFY ANY DISCREPANCIES TO THE ARCHITECT.
- 2. ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES UNDER WHICH THEY ARE
- 2. ALL DURISHOUTS HALL CURRENT TO ALL BOVERNING COVER AND ORDINANCES UNDER MINISH HE! AND PREFERENCES WHICH THE HE! AND LOCATION OF ALL OPENINGS, THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, SLEEVES, AND ANCHOR BOLTS AS REQUIRED BY ALL TRADES.

  4. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY AS COORDINATOR TO CHECK ALL DIMENSIONS AND DETAILS ON SHOP DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT.
- 5. THE GENERAL CONTRACTOR SHALL LAY OUT ALL MORK AND BE RESPONSIBLE FOR ALL LINES, GRADES, ELEVATIONS AND MEASUREMENTS OF THE BUILDING. VERIFY ALL DIMENSIONS & DETAILS PRIOR TO STARTING CONSTRUCTION.
  6. HIGHED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRANNINGS, EXCEPT WHERE NOTED
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL PLUMBING, ELECTRICAL & MECHANICAL W
  THE OWNER PRIOR TO CONSTRUCTION.
- 9. STRUCTURAL, MECHANICAL, ELECTRICAL, PLIMBING ARE BY OTHERS AND NOT INCLUDED IN THESE DRAWINGS. IO ALL MILLWORK IS BY OTHERS
- II. ALL HINGE SIDE OF DOOR JAMBS TO BE 5' FROM INSIDE WALL UNLESS OTHERWISE NOTED
- 12. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED
  13. PROVIDE PRESSURE TREATED WOOD AT ALL FRAMING LOCATIONS WHERE WOOD IS IN CONTACT WITH CONCRETE,

## FOUNDATION AND CONCRETE NOTES:

- THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED THE BOTTOM SURFACE OF CONTINUOUS AND SPREAD FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, BEDROCK, OR STRUCTURAL FILL HAVING A MINIMUM ALL
- 2. THE BOTTOM OF FOOTINGS SHALL MATCH THE EXISTING ADJACENT FOOTING, BUT SHALL BE A THE BOTTOM OF FOOTINGS SHALL MATCH THE EXISTING ADJACENT FOOTING, BUT SHALL BE A MINIMM OF 3"-4" BELLOW FINISH GRADE, ELEVATIONS GIVEN AS BOTTOM OF FOOTINGS ARE MINIMM, DEPINS, AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY TO THE DEPTH OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
- 3. WHERE UNSUITABLE BEARING MATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH WHERE UNSUITABLE BEARING MATERIALS EXIST THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL AND REPLACE IT WITH A CLEAN COMPACTED GRANULAR FILL. COMPACT ALL GRANULAR FILL TO 95% MAXIMM DRY DENSITY.
- 4. NO FOUNDATIONS SHALL BE PLACED IN WATER OR ON FROZEN GROUND, NO FOUNDATIONS SHALL BE PLACED IN
- BOTTOM OF FOOTING EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO BOTTOM OF FOOTING EXCAVATION SHALL BE FINISHED BY HAND AND INSPECTED PRIOR TO PLACEMENT OF CONCRETE.
   WHERE FOUNDATIONS ARE TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED WHERE FOUNDATIONS ARE
- TO HAVE FILL ON BOTH SIDES, EACH SIDE SHALL BE FILLED SIMULTANEOUSLY, MAINTAINING A COMMON
- 1. CONTRACTOR SHALL PROVIDE CONTINUOUS CONTROL OF SURFACE AND UNDERGROUND WATER AS CONTRACTOR SHALL FROVIDE CONTINUOS CONTROL OF SIRFACE AND INDERGRADING MATER AS REGISTED DIRING CONSTRUCTION SUCH THAT MORK IS DONE IN THE DRY, CONTRACTOR SHALL INSURE THAT GROUNDWATER LEVELS UNDER ADJACKET STRUCTURES ARE NOT LOWERED BY HIS CONSTRUCTION SUCH CHICKINGUES.

  MITHIN THE BUILDING AREA AND 5 FEET BEYOND, EACH SIDE, ANY INSUITABLE ORGANIC WITHIN THE BUILDING
- AREA AND 5 FEET BEYOND, EACH SIDE, ANY UNSUITABLE ORGANIC SOILS AND EXISTING FILL SHALL BE REMOVED, UNTIL SUITABLE MATERIAL IS ENCOUNTERED AND REPLACED WITH COMPACTED GRANULAR FILL.

- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-316).
- DETAILS NOT SHOWN SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL, DETAILS NOT SHOWN SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL.
- CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND, CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND.
- 4. CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318 & 301 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF THE FOLLOWING:

FOUNDATION AND FOOTINGS: 3000 PSI

SLAB ON GRADE: 4000 PSI

CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOW (SEE ACI 318 FOR CLEAR CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOW (SEE ACI 318 FOR CONDITIONS NOT NOTED);

FOOTINGS: 3 INCHES

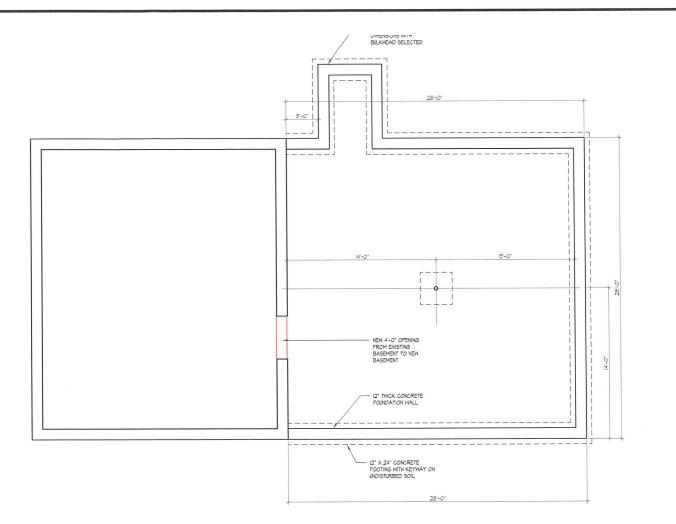
WALLS AND PIERS (U.N.O.) 1-1/2 INCHES

- PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER.
- ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE, BARS TO BE ALL REINFORCING STEEL SHALL BE HELD RIGIDLY AND ACCURATELY IN PLACE, BARS TO BE SECURELY WIRED TOGETHER AND PROTECTED AGAINST DISPLACEMENT BEFORE AND DURING PLACEMENT OF CONCRETE.
- BARS SHALL BE NEW BILLET STEEL CONFORMING WITH ASTM A615 GRADE 60. BARS SHALL BE NEW BILLET STEEL CONFORMING WITH ASTM A615 GRADE 60.
- DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT DETAILS AND ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT EDITION.
- REINFORCING STEEL SHALL BE LAPPED A MINIMM OF 40 BAR DIAMETERS WILESS NOTED REINFORCING STEEL SHALL BE LAPPED A MINIMM OF 40 BAR DIAMETERS WILESS NOTED OTHERWISE.
- II. WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL RUN CONTINUOUSLY AROUND CORNERS WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL RUN CONTINUOUSLY AROUND CORNERS AND BE LAPPED AT NECESSARY SPLICES, OR HOOKED AT DISCONTINUOUS ENDS.
- 12. WELDED WIRE FABRIC SHALL CONFORM TO ASTM AISS AND BE LAPPED 6", WELDED WIRE FABRIC SHALL CONFORM TO ASTM AI85 AND BE LAPPED 6".
- 13. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO SUBMIT SHOP DRAWINGS FOR ARCHITECT AND STRUCTURAL ENGINEER REVIEW PRIOR TO FABRICATION

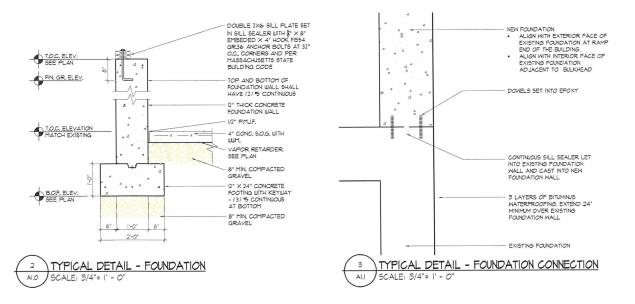
## **WORKING NOTES:**

ALIGN FACE OF NEW FOUNDATION WALL WITH FACE OF EXISTING FOUNDATION WALL.

2 SET TOP OF FOUNDATION WALL TO ALLOW FOR NEW FLOOR JOISTS AND FLOOR TO BE FLUSH WITH EXISTING FLOOR.
3 UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM FACE OF NOOD STUDS OR CONCRETE.









