

## PROJECT MINUTES

Project:	New Bourne Intermediate School	Project No.:	15041
Prepared by:	Joel Seeley	Meeting Date:	11/21/19
Re:	School Building Committee Meeting	Meeting No:	76
Location:	Veterans Memorial Community Center	Time:	6:30pm
Distribution:	School Building Committee Members, Attendees (MF)		

## Attendees:

PRESENT	NAME	AFFILIATION	VOTING MEMBER
✓	James L. Potter	Chairman, School Building Committee	<b>Voting Member</b>
✓	Peter J. Meier	Board of Selectmen	<b>Voting Member</b>
	Christopher Hyldburg	School Committee	<b>Voting Member</b>
✓	Natasha Scarpato	Member at Large	<b>Voting Member</b>
✓	Donna Buckley	Member at Large	<b>Voting Member</b>
✓	Richard A. Lavoie	Finance Committee	<b>Voting Member</b>
✓	William Meier	Building Trade Expert	<b>Voting Member</b>
		School Committee	<b>Voting Member</b>
	Frederick H. Howe	Member at Large, Vice-Chairman School Building Committee	<b>Voting Member</b>
✓	Perry P. Davis, EdD	Interim Superintendent of Schools, BPS	<b>Voting Member</b>
✓	Jordan Geist	Director of Business Services, BPS	Non-Voting Member
✓	Anthony Schiavi	Town Administrator	Non-Voting Member
✓	Paul O'Keefe	Local Official Responsible for Building Maintenance	Non-Voting Member
✓	Elizabeth A. Carpenito	Principal, BES	Non-Voting Member
✓	Kathy Anderson	Elementary/Special Education Secretary	Non-Voting Member
✓	Janey Norton	Principal, PES	
✓	Robert Fogarty	Tavares Design	
✓	Bill Beatrice	FAI, Architect	
	Robert Brait	Brait Builders (BBC) General Contractor	
✓	Joel Seeley	SMMA, OPM	

Item #	Action	Discussion
76.1	Record	Call to Order, 6:30 PM.
76.2	Record	J. Potter introduced Anthony Schiavi, the Town Administrator.
76.3	Record	A motion was made by P. Meier and seconded by W. Meier to approve the 10/17/19 School Building Committee meeting minutes. No discussion, motion passed unanimous by those attending.
76.4	Record	J. Seeley distributed and reviewed the Budget Tracking Form thru 10/31/19, attached, for the Total Project Budget.
76.5	J. Seeley	<p>Warrant No. 49 was reviewed.</p> <p>Committee Discussion:</p> <ol style="list-style-type: none"> <li>1. R. Lavoie indicated concern with approving the payment for Brait due to the outstanding punch list, roof leak issues, gymnasium floor and outstanding commissioning issues. <i>B. Beatrice indicated the punch list has 50 items, the majority of which are for the Phase 2 work. Phase 1 punch list has 2 remaining items. J. Seeley indicated the value of both Phase 1 and Phase 2 punch list is \$94,500 and after the current Brait requisition, the Town will be holding \$289,236 in retainage. Brait has hired a third-party forensic consultant to determine the location of the recent roof leaks, attached. Brait has provided a letter agreeing to re-sand and finish the gymnasium floor in the event the cupping does not subside, attached. There are 20 remaining commissioning items out of the 382.</i></li> <li>2. R. Lavoie requested Brait be notified of the Committee's dissatisfaction with the construction issues, roof leaks and progress of completing the open issues. <i>J. Seeley will notify Brait.</i></li> </ol> <p>A motion was made by P. Meier and seconded by D. Buckley to approve Warrant No. 49. No discussion, motion passed unanimous.</p>
76.6	Record	<p>B. Beatrice distributed and reviewed Change Order No. 17, dated 11/21/19 in the amount of \$1,303.76, Change Order Description Form and Change Order Contingency Summary Form, all attached.</p> <p>A motion was made by P. Meier and seconded by R. Lavoie to approve Change Order No. 17, dated 11/21/19 in the amount of \$1,303.76 and recommend signature by Town Administrator. No discussion, motion passed unanimous.</p>
76.7	Record	<p>J. Norton distributed and reviewed the FF&amp;E Working Group Award Recommendation for additional FFE Purchase, in the amount of \$10,665.40, attached.</p> <p>Committee Discussion:</p> <ol style="list-style-type: none"> <li>1. J. Potter asked if the two additional cafeteria tables was sufficient? <i>J. Norton indicated yes, but additional tables would allow for greater flexibility in seating arrangements.</i></li> </ol>