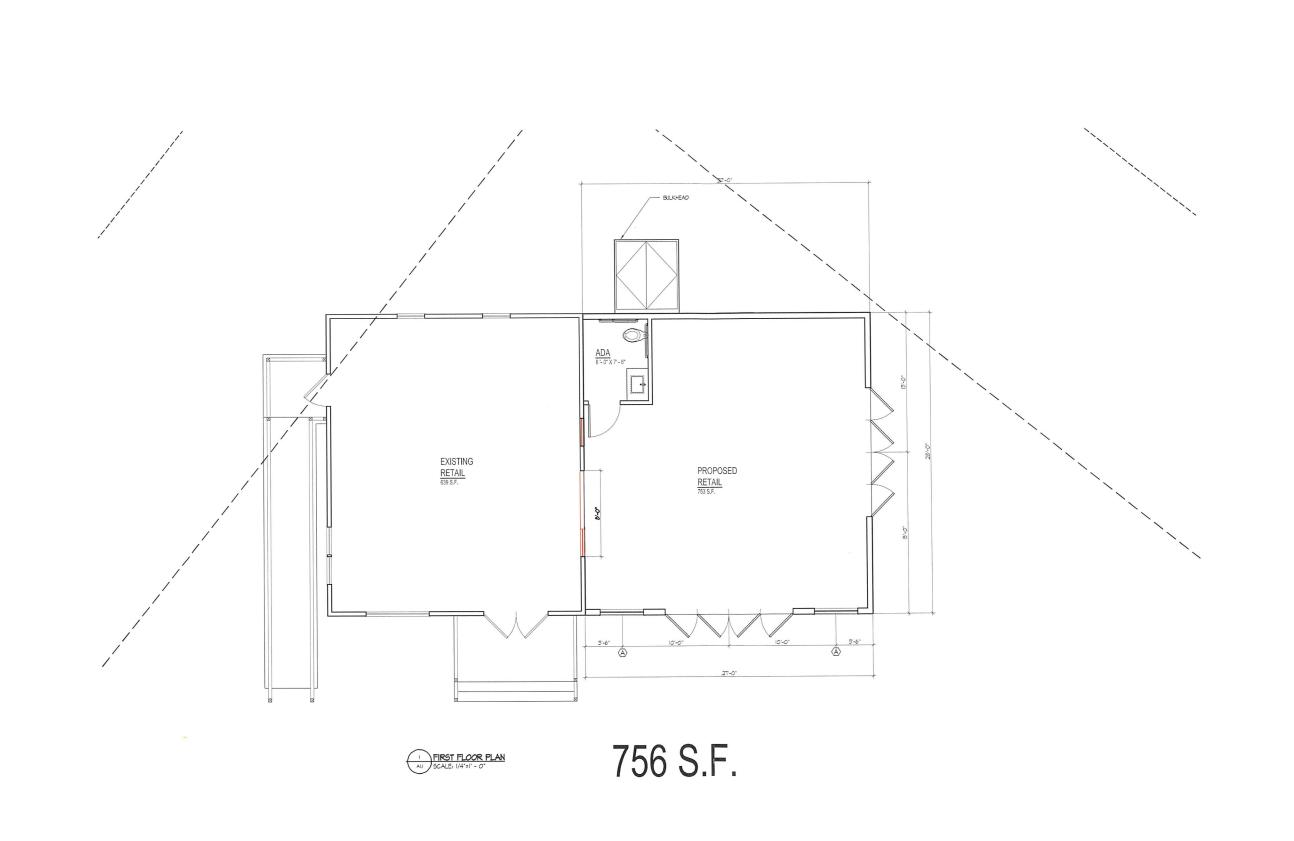
# WAYNE JOHN **JACOUES**

# ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850

Fax: www.jacquesco@attbi.com

BASEMENT PLAN B NUMBER: WII RAWN RY-WJJ HECKED BY: ATE ISSUED: JANUARY 26, 2021 1/4" = 1' - 0"



CONSULTANT LOGO:

THIS DRAWING IS A PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS. REFER TO ALL DRAWINGS AND PARTICIATION SOLUTIONS, "SUMMARY OF YORK" AND ANY APPLICABLE MANUFACTURERS TECHNICAL SPECIFICATIONS.

REFER TO ALL OF THE DRAWINGS FOR COMPLETE SCOPE OF WORK.

THIS DRAWING IS NOT TO BE SCALED AND/OR USED AS AN AS-BUILT.

REVISIONS

No. DATE

PROJECT NAME:

EASTON
POOLS
724 MacARTHUR BLVD
POCASSET, MA 02559

# WAYNE JOHN JACQUES ARCHITECTURAL DESIGN

43 Fieldstone Circle

Middleboro, MA 02346

Phone: 508-320-3850

www.jacquesco@attbi.com

CULLET TIT

FIRST FLOOR PLAN

JOB NUMBER: 201816

DRAWN BY: WJJ
CHECKED BY: WJJ

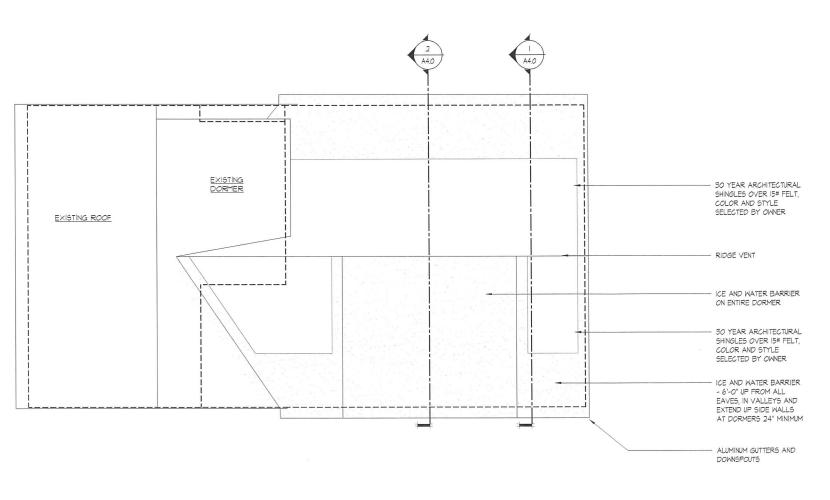
DATE ISSUED: JANUARY 26, 2021

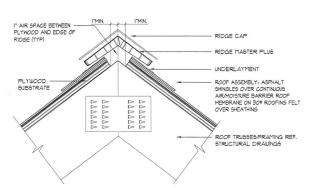
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SHEET NUMBER

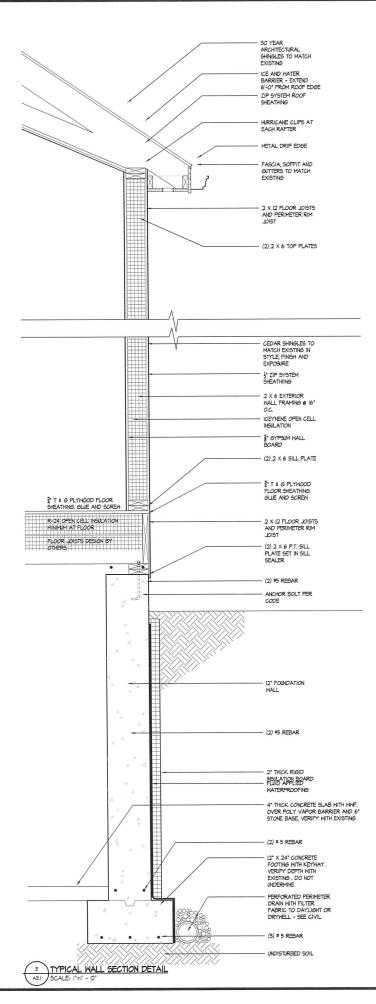
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2 ROOF RIDGE VENT DETAIL A3.1 SCALE: | |/2"=|" - O"



CONSULTANT LOGO:

THIS DRAWING A PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS: REFER TO ALL DRAWING AND SPECIETATIONS, SUMMARY OF WORK AND ANY APPLICATIONS, SUMMARY OF WORK AND ANY APPLICATIONS.

BEERS TO ALL OF THE DRAWINGS FOR COMPLETE SCOPE OF WORK.

THIS DRAWING IS MONOT TO BE SCALED AND/OR USED AS AN AS-BUILT.