Item #	Action	Discussion
		<p>A motion was made by R. Lavoie and seconded by P. Meier to approve the FF&amp;E Awards, with an additional two cafeteria tables, totaling four, for an award amount of \$15,870.80, and recommend approval by Town Administrator. No discussion, motion passed unanimous.</p>
76.8	Record	<p>J. Norton distributed and reviewed the Technology Working Group Award Recommendation for additional Technology Purchase, in the amount of \$52,347.36, attached.</p> <p>A motion was made by P. Meier and seconded by R. Lavoie to approve the Technology Awards as presented and recommend approval by Town Administrator. No discussion, motion passed unanimous.</p>
76.9	J. Seeley	<p>B. Beatrice provided an update on the construction and distributed and reviewed the Updated Monetized Punch List, attached. The only remaining new work is installing the service drive wood gates.</p> <p>Gymnasium Wood Floor</p> <p>J. Seeley distributed and reviewed the letter from Brait, dated 11/15/19, attached, agreeing to re-sand and finish the gymnasium floor in the event the cupping does not subside.</p> <p>A Motion was made by P. Meier and seconded by R. Lavoie to accept the Brait letter. No discussion, motion passed unanimous.</p> <p>J. Seeley to formally notify Brait the letter has been accepted.</p> <p>Roof Leaks</p> <p>J. Seeley distributed and reviewed the roof leak report from Thompson and Lichtner, dated 11/13/19, attached, the third-party forensic consultant Brait hired to determine the location of the recent roof leaks.</p> <p>Concrete Sidewalks</p> <p>J. Seeley distributed and reviewed a letter from Marguerite Concrete, dated 10/21/19 providing guidance on concrete’s susceptibility to damage caused by the use of de-icing chemicals.</p>
76.10	J. Seeley	<p>New or Old Business</p> <ol style="list-style-type: none"> <li>1. D. Buckley asked if a direction has been established relative to the white stone dust in the playground area. <i>After discussion, the Committee decided to keep the installed material and develop a maintenance routine to return the material to its intended location.</i></li> <li>2. J. Geist asked about the status of the final certificate of occupancy? <i>J. Seeley will follow-up with Brait.</i></li> </ol>
76.11	Record	<p>Next <b>SBC Meeting: December 19, 2019 at 6:30 pm</b> at the Veterans Memorial Community Center.</p>

Project: New Bourne Intermediate School

Meeting Date: 11/21/19

Meeting No.: 76

Page No.: 4

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Item #	Action	Discussion
76.12	Record	A Motion was made by P. Meier and seconded by R. Lavoie to adjourn the meeting. No discussion, motion passed unanimous.

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Attachments: Agenda, Budget Tracking Form, Change Order No. 17, FF&E Working Group Award Recommendation for additional FFE Purchase, Technology Working Group Award Recommendation for additional Technology Purchase, Gymnasium Floor Letter, roof leak report from Thompson and Lichtner, letter from Marguerite Concrete, Updated Monetized Punch List

The information herein reflects the understanding reached. Please contact the author if you have any questions or are not in agreement with these Project Minutes

# PROJECT MEETING SIGN-IN SHEET

Project: Bourne Intermediate School  
 Prepared by: Joel Seeley  
 Re: School Building Committee Meeting  
 Location: Veterans Community Center

Project No.: 15041  
 Meeting Date: 11/21/2019  
 Meeting No: ~~77~~ 76  
 Time: 6:30pm

Distribution: Attendees, (MF)

SIGNATURE	ATTENDEES	EMAIL	AFFILIATION
	James L. Potter	onsetjp@juno.com	Chairman, School Building Committee
	Peter J. Meier	pmeier@townofbourne.com	Board of Selectmen
	Christopher Hyldborg	chrish@alpha-1.com	School Committee
	Natasha Scarpato	scarpato4@comcast.net	Member-At-Large
	Donna Buckley	d.j.buckley23@gmail.com	Member-At-Large
	Richard A. Lavoie	RichL.Lavoie@gmail.com	Finance Committee
	William Meier	Dusty22752@aol.com	Building Trade Expert
			School Committee
	Frederick H. Howe	rickhowe9@gmail.com	Member-At-Large
	Perry Davis	pdavis@bourneps.org	Superintendent of Schools, BPS
	Jordan Geist	jgeist@bourneps.org	Director of Business Services, BPS
			Town Administrator
	Paul O'Keefe	mmachief@gmail.com	Local Official Resp. for Building Maintenance
	Elizabeth A. Carpenito	ecarpenito@bourneps.org	Principal, BES
	Kathy Anderson	kanderson@bourneps.org	Elementary/Special Education Secretary
	Janey Norton	jnorton@bourneps.org	Principal, PES
	Bill Beatrice	bbeatrice@flansburgh.com	Flansburgh Architects (FAI)
	Robert Brait	rbrait@braitbuilders.com	Brait Builders Corporation (BBC)
	Joel Seeley	jseeley@smma.com	SMMA
	Anthony Schiavi	Aschiavi@townofbourne.com	Town Administrator

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## Agenda

Project:	Bourne Intermediate School	Project No.:	15041
Re:	School Building Committee Meeting	Meeting Date:	11/21/2019
Meeting Location:	Veterans Memorial Community Center	Meeting Time:	6:30 PM
Prepared by:	Joel Seeley	Meeting No.:	76
Distribution:	Committee Members (MF)		

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1. Call to Order
2. Approval of Minutes
3. Approval of Invoices and Commitments
4. Change Order No. 17
5. Additional FFE Award
6. Additional Educational Technology
7. Construction Update
  - Gymnasium Wood Floor
  - Roof Leaks
8. New or Old Business
9. Public Comments
10. Next Meeting: December 19, 2019
11. Adjourn