REVISIONS

No. DATE DESCRIPTION

FROIECT NAME:

EASTON
POOLS

# WAYNE JOHN JACQUES

724 MacARTHUR BLVD

POCASSET, MA 02559

ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850

Fax: www.jacquesco@attbi.com

SHEET TITLE

ROOF PLAN

JOB NUMBER: 201816

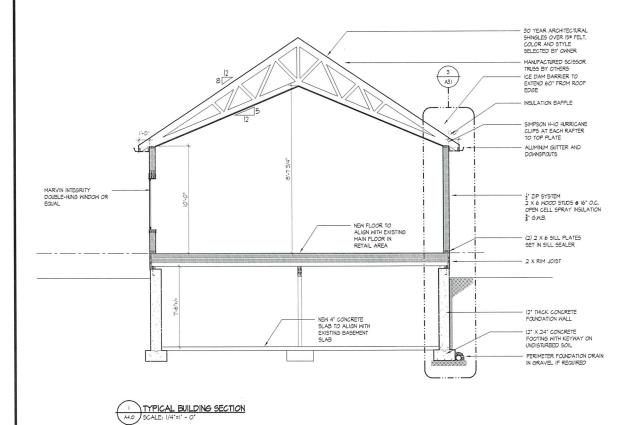
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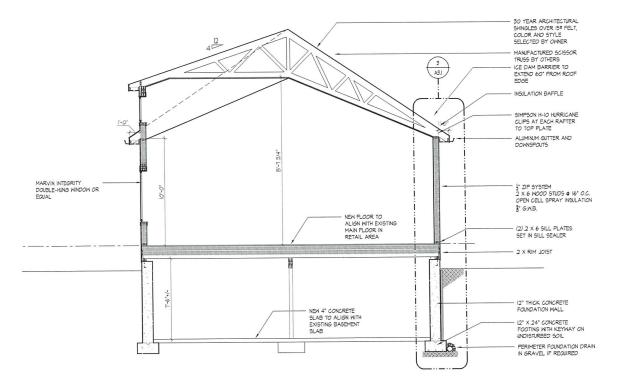
CHECKED BY: WJJ

DATE ISSUED: JANUARY 26, 2021

SCALE: 1/4" = 1' - 0"

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2 BUILDING SECTION AT DORMER
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		EASTON POOLS 24 MacARTHUR BLVD OCASSET, MA 02559

# WAYNE JOHN JACQUES ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346

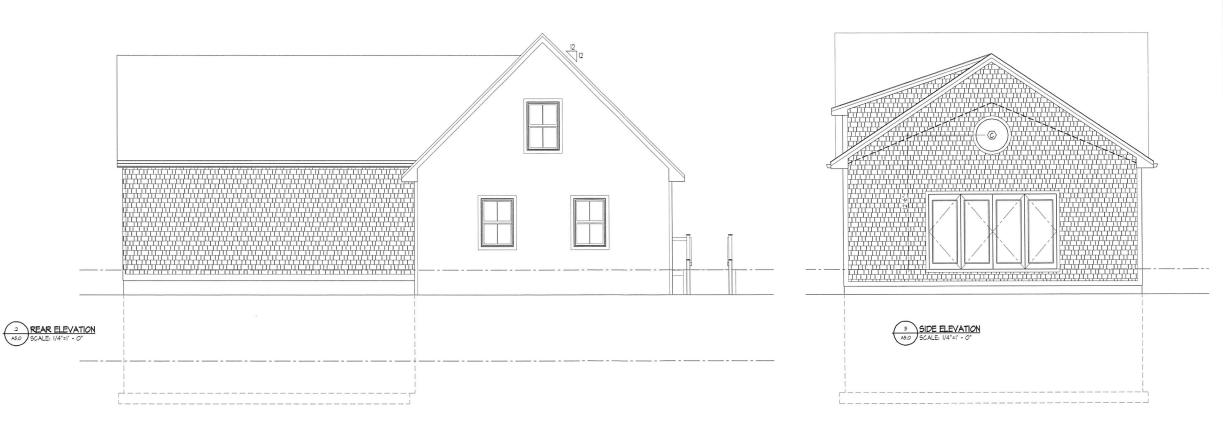
Phone: 508-320-3850

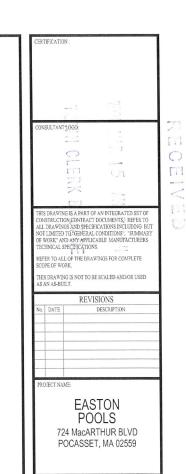
Fax: www.jacquesco@attbi.com

SHEET TITLE: BUILDING	G SECTIONS
JOB NUMBER:	201816
JOB NUMBER: DRAWN BY:	201816 WJJ
DRAWN BY:	WJJ

A4.0







# WAYNE JOHN JACQUES

# ARCHITECTURAL DESIGN

43 Fieldstone Circle Middleboro, MA 02346 Phone: 508-320-3850 Fax: www.jacquesco@attbi.com

EXTERIO	R ELEVATION
IOB NUMBER:	201816
DRAWN BY:	WJJ
	WJJ
CHECKED BY:	
DATE ISSUED:	JANUARY 26,

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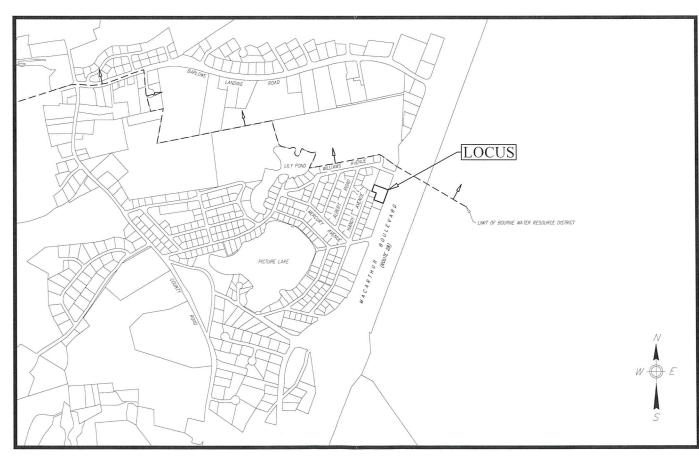
# PROPOSED SITE IMPROVEMENT AT 724 MACARTHUR BOULEVARD BOURNE, MASSACHUSETTS

FEBRUARY 12, 2021

	SHEET INDEX	REVISED DATES	CONSTRUCTION REVISIONS
1	TITLE SHEET	NO CHANGE NO CHANGE	
2	CONSTRUCTION NOTES	NO CHANGE NO CHANGE	
3	EXISTING CONDITIONS & EROSION CONTROL	NO CHANGE NO CHANGE	
4	LAYOUT, ZONING and LANDSCAPING	6/30/21 1/13/22	
5	GRADING, DRAINAGE and UTILITES	NO CHANGE NO CHANGE	
6	LIGHTING PLAN	NO CHANGE NO CHANGE	

- 1. LOCUS: #724 MACARTHUR BOULEVAR
- 2. OWNER: GULF COAST REALTY, LLC 736 WASHINGTON STREET SOUTH FASTON MA 023:
- 3. DEED REF: Bk: 30391 Pg: 68
- 4. PLAN REF: Bk: 600 Pg: 35 (LOT K)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25DD1C-0504-J dated 07/16/2014.
- LOCUS DOES NOT FALL WITHIN A ZONE II WELLHEAD PROTECTION ZONE OR A BOURNE WATER RESOURCE DISTRICT.
- 7. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONYER, WETLAND SCIENTIST, ON MARCH 23, 2017.
- 9. REFER TO ORDER OF CONDITIONS MassDEP File #SE7-1989 FOR APPROVED LIMIT OF CLEARING/WORK.
- #SE/-1989 FOR APPROVED LIMIT OF CLEARING/WORK.

  10. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE THILL FOR PROVIDED BY THE RESPECTIVE THE COMPANIES OF MUNICIPAL TO THE COMPANIES OF MUNICIPAL THE COMPANIES OF THESE LOCATIONS OF THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1—800—322—4844.



LOCUS MAP
Scale: 1" = 600'

CIVIL ENGINEER / LAND SURVEYOR:



BUZZARDS BAY, MA 02532 N

508 833 0070 (Tel) 508.325.004

(Tel) 508.833.0070 (Fax) 508.833.2282 (Tel) 508.325.0044 www.brackeneng.com

OWNER / APPLICANT :