Symmes Maini & McKee Associates, Inc. (SMMA) Bourne School District Bourne Peebles Elementary School BUDGET SUMMARY							BUDGET TRACKING FORM as of: 10/31/2019				
Propay code #	Name	Original PS&B Budget 11/2/2016	Budget Revisions	Current Budget A	Contract Amount B	Expended C	Remaining Contract Amount D	Additional Projected Amount E	(A - B - E) Budget Balance		
1	Feasibility Study Agreement										
0001-0000	OPM Feasibility Study	125,000.00		125,000.00	117,100.00	117,100.00	-	-	7,900.00		
0002-0000	A&E Feasibility Study	365,000.00	19,125.00	384,125.00	374,875.00	374,875.00	9,250.00	-	-		
0003-0000	Environmental and Site	140,000.00		140,000.00	77,803.00	75,053.00	2,750.00	-	62,197.00		
0004-0000	Other	120,000.00	(19,125.00)	100,875.00	10,672.13	672.13	10,000.00	-	90,202.87		
	<b>Feasibility Study Agreement Subtotal</b>	<b>\$ 750,000.00</b>	<b>\$ -</b>	<b>\$ 750,000.00</b>	<b>\$ 589,700.13</b>	<b>\$ 567,700.13</b>	<b>\$ 22,000.00</b>	<b>\$ -</b>	<b>\$ 160,299.87</b>		
	<b>Administration</b>										
0101-0000	Legal Fees	50,000.00		50,000.00	-	-	-	-	50,000.00		
	Owner's Project Manager										
0102-0400	> Design Development	50,000.00		50,000.00	50,000.00	50,000.00	-	-	-		
0102-0500	> Construction Contract Documents	90,000.00		90,000.00	90,000.00	90,000.00	-	-	-		
0102-0600	> Bidding	50,000.00		50,000.00	50,000.00	50,000.00	-	-	-		
0102-0700	> Construction Contract Administration	800,000.00		800,000.00	800,000.00	704,000.00	96,000.00	-	-		
0102-0800	> Closeout	54,863.00		54,863.00	54,863.00	-	54,863.00	-	-		
0102-0900	> Extra Services	40,000.00		40,000.00	-	-	-	-	40,000.00		
0102-1000	> Reimbursable & Other Services	15,000.00		15,000.00	3,938.00	3,190.00	748.00	-	11,062.00		
0102-1100	> Cost Estimates	50,000.00		50,000.00	41,745.00	41,745.00	-	-	8,255.00		
0103-0000	Advertising	5,000.00		5,000.00	1,043.04	1,043.04	-	-	3,956.96		
0104-0000	Permitting	50,000.00	(40,000.00)	10,000.00	165.00	165.00	-	-	9,835.00		
0105-0000	Owner's Insurance	20,000.00		20,000.00	-	-	-	-	20,000.00		
0199-0000	Other Administrative Costs	20,000.00	40,000.00	60,000.00	21,957.70	19,171.07	2,786.63	-	38,042.30		
	<b>Administration Subtotal</b>	<b>\$ 1,294,863.00</b>	<b>\$ -</b>	<b>\$ 1,294,863.00</b>	<b>\$ 1,113,711.74</b>	<b>\$ 959,314.11</b>	<b>\$ 154,397.63</b>	<b>\$ -</b>	<b>\$ 181,151.26</b>		
	<b>Architecture and Engineering</b>										
	Basic Services										
0201-0400	> Design Development	530,000.00		530,000.00	530,000.00	530,000.00	-	-	-		
0201-0500	> Construction Contract Documents	1,060,000.00		1,060,000.00	1,060,000.00	1,060,000.00	-	-	-		
0201-0600	> Bidding	130,000.00		130,000.00	130,000.00	130,000.00	-	-	-		
0201-0700	> Construction Contract Administration	874,000.00		874,000.00	874,000.00	800,601.48	73,398.52	-	-		
0201-0800	> Closeout	132,037.00		132,037.00	132,037.00	-	132,037.00	-	-		
0201-9900	> Other Basic Services	-		-	-	-	-	-	-		
	<b>BASIC SERVICES SUBTOTAL</b>	<b>\$ 2,726,037.00</b>	<b>\$ -</b>	<b>\$ 2,726,037.00</b>	<b>\$ 2,726,037.00</b>	<b>\$ 2,520,601.48</b>	<b>\$ 205,435.52</b>	<b>\$ -</b>	<b>\$ -</b>		
	Reimbursable Services										
0203-0100	> Construction Testing	40,000.00		40,000.00	-	-	-	-	40,000.00		
0203-0200	> Printing (over minimum)	20,000.00		20,000.00	-	-	-	-	20,000.00		
0203-9900	> Other Reimbursable Costs	100,000.00		100,000.00	6,047.00	5,647.40	399.60	-	93,953.00		
0204-0200	> Hazardous Materials	100,000.00		100,000.00	80,767.50	-	80,767.50	-	19,232.50		
0204-0300	> Geotech & Geo-Env.	80,000.00		80,000.00	20,955.00	5,082.00	15,873.00	-	59,045.00		
0204-0400	> Site Survey	60,000.00		60,000.00	19,580.00	19,580.00	-	-	40,420.00		
0204-0500	> Wetlands	5,000.00		5,000.00	-	-	-	-	5,000.00		
0204-1200	> Traffic Studies	40,000.00		40,000.00	-	-	-	-	40,000.00		
	<b>Architectural and Engineering Subtotal</b>	<b>\$ 3,171,037.00</b>	<b>\$ -</b>	<b>\$ 3,171,037.00</b>	<b>\$ 2,853,386.50</b>	<b>\$ 2,550,910.88</b>	<b>\$ 302,475.62</b>	<b>\$ -</b>	<b>\$ 317,650.50</b>		

Symmes Maini & McKee Associates, Inc. (SMMA) Bourne School District Bourne Peebles Elementary School BUDGET SUMMARY									
BUDGET TRACKING FORM as of: 10/31/2019									
CM @ Risk Preconstruction Services									
	Original PS&B Budget 11/2/2016	Budget Revisions	Current Budget	Contract Amount	Expended	(B - C) Remaining Contract Amount	Additional Projected Amount	(A - B - E) Budget Balance	
0502-0001	\$ 30,910,366.00	\$ (2,920,366.00)	\$ 27,990,000.00	\$ 28,233,663.06	\$ 27,998,762.24	\$ 234,900.82	\$ -	\$ (243,663.06)	
89	CSI Description								
89	0502-0100		1,812,505.00	1,812,505.00	1,651,257.70	161,247.30	-	-	
89	0502-0200		636,500.00	636,500.00	635,550.00	950.00	-	-	
89	0502-0300		1,856,811.10	1,856,811.10	1,856,811.10	-	-	-	
89	0502-0400		1,826,850.00	1,826,850.00	1,826,850.00	-	-	-	
89	0502-0500		2,455,284.50	2,455,284.50	2,455,284.50	-	-	-	
89	0502-0600		456,000.00	456,000.00	456,000.00	-	-	-	
89	0502-0700		2,238,010.00	2,238,010.00	2,238,010.00	-	-	-	
89	0502-0800		1,120,135.50	1,120,135.50	1,120,135.50	-	-	-	
89	0502-0900		2,818,590.15	2,818,590.15	2,822,394.90	(3,804.75)	-	-	
89	0502-1000		276,640.00	276,640.00	264,379.30	12,260.70	-	-	
89	0502-1100		498,750.00	498,750.00	499,225.00	(475.00)	-	-	
89	0502-1200		410,400.00	410,400.00	406,120.25	4,279.75	-	-	
89	0502-1400		113,050.00	113,050.00	113,050.00	-	-	-	
89	0502-2100		328,818.75	328,818.75	328,818.75	-	-	-	
89	0502-2200		981,350.00	981,350.00	981,350.00	-	-	-	
89	0502-2300		2,730,300.00	2,730,300.00	2,730,300.00	-	-	-	
89	0502-2600		2,475,605.00	2,475,605.00	2,475,605.00	-	-	-	
89	0502-3100		2,373,404.00	2,373,404.00	2,373,403.82	0.18	-	-	
89	0502-3200		419,900.00	419,900.00	379,373.00	40,527.00	-	-	
89	0502-3300		761,596.00	761,596.00	761,596.00	-	-	-	
89	0502-9900		1,399,500.00	1,399,500.00	1,400,293.72	(793.72)	-	-	
89	0508-0000		243,663.06	243,663.06	222,953.70	20,709.36	-	-	243,663.06
89	<b>Construction Budget Subtotal</b>	\$ 243,663.06	\$ 28,233,663.06	\$ 27,998,762.24	\$ 234,900.82	\$ -	\$ -	\$ 0.00	
90	<b>Alternates</b>								
90	0506-0000		-	-	-	-	-	-	-
90	0506-0000		-	-	-	-	-	-	-
	<b>Alternates Subtotal</b>	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
94	0600-0000		84,000.00	84,000.00	24,550.90	-	-	59,449.10	
95	0602-0000		100,000.00	100,000.00	96,502.07	2,497.93	-	1,000.00	
96	0603-0000		-	-	-	-	-	-	
97	0699-0000		40,000.00	40,000.00	32,278.00	32,278.00	-	7,722.00	
	<b>Miscellaneous Project Costs Subtotal</b>	\$ -	\$ 224,000.00	\$ 155,828.90	\$ 121,052.97	\$ 34,775.93	\$ -	\$ 68,171.10	
99	0700-0000		690,000.00	690,000.00	673,177.73	50,519.38	-	(13,697.11)	
99	0701-0000		690,000.00	690,000.00	688,325.44	18,176.72	-	1,674.56	
101	0703-0000		1,380,000.00	1,380,000.00	1,343,326.45	68,696.10	-	(12,022.55)	
	<b>Furnishings and Equipment Subtotal</b>	\$ -	\$ 20,000.00	\$ 1,412,022.55	\$ 1,343,326.45	\$ 68,696.10	\$ -	\$ (12,022.55)	
103	0507-0000		1,545,518.00	1,545,518.00	-	-	-	4,202,220.94	
104	0801-0000		643,257.00	643,257.00	-	-	-	643,257.00	
	<b>Owners' Construction Contingency</b>	\$ 2,656,702.94	\$ 4,845,477.94	\$ -	\$ -	\$ -	\$ -	\$ 4,845,477.94	
	<b>Contingency Subtotal</b>	\$ -	\$ 39,919,041.00	\$ 34,358,312.88	\$ 817,246.10	\$ -	\$ -	\$ 5,560,728.12	
	<b>Total Project Budget</b>	\$ -	\$ 39,919,041.00	\$ 34,358,312.88	\$ 33,541,066.78	\$ 817,246.10	\$ -	\$ 5,560,728.12	