GULF COAST REALTY, LLC 735 WASHINGTON STREET

SOUTH EASTON, MA 02375





## GENERAL CONSTRUCTION NOTES:

- ALL SITE PREPARATION NECESSARY TO COMPLETE THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR
- ALL NECESSARY POLICE DETAIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH THE LOCAL POLICE DEPARTMENT.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS, PAY ALL FRES INCLUDING POLICE DETAILS AND POST ALL BONDS, IF NECESSARY, ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE OWNER AND THE ENGINEER.
- ALL EXISTING CONDITIONS SHOWN SHALL BE CONSIDERED APPROXIMATE AND ARE BASED ON THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOW EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLING ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOW ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASURENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR CONVEITE: THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERHED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR WAST CONTRACT THE APPROPRIATE UTILITY COMPANY, ANY CONVERNING PERMITTING AUTHORITY IN THE TOWN, AND 'IDISSERF (IT ABB-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN PREVIOUSLY UNALTERED AREAS TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESIDE WAS CONFUCTED BY THE PROPROSED UTILITIES AND FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESIDE WAS AND SHALL REPORT HIS PROPROSED UTILITIES AND FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR STORM FIELD UTILITIES AND SHALL REPORT OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE LOCATION AND ELEVATION OF ALL WORK INSTALLED AND EXISTING UTILITIES FOUND DURING CONSTRUCTION FOR THE PREPARATION OF THE AS-BUILT PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. ALL COST RELATED TO THE REPAIR OF UTILITIES SHALL BE DIED RESPONSIBILITY OF THE CONTRACTOR. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL UTILIZE ALL PRECAUTIONS AND MEASURES TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL, AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAIL AND/OR FLAGMEN AS DETERMINED NECESSARY BY THE ENGINEER AND/OR TOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF POLICE DETAIL AND FOR COORDINATING WITH THE LOCAL OR STATE POLICE DEPARTMENT FOR ALL REQUIRED POLICE DETAIL.
- ALL TRENCHING WORK WITHIN A ROADWAY SHALL BE COORDINATED WITH THE PROPER LOCAL & STATE AGENCY. TRENCH SAFETY SHALL BE RESPONSIBILITY OF THE CONTRACTOR INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCHWORK. THIS WORK MAY BE REQUIRED FOR TAKE PLACE QUISTIBLE OF PARTIES FOR THE FACILITY, THE CONTRACTOR SHALL PLAN ACCORDINGLY.
- ALL TRENCH WORK WITHIN EXISTING PAVEMENT SHALL BE SAWCUT PER THE APPLICABLE DETAILS. TRENCHWORK BACKFILL AND COMPACTION SHALL HAVE MAX 8—NICH LIFTS. CONTRACTOR SHALL BE REQUIRED TO REMOVE PATCH AND REPAYE AFTER ONE COMPLETE IS—MONTH CYCLE IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTION AS DETERMINED BY THE ENGINEER WITHIN THE WARRANTY PERIOD. THE CONTRACTOR SHALL MAKE ALL CONNECTION ARRANGEMENTS WITH UTILITY COMPANIES, AS REQUIRED.
- ALL IMPORTED MATERIAL, IF REQUIRED, SHALL BE CLEAN. NO MATERIAL WILL BE ACCEPTED FROM AN EXISTING OR FORMER 21E SITE AS DEFINED BY THE MASSACHUSETTS CONTINGENCY PLAN 310 CMR 40.0000.
- SITE LAYOUT SURVEY REQUIRED FOR CONSTRUCTION WILL BE PROVIDED BY THE CONTRACTOR AND SHALL BE CONDUCTED BY A MASSACHUSETTS
  REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR FOR ALL SITE SURVEY
  WORK OF THE PROPERTY OF THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION
  INCLUDING BENCHMARK LOCATIONS AND ELEVATIONS AT CRITICAL AREAS. THE LOCATION OF ALL CONTROL POINTS AND BENCHMARKS SHALL BE
  COORDINATED WITH THE FROMER'S.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL GRADE STAKES SET BY THE SURVEYOR. GRADE STAKES SHALL REMAIN UNTIL A FINAL INSPECTION OF THE ITEM HAS BEEN COMPETED BY THE ENGINEER. ANY RE-STAKING OF PREVIOUSLY SURVEYED SITE FEATURES SHALL BE THE RESPONSIBILITY (INCLUDING COSTS) OF THE CONTRACTOR.
- UNLESS OTHERWISE SPECIFIED ON THE PLANS AND DETAILS/SPECIFICATIONS, ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE MOST RECENT VERSION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION STANDARD SPECIFICATION STANDARD SPECIFICATION FOR HIGHWAYS AND BRIDGES, TO STANDARD SPECIFICATION FOR HIGHWAYS AND BRIDGES, TOSCO SUPPLEMENTAL SPECIFICATIONS.
- CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION
  CONTAINMENT, AND TRENCH WORK.
- SOLID WASTES SHALL BE COLLECTED AND STORED IN A SECURED DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REQUILATIONS.
- 18. THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT INATURAL. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES, OTHER LANDSCAPING, AND/OR NATURAL FEATURES. WHEREAS THE PLANS DO NOT SHOW ALL LANDSCAPE FEATURES, EXISTING CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WORK.
- ALL UNPAYED AREAS DISTURBED BY THE WORK SHALL HAVE A MINIMUM OF 4—INCHES OF LOAM INSTALLED AND BE SEEDED WITH GRASS SEED AS SHOWN ON THE PLAN AND/OR DIRECTED BY THE GONERER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ANY LOAM AND SEEDED AREAS UNTIL LAWN GORWITH IS ESTALBUSHED AND APPROVED BY THE ENGINEER AND/OR DOWNER.
- 20. ALL PROPOSED STRUCTURES SHALL BE DESIGNED BY THEIR MANUFACTURERS FOR AASHTO H-20 LOADING, PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 4000 PSI UNLESS OTHERWISE NOTED HEREIN.
- 22. LEDGE OR BOULDER EXCAVATION IS NOT ANTICIPATED FOR THIS SITE. HOWEVER, THE CONTRACTOR SHALL PROVIDE A UNIT PRICE COST IN CUBIC YARD MEASURE FOR LEDGE AND/OR BOULDER REMOVAL. LEDGE AND/OR BOULDERS LESS THAN 1 CUBIC YARD IN SIZE BASED ON THE AVERAGE DIMENSIONS WILL NOT BE CONSIDERED PAYABLE ROCK. UNIT PRICE SHALL BE GIVEN FOR BOTH ON AND OFF SITE DISPOSAL. COST OF REPLACEMENT MATERIAL SHALL BE MICLUOED IF ADDITIONAL FILL MATERIAL IS REQUIRED.
- 23. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO AN APPROVED DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
- 24. CONCRETE TRUCKS SHALL NOT BE WASHED ONSITE. ANY CEMENT OR CONCRETE DEBRIS LEFT IN THE DISTURBED AREA SHALL BE REMOVED BY HAND
- 25. BURIAL OF ANY STUMPS, SOLID DEBRIS, AND/OR STONES/BOULDERS ONSITE IS PROHIBITED. NO ROAD SALT OR OTHER DE-ICING CHEMICALS SHALL BE USED ON THE ACCESS ROADWAY.
- 26. IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR IS TO IMMEDIATELY CONTACT AND COORDINATE WITH THE ENGINEER AND OWNER.
- AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF ALL THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED FROM THE SITE.
- 28. THIS ENGINEERING FIRM MAKES NO DETERMINATION AND ASSUMES NO LIABILITY REGARDING THE STATUS OF THE PROPOSED SITE IMPROVEMENTS WITH REGARDS TO APPLICABLE FEMA STANDARDS, THE MASSACHUSETTS STATE BUILDING CODE, OR OTHER APPLICABLE STANDARDS, RULES, OR REGULATIONS REGARDING CONSTRUCTION IN THE FEMA DESIGNATED SPECIAL FLOOD MAZARD ZONE.

# GENERAL GRADING & DRAINAGE NOTES:

- ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 2. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 2 FOOT.
- 4. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLAN AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
- PROPOSED ELEVATIONS ARE SHOWN TO FINISH PAVEMENT OR GRADE UNLESS NOTED OTHERWISE.
- ALL EARTHWORK AND SITE PREPARATION SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF ANY SUBSURFACE INVESTIGATION
  OR GEOTECHNICAL REPORTS PREPARED FOR THIS SITE.
- PARKING AREAS ARE NOT TO BE PAVED UNTIL THE ENTIRE PERMANENT DRAINAGE SYSTEM HAS BEEN INSTALLED AND ALL PIPE CONNECTIONS
  COMPLETE.
- 10. DRAINAGE PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE AND CONFORM TO AASHTO M284 CORRUGATED POLYETHYLENE PIPE. PIPE SHALL BE INSTALLED AT THE LOCATION'S INDICATED ON THE PLAN. MINIMUM CLEARANCE BETWEEN PROPOSED DRAINAGE PIPING AND OTHER UNILITIES/STRUCTURES SHALL BE LATE VERTICALLY AND 4-FT HORIZONTALLY. CPP STALL BE CAREFUR PROPOSED DRAINAGE PIPING AND OTHER LATEST MASSACHUSETTS HIGHWAY DEPARTMENT STAND SPECIFICATIONS. THE MINIMUM COVER FOR HOPE PIPES IS 1'-0' FOR H-20 TRAFFIC LOADS IF INSTALLED IN ACCORDANCE WITH ASHTO SECTION 30. THIS IS BASED ON EMPIRICA. CALCULATION COAD RESPONSE, MANUPCATURES'S TESTING, AND FIELD EXPERIENCE WITH THE PIPE. ASHTO SPECIFICATIONS SECTION 18.4.1.5 DEFINES THE MINIMUM COVER AS 10/8 BUT NOT LESS THAN 12 NICHEST. THIS COVER IS MEASURED FROM THE PIPE TO THE TOP OF A RIGID (CONCRETE) PAVEMENT OF THE BOTTOM OF A FLEXIBLE (BITMUNIOUS) PAVEMENT, BOTH ASHTO AND ASTIM AS WELL AS MOST MANUFACTURES, REQUIRE ADDITIONAL (TEMPORARY) COVER FOR CONSTRUCTION LOADS GREATER THAN H-20. GENERALLY, AN ADDITIONAL 2' OF TEMPORARY COVER, MOUNDED OVER THE PIPE AND REMOVED FOR FINAL GRADING AND PAVING IS SUFFICIENT FOR LARGE CONSTRUCTION VEHICLE LOADS.
- BACKFILL ADJACENT TO PIPES AND STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL BACKFILL SHALL BE PLACE IN HORIZONTAL LAYERS NOT TO EXCEED SIX INCHES IN THICKNESS AND COMPACTED TO A DENSITY OF 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTEXT WITHIN +/-2% OF OPTIMUM. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99. TESTING OF BACKFILL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

#### BASIC CONSTRUCTION SEQUENCE:

THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ENGINEER AND SUBMIT A PROPOSED CONSTRUCTION SEQUENCE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

- 1. SURVEY AND STAKE THE PROPOSED LIMIT OF DISTURBANCE AND LIMIT OF SEDIMENTATION BARRIERS
- PLACE SEDIMENTATION BARRIERS (SILT SACKS, STRAWBALES, SILT FENCE, ETC.) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE AS SHOWN ON THE PROJECT PLANS.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCES IN LOCATIONS SHOWN ON PLANS. NO OTHER ENTRANCES SHALL BE USED TO GAIN ACCESS TO THE SITE BY ANY CONSTRUCTION OR DELIVERY VEHICLES.
- BEGIN CLEARING THE SITE AND DEMOLITION AS REQUIRED.
- SURVEY AND STAKE CENTERLINE OF THE PROPOSED DRAINAGE SYSTEMS AND DRAINAGE LINES.
- BEGIN CLEARING AND DEMOLITION IN AREAS OF PARKING LOTS AND STORMWATER MANAGEMENT AREAS. TOPSOIL IS TO BE STRIPPED FROM THE AREA OF THE PROPOSED PARKING AND SWMA AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A SEDIMENT BARRIER.
- 8. INSTALL TEMPORARY CONVEYANCE DEVICES (SWALES, CHECK DAMS, PIPES, ETC.) AS NECESSARY TO CONVEY RUNOFF TO TREATMENT AREAS.
- BEGIN ROUGH GRADING AREAS FOR PARKING AND BUILDINGS. BRING ROUGH GRADING TO PROPER ELEVATIONS AS SOON AS PRACTICABLE. WORK SHALL PROGRESS DILIGENTLY TO MINIMIZE TIME SOILS ARE UN-STABILIZED.
- BEGIN BUILDING AND UTILITY CONSTRUCTION, CONTRACTOR SHALL BE FREE TO INSTALL UTILITIES IN ANY ORDER HE/SHE CHOOSES. ANY EROS CONTROL DEVICE DISTURBED DURING THE UNDERGROUND UTILITY CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED IN KIND AND STABILIZED. MODIFY TEMPORARY CONVEYNOR DEVICES AS NECESSARY TO CONVEY KUNDET TO TRETATIONAL AREAS.
- 11. INSTALL DRAINAGE PIPES, DRAINAGE MANHOLES AND UNDERGROUND DRAINAGE STRUCTURES. WORK SHALL BEGIN AT THE SWMA(S) AND PROGRESS UP-GRADIENT, PROTECT DISCHARGE OUTLETS WITH RIP-RAP APRONS. THE SWMA(S) AND DRAINAGE NETWORK ARE TO BE PROTECTED FROM SEDMENTATION WITH SILT FREE AND STRAMBALES UNTIL ALL UN-STABILIZED AREAS ARE STABILIZED WITH STONE SUB-BASE OR VEGETATION. INSTALL SEDMENT BARRIERS AT ALL POINTS OF ENTRY INTO THE DRAINAGE NETWORK. PARTICULAR CARE SHALL BE TAKEN TO PROTECT THE
- 12. PERMANENTLY SEED ALL DISTURBED AREAS OUTSIDE OF THE AREA TO BE PAVED OR GRAVELED.
- 13. ONCE ALL UNDERGROUND UTILITIES HAVE BEEN CONSTRUCTED, PLACE COMPACTED GRAVEL FOUNDATION AND ROUGH GRADE THE PARKING AREAS IN ACCORDANCE WITH THE SITE PLANS AND IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS AS SOON AS POSSIBLE.
- 14. BEGIN PARKING CONSTRUCTION PER SITE PLANS AND IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL REGULATIONS. PARKING AREAS ARE NOT TO BE PAVED UNTIL THE ENTIRE PERMANENT DRAINAGE SYSTEM HAS BEEN INSTALLED AND ALL PIPE CONNECTIONS COMPLETE.
- 15. FINISH PERMANENT STABILIZATION. SWEEP THE ROADWAY TO REMOVE ALL SEDIMENTS. REPAIR DRAINAGE OUTLETS AND SWMA(S) AS REQUIRED. THE CONTRACTOR SHALL CLEAN AND FLUSH THE DRAINAGE STRUCTURES AND PIPES AT THE END OF CONSTRUCTION AND ALL ACCUMULATED SEDIMENTS IN THE SWMA(S) SHALL BE REMOVED. CONTRACTOR SHALL INSPECT THE DRAINAGE NETWORK AND REPAIR NAY DAMAGE MAMEDIATELY.
- 16. COMPLETE ALL REMAINING PLANTING AND SEEDING.
- 17. REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS SHALL BE APPROVED BY THE ENGINEER AND WHEN THE CONTRIBUTING AREA HAS REACHED A MINIMUM OF 80% STABILIZATION.

- THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE PERSONNEL RESPONSIBLE FOR THE DAILY INSPECTION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS AND SHALL IMPLEMENT ALL NECESSARY MEASURES TO CONTROL EROSION AND PREVENT SEDIMENT FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES AS SHOWN ON THE SIGNED PLANS IN CONSULTATION WITH THE TOWN, AND AS DETERMINED NECESSARY IN THE FIELD BY THE ENGINEER BEFORE ANY CONSTRUCTION ACTIVITIES ARE TO BECON, THESE MEASURES SHALL BE CHECKED, MAINTAINED, REPLACED AS NECESSARY DURING THE ENTIRE CONSTRUCTION FERIOD OF THE PROJECT, SLOTH MEASURES SHALL REPRESENT THE LIMIT OF WORK, WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME CONSTRUCTION PERIOD.
- A MINIMUM SURPLUS OF 50 FEET OF EROSION CONTROL BARRIER (SILT FENCE, STRAWBALE AND/OR SILT SOCK) SHALL BE STOCKPILED ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL PROTECT THE ADJACENT PROPERTIES FROM SEDIMENTATION DURING PROJECT CONSTRUCTION UNTIL ACCEPTANCE BY THE
- THE LIMIT OF ALL CLEARING, GRADING AND DISTURBANCES SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. THE CONTRACTOR SHALL PHASE THE SITE WORK IN A MANNER TO MINIMUMEZ AREAS OF EXPOSED SOIL. IF TREES ARE TO BE CUT ON THE ENTIRE SITE, ONLY THOSE AREAS WHICH ARE ACTIVELY UNDER CONSTRUCTION SHALL BE GRUBBED. THE REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERTY ESTABLISHED, CLEARLY MISBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION PELLITED MOVED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MONITOR LOCAL WEATHER REPORTS DURING CONSTRUCTION AND PRIOR TO SCHEDULING EARTHMOVING OR OTHER CONSTRUCTION ACTIVITIES WHICH WILL LEAVE LARGE DISTURBED AREAS UN-STABILIZED. IF INCLEMENT WEATHER IS PREDICTED, THE CONTRACTOR SHALL USE THEIR BEST PROFESSIONAL JUDGEWENT WHEN SCHEDULING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR ENSURING THE NECESSARY EROSION CONTROL DEWICES ARE INSTALLED AND FUNDED FOR THE RESPONSIBLE FOR ENSURING THE NECESSARY EROSION CONTROL DEWICES ARE INSTALLED AND FUNDED FOR THE RESPONSIBLE FOR MAY IMPENDING WEATHER EVENTS.
- ESC MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT OF 0.50 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT THE EROSION AND SEDMENTAINO CONTROL MEASURES ARE INTACT AND FUNCTIONING PROPERLY. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED MANEDIATELY NO LATER THAN 24 HOURS AFTER IDENTIFICATION.
- SOIL STOCKPILES LEFT OVERNIGHT SHALL BE SURROUNDED ON THEIR PERIMETERS WITH SILT SOCK, SILT FENCE, STRAWBALES OR A COMBINATION OF SILT FENCE WITH STRAWBALE, AS DETERMINED NECESSARY.
- DISTURBED AREAS AND SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE COMBITACTOR SHOULD PROVIDE APPROPRIATE STABILIZATION PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORATY OF PERMANDATY CEASED. TEMPORATY AREAS HAVING A SLOPE CREATER THAN 3: SHALL BE REINFORCED WITH EROSION BLANKETS OR APPROVED EQUAL WITH THE SITE IS PROPERTY STABILIZED. TEMPORATY SWALES MAY ALSO BE REQUIRED IF DETERMINED NECESSARY IN THE FIELD BY THE EMPORED.
- ACTOR SHALL INSTALL A SILT SACK OR APPROVED EQUIVALENT IN EACH EXISTING CATCH BASIN RECEIVING RUNOFF FROM THE SITE. UPON LATION OF EACH CATCH BASIN, THE CONTRACTOR SHALL INSTALL A SILT SACK OR APPROVED EQUIVALENT. THESE ARE TO BE INSPECTED HISINDIFICANT STORM EVENT AND REMOVED AND EMPTRED AS RECEEDED DURING THE ENTRE CONSTRUCTION PERSON.
- 12. SMALL, TEMPORARY, SEDIMENTATION BASINS MAY BE CONSTRUCTED ON AN AS-NEEDED BASIS DURING CONSTRUCTION TO AND IN THE CAPTURE OF SITE RUNOFF AND SEDIMENT. IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR, IN CONSULTATION WITH THE ENGINEER, TO SIZE AND CREATE THESE BASINS IN APPROPRIATE LOCATIONS.
- 13. THE CONTRACTOR SHALL CONTAIN ALL SEDIMENT ONSITE. ALL EXITS FROM THE SITE WILL BE SWEPT AS NECESSARY INCLUDING ANY SEDIMENT TRACKING. PAYED AREAS SHALL BE SWEPT AS NEEDED TO REMOVE SEDIMENT AND POTENTIAL POLLUTANTS WHICH MAY ACCUMULATE DURING SITE WORK.
- 14. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL TEMPORARY PRACTICES AND DISPOSED OF IN A PRE-APPROVED LOCATION BY THE CONTRACTOR AS DIRECTED BY THE FINANCER
- 15. THE CONTRACTOR SHALL PROVIDE ONSITE OR MAKE READILY AVAILABLE THE NECESSARY EQUIPMENT AND SITE PERSONNEL DURING CONSTRUCTION HOURS FOR THE DURATION OF THE PROJECT TO ENSURE ALL ESC DEVICES ARE PROPERTY MAINTAINED AND REPAIRED IN A TIMELY AND RESPONSIBLE MANNER. IF SITE WORK IS SUSPENDED DURING THE WINTER MONTHS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE PERSONNEL AND EQUIPMENT EITHER ONSITE OR MAKE READILY AVAILABLE TO ENSURE ALL ESC DEVICES ARE PROPERLY MAINTAINED AND REPAIRED IN A TIMELY AND RESPONSIBLE MAINTER
- 16. PROPER MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IF DEWATERING IS NECESSARY DURING CONSTRUCTION. THESE MEASURES SHALL INCLUDE DEWATERING BAGS, TEMPORARY STRAWBALES, SILT FENCES, SILT SOCKS, AND/OR OTHER APPROVED DEVICES. THE DEWATERING SET UP SHALL BE APPROVED BY THE ENGINEER.
- 17. ALL SEDIMENT COLLECTED IN THE TEMPORARY PARTIALLY CONSTRUCTED BIOTRETENTION AREAS WILL BE REMOVED AND DISPOSED OF PROPERLY PRIOR TO FILTER FABRIC AND/OR MEDIA INSTALLATION WITHIN THE BIORETENTION AREAS, PARTIALLY CONSTRUCTED BIORETENTION AREAS WILL HAVE A SURFACE ELEVATION AT A MINIMUM OF 1-POOT ABOVE THE BOTTOM OF MEDIA ELEVATION AS SHOWN ON THE BIORETENTION SCHEDULE. THIS WILL ALLOW AN OVER-DIG OF THE COLLECTED SEDIMENT FROM WITHIN THE BIORETENTION AREA PRIOR TO MEDIA/FABRIC INSTALLATION.
- 18. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE ENGINEER AT NO EXTRA COST TO THE OWNER.
- 19. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE DURING CONSTRUCTION OF ALL STORMWATER FACILITIES INSTALLED OR AFFECTED BY THE PROJECT. ANY SEDIMENT OR DEBRIS COLLECTED WITHIN THESE FACILITIES FROM THE PROJECT WORK SHALL BE REMOVED PRIOR TO THE OWNER'S ACCEPTANCE.

# STORMWATER FACILITY OPERATION & MAINTENANCE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES UNTIL SUCH TIME THAT THE PARKING LOT, BUILDING, AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL INSPECT AND RESTORE/CLEAN ALL FACILITIES (INLETS, MANHOLES, INFILTRATION BASINS, ETC.) OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.

- 3. ALL SEDIMENT AND DEBRIS SHALL BE DISPOSED OF PROPERLY IN A PRE-APPROVED LOCATION.
- THE CONTRACTOR SHOULD REFER TO THE OPERATION & MAINTENANCE PLAN FOR ADDITIONAL INFORMATION PERTAINING TO STORMWATER FACILITY
  OPERATION AND MAINTENANCE REQUIREMENTS AND SHALL MAINTAIN A WORKING COPY ON SITE AT ALL TIMES.
- ALL STORMWATER FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AFTER EVERY MAJOR RAINFALL EVENT FOR THE ENTIRE DURATION OF THE CONSTRUCTION PROJECT AND THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
- 6 SPECIFIC ANNUAL MAINTENANCE SHALL BE AS FOLLOWS:
- <u>DRAINAGE STRUCTURES (INLETS, MANHOLES & CATCH BASINS):</u> ALL DRAINAGE STRUCTURES WILL BE INSPECTED ANNUALLY TO MONITOR FOR PROPER OPERATION, COLLECTION OF LITTER OR TRASH, AND STRUCTURAL DETERIORATION. THE SWALES WILL BE CLEANED OF SEDIMENT AS NECESSARY, AND REPAIRED WHEN RECOURED.
- INFILTRATION CHAMBERS: THE CHAMBERS WIL BE INSPECTED ANNUALLY TO ENSURE THAT DESIGN INFILTRATION RATES ARE BEING WET. IF SEDIMENT OR ORGANIC DERINS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES AND BUILT UP WITHIN THE CHAMBERS THE SYSTEM SHALL BE CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- ROUTINE MAINTENANCE: OTHER ROUTINE MAINTENANCE WILL INCLUDE REMOVAL OF TRASH AND LITTER FROM PAVED AND PERIMETER AREAS, AND ANNUAL STREET AND PARKING LOT SWEEPING AFTER THE SPRING THAW TO AVOID EXCESSIVE ACCUMULATION OF SEDIMENT IN THE DRAINAGE SYSTEM. THE PIPES DRAINING THE PROJECT WILL BE INSPECTED ANNUALLY FOR PROPER FLOW.

## NOTE: OPERATION AND MAINTENANCE CHECKLIST AVAILABLE UPON REQUEST

#### WATER & SEWER/SEPTIC INSTALLATION NOTES:

1. SEWER AND WATER MAINS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING GUIDELINES TO PREVENT FREEZING OF THE MAIN OR SEWER.

UTILITY TYPE	MINIMUM COVER OVER TOP OF PIPE	MINIMUM HORIZONTAL DISTANCE TO DRAIN STRUCTURE
WATER MAIN	5'	2'

- DEAD END WATER LINES SHALL BE INSULATED WHERE SOIL COVER OR HORIZONTAL SEPARATION TO PRECAST STRUCTURES IS LESS THAN THE DISTANCE SPECIFIED ABOVE AND/OR WHERE SHOWN ON PLANS.
- 3. INSULATION SHALL BE 2" THICK POLYURETHANE INSULATION WITH PVC JACKET PLACED AROUND PIPE OR DESIGNER APPROVED EQUAL.
- WATER AND SEWER/SEPTIC SEPARATION SHALL TYPICALLY BE 10-FEET MINIMUM HORIZONTAL AND 18-INCHES VERTICAL WITH SEWER/SEPTIC MAINS BELIOW THE WATER MAINS (SEE DETAIL). IF SITE CONDITIONS REQUIRE LESS, THEN THE UTILITIES SHALL BE INSTALLED AS SHOWN IN THE CONSTRUCTION DETAILS.

#### WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL CONSTRUCT THE WATER LINE AND ITS APPURTENANCE IN ACCORDANCE WITH THE LOCAL WATER DEPARTMENT'S STANDARDS
  AND SPECIFICATIONS AND PAY FOR ALL ASSOCIATED FEES AS REQUIRED BY THE WATER DEPARTMENT.
- THE CONTRACTOR SHALL SUPPLY TWO COPIES OF SWORN CERTIFICATES TO PROVE THAT ALL PIPES AND FITTINGS ARE INSPECTED AND TESTED AS
  REQUIRED BY THE STANDARD SPECIFICATIONS TO WHICH THE MATERIAL IS MANUFACTURED.
- ALL NEWLY INSTALLED WATER SYSTEM COMPONENTS SHALL BE CLEARED OF ALL FOREIGN MATERIALS SUCH AS DIRT AND MISCELLANEOUS DEBRIS PRIOR TO SYSTEM TESTING AND SHALL BE WITNESSED BY THE LOCAL WATER DEPARTMENT. NOT TESTING IS ALLOWED WITHOUT REMOVAL OF ALL FOREIGN MATERIALS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND REMOVE ALL NECESSARY BLOW-OFFS REQUIRED FOR THIS PROJECT AT NO EXTRA COST TO THE DWNER.

### WATER SYSTEM INSTALLATION INSPECTION NOTES:

- THE CONTRACTOR SHALL SUPPLY TO THE ENGINEER TWO COPIES OF SWORN CERTIFICATES TO PROVE THAT ALL PIPE AND FITTINGS ARE INSPECTED AND TESTED AS REQUIRED BY THE STANDARD SPECIFICATIONS TO WHICH THE MATERIAL IS MANUFACTURED.
- A PRESSURE TEST AND DISINFECTION TEST OF ALL WATER LINES SHALL BE CONDUCTED BY THE CONTRACTOR AND WITNESSED BY THE APPROVED INSPECTOR OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MINIMUM OF 48-HOUR ADVANCE NOTICE TO THE LOCAL WATER DEPARTMENT PRIOR TO THE PRESSURE AND DISINFECTION TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL NECESSARY EQUIPMENT AND CHEMICALS TO PROPERLY CONDUCT THE TESTS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE TO COLLECT ALL BACTERIOLOGICAL SAMPLES AND PAY FOR ALL RELATED LABORATORY FEES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN UP-TO-DATE AS-BUILT DRAWINGS AND NOTES INDICATE THE HORIZONTAL AND VERTICAL LOCATION WITHIN TWO TES OF ALL SYSTEM COMPONENTS INSTALLED. THESE AS-BUILT DRAWINGS AND NOTES WILL BE UTILIZED BY THE ENGINEER FOR THE PREPARATION OF RECORD PLANS.

## LEGEND

FXIS	STING
100	MINOR CONTOUR
	MAJOR CONTOUR
100x1	SPOT ELEVATION
PP10 TP SI	TEST PITS
~~~~~	EDGE OF CLEARING
	WETLAND LINE
	WETLAND FLAG
w	WATER SERVICE
ర్	WATER GATE
— G — — G —	GAS SERVICE
×	GAS GATE
©	ELECTRIC MANHOLE
•	TELEPHONE MANHOLE
— D—— D——	DRAIN LINE
0	DRAIN MANHOLE
⊞	CATCH BASIN

MAJOR/MINOR CONTOUR SPOT ELEVATION -- 99.99 LIMIT OF WORK/EDGE OF CLEARING X - SILT FENCE - W - WATER SERVICE WATER GATE - G - GAS SERVICE --- E --- E --- ELECTRIC SERVICE DRAIN LINE 0 DRAIN MANHOLE (11) CATCH BASIN FLARED END SECTION 19999 RIP-RAP PEDESTAL LIGHT WALL PACK LIGHT 12" WIDE CAPE COD BERM 12" CCB 6 HANDICAP PARKING SPACE HANDICAPPED SIGN LANDSCAPED AREA EDGE OF PAVEMENT EDGE OF GRAVEL CURB AND/OR PAVEMENT RADIUS 12" WIDE WHITE STOP LINE

PROPOSED



**DRACKEN** 19 OLD SOUTH ROAD NANTUCKET, MA 02554

CONSTRUCTION NOTES

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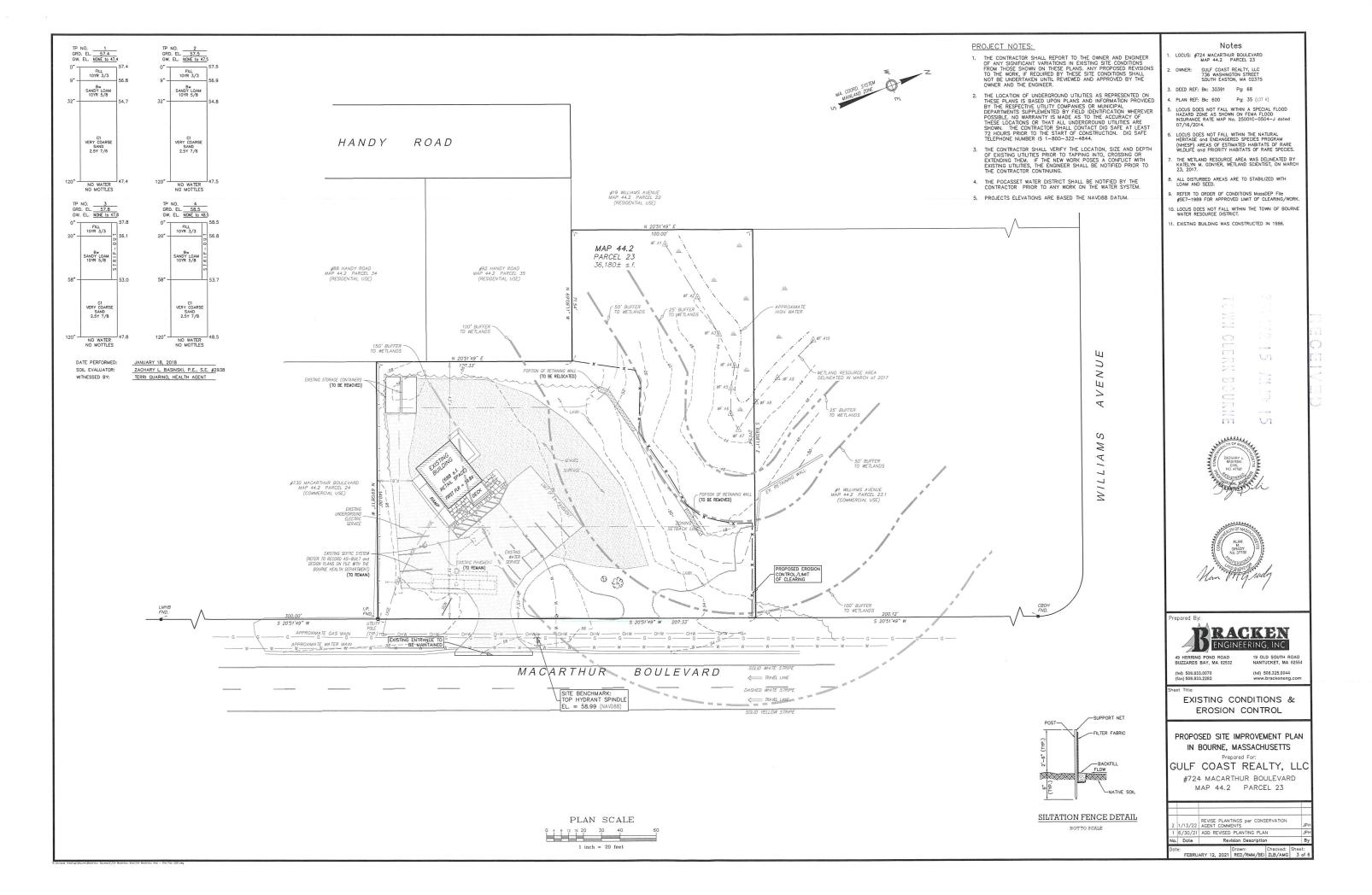
PROPOSED SITE IMPROVMENT PLAN IN BOURNE, MASSACHUSETTS

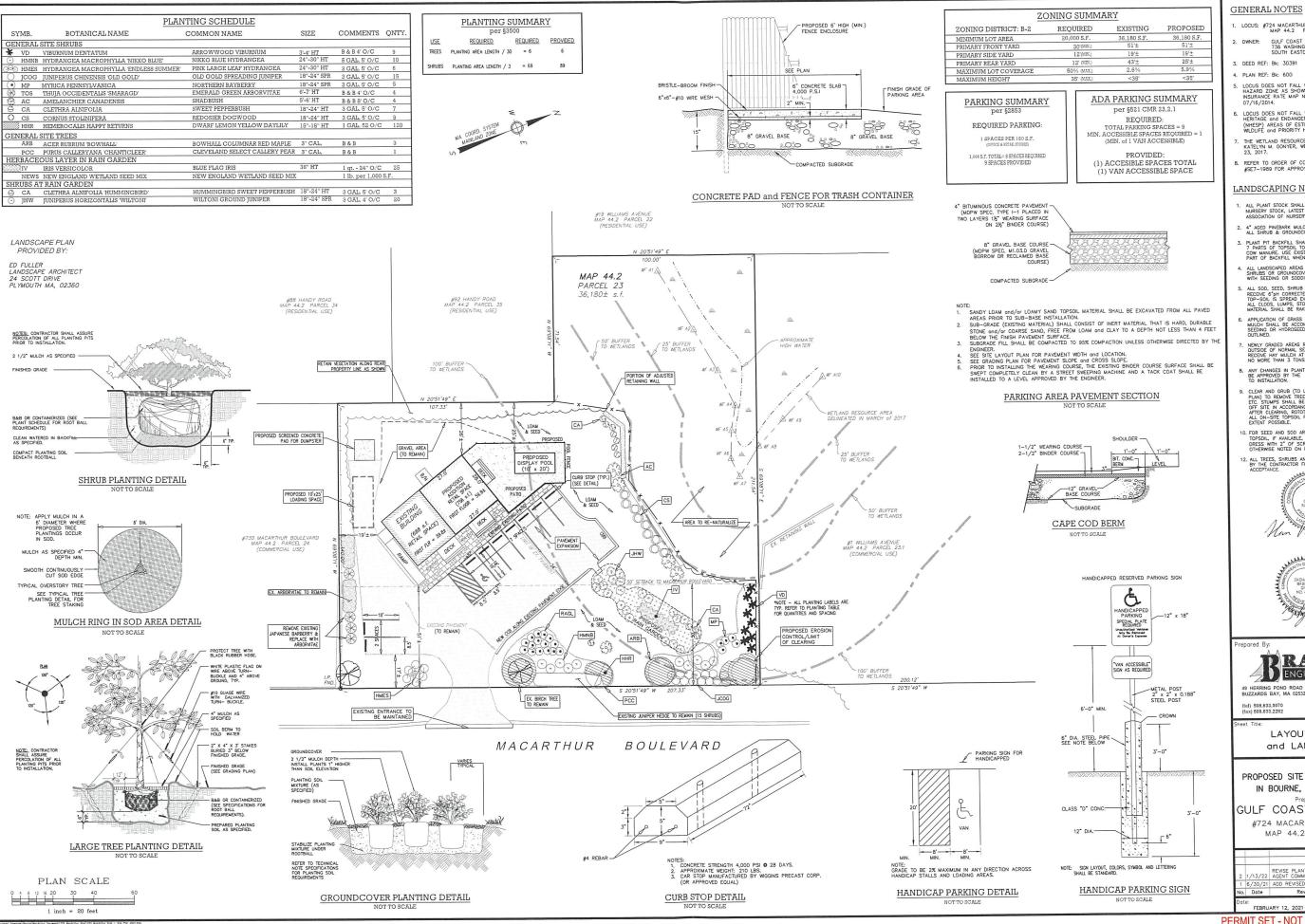
GULF COAST REALTY, LLC #724 MACARTHUR BOULEVARD

MAP 44.2 PARCEL 23

REVISE PLANTINGS per CONSERVATION /13/22 AGENT COMMENTS 6/30/21 ADD REVISED PLANTING PLAN

FEBRUARY 12, 2021 RED/RMM/BEI ZLB/AMG 2 of 6





LOCUS: #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23

5. DEED REF: Bk: 30391 Pg: 68

LANDSCAPING NOTES

PLAN REF: Bk: 600 Pg: 35 (LOT K)

LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25001C-0504-J doted

LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.

THE WETLAND RESOURCE AREA WAS DELINEATED BY KATELYN M. GONYER, WETLAND SCIENTIST, ON MARC 23, 2017.

B. REFER TO ORDER OF CONDITIONS MossDEP File #SE7-1989 FOR APPROVED LIMIT OF CLEARING/WORK

 ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.) 4" AGED PINEBARK MULCH SHALL BE APPLIED TO ALL SHRUB & GROUNDCOVER BEDS. 3. PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 1 PART OF DEHYDRATED COW MANURE. USE EXISTING ON SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.

ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6"pH CORRECTED TOPSOIL AFTER TOP—SOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLOSS, LUMPS, STONES AND OTHER DELETER MATERIAL SHALL BE RAKED UP AND REMOVED.

. NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.

. ANY CHANGES IN PLANT LOCATIONS OR TYPE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

9. CLEAR AND GRUB (TO LIMITS SHOWN ON GRADING PLAN) TO REMOVE TREES, ROCKS, DEBBIS, ROCKS, ETC. STUMPS SHALL BE REMOVED AND DEPOSED OF SITE IN ACCORDANCE WITH STATE REGULATIONS, AFTER CLEARING, ROTOTILL STIPP AND STOCKPILE ALL ON—SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.

10. FOR SEED AND SOD AREAS G.C. TO USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN.

12. ALL TREES, SHRUBS AND SOD SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER

RACKEN

LAYOUT, ZONING

and LANDSCAPING

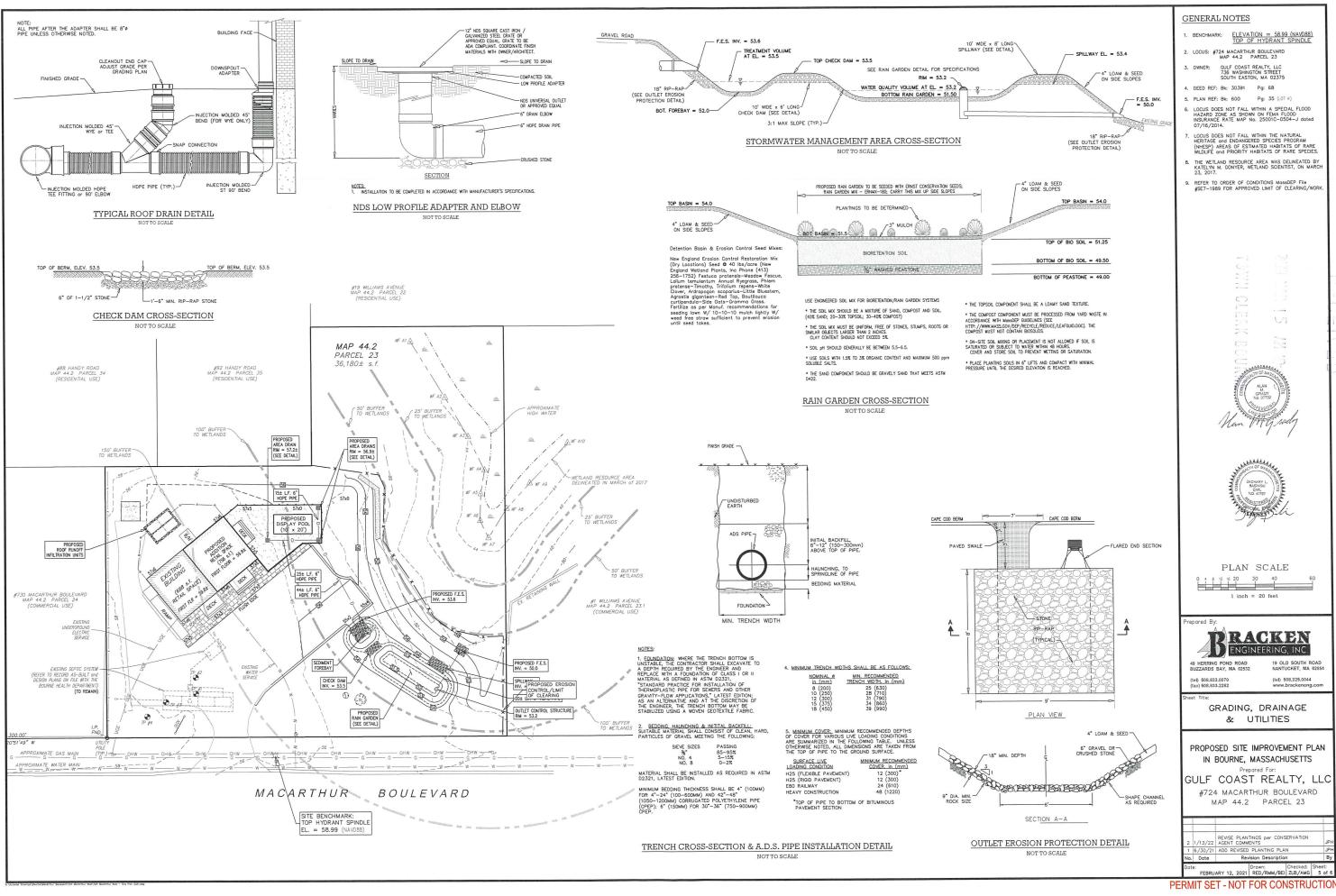
PROPOSED SITE IMPROVEMENT PLAN IN BOURNE, MASSACHUSETTS

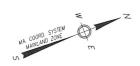
GULF COAST REALTY, LLC #724 MACARTHUR BOULEVARD

MAP 44.2 PARCEL 23

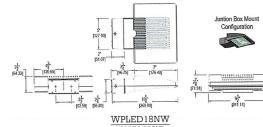
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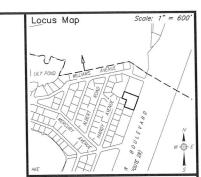








		LUI	MINAIRE SCHEUDLE	
SYMBOL	QUANTITY	ARRANGEMENT	DESCRIPTION	MOUNT HEIGHT
■ WPLED5	2	WALL PACK	RAB LIGHTING LED 5 WATT WALLPACK - WHITE	10.0'
= WPLED18	3	WALL PACK	RAB LIGHTING LED 18 WATT WALLPACK - WHITE	10.0'



# GENERAL NOTES

- 1. LOCUS: #724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23
- 2. OWNER: GULF COAST REALTY, LLC 736 WASHINGTON STREET SOUTH EASTON, MA 02375
- 4. PLAN REF: Bk: 600 Pg: 35 (LOT K)
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25001C-0504-J dated 07/16/2014.
- 6. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- REFER TO ORDER OF CONDITIONS MossDEP File #SE7-1989 FOR APPROVED LIMIT OF CLEARING/WORK





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PLAN SCALE 0 4 8 12 16 20 30 40 1 inch = 20 feet

LIGHTING PLAN

PROPOSED SITE IMPROVEMENT PLAN IN BOURNE, MASSACHUSETTS

GULF COAST REALTY, LLC

#724 MACARTHUR BOULEVARD MAP 44.2 PARCEL 23

2	1/13/22	REVISE PLANT AGENT COMM	TINGS per CONS ENTS	ERVATION		JPH
1	6/30/21	ADD REVISED PLANTING PLAN			JPH	
No.	Date	Rev	ision Description	1		Ву