**ADDITIONAL EDUCATIONAL TECHNOLOGY REQUEST**

November 21, 2019

<u>Item/Link</u>	<u>Quantity</u>	<u>Unit Price</u>	<u>Sub-total</u>	
<a href="#">Epson BrightLink 710Uj WUXGA 3LCD Interactive Laser Display WUXGA model V11H877022</a>	4	\$2,670.00	\$10,680.00	
<a href="#">Bretford Cube Cart for 32 Netbooks/Tablets Gray, Charcoal (TVC32PAC-CK)</a>	4	\$839.49	\$3,357.96	
<a href="#">Lenovo 500E Chromebook G2 11.6" Celeron N4100 4GB RAM 32GB Chrome</a>	90	\$319.00	\$28,710.00	
<a href="#">New Apple iPad (10.2-Inch, Wi-Fi, 32GB) - Space Gray (Latest Model)</a>	30	\$319.98	\$9,599.40	
			-----	
			<b>\$52,347.36</b>	<b>Pre-tax total</b>

## Epson BrightLink 710Ui WUXGA 3LCD Interactive Laser Display WUXGA model V11H877022 by Epson



List Price: ~~\$3,499.00~~

Price: **\$2,763.24** & **FREE Shipping**

You Save: **\$735.76 (21%)**

Get \$60 off instantly: Pay ~~\$2,763.24~~ \$2,703.24 upon approval for the Amazon Rewards Visa Card. No annual fee.

- **LASER TECHNOLOGY:** Powered by breakthrough laser technology, the BrightLink 710Ui delivers a laser light source that lasts up to 20,000 hours. It offers higher a contrast ratio for stunning images with deep blacks, plus instant On/Off to achieve maximum brightness within seconds
- **3LCD 3-CHIP TECHNOLOGY:** With high-aperture Epson 3LCD, 3-chip technology, this projector is sure to deliver seamless, vivid quality images. This Epson Projector features Laser Light Source that can operate for up to 20,000 hours virtually maintenance free
- **INTERACTIVE SOLUTIONS:** This interactive projector makes almost any smooth, lightly-colored surface interactive with BrightLink solutions. You can easily touch, draw, select, and interact using intuitive and familiar gestures. The pen- and touch-based interactivity allows up to eight users to draw, share and collaborate at once, with six points of touch plus two pens
- **CONNECTIVITY:** Wirelessly project from PC, MAC, Chromebook, iOS, and Android devices – Connect and manage up to 50 devices simultaneously. Wirelessly connect up to 50 devices and simultaneously share and control content from up to four screens at once using iProjection (wireless module sold separately)
- **EPSON AUTHORIZED DEALER:** Includes USA Manufacturer Guarantee

New & Used (20) from **\$2,748.22** + FREE Shipping

**\$2,763.24**

& **FREE Shipping**

Want it Friday, Nov. 22? Order within **2 hrs 39 mins** and choose **Two-Day Shipping** at checkout.

[Details](#)

**Only 10 left in stock - order soon.**

Qty: 1

**\$2,763.24** + Free Shipping

Add to Cart

Buy Now

Ships from and sold by **AV Toy Store**.

Add a **Protection Plan:**

4-Year Protection for **\$76.99**

3-Year Protection for **\$57.99**

## Epson BrightLink 710Ui WUXGA 3LCD Interactive Laser Display WUXGA model V11H877022

<https://www.amazon.com/Epson-BrightLink-Interactive-Display-V11H877022/dp/B077BKHX8L>



Roll over image to zoom in

**Bretford Cube Cart for 32 Netbooks/Tablets Gray, Charcoal (TVC32PAC-CK)**  
by Bretford


Price: **\$815.49** & **FREE Shipping**

Get \$60 off instantly: Pay \$815.49 \$755.49 upon approval for the Amazon Rewards Visa Card. No annual fee.

- Dimensions (WDHP): 30 in x 26.5 in x 37.5 in
- Weight: 143.08 lbs.
- Recommended use: 32 netbooks/tablets

New & Used (22) from **\$742.47** + FREE Shipping

**MOKO**  
*Moko foldable laptop riser for 11"-15.6" laptop*  
Moko Laptop Stand, Multi-Angle Adjustable...  
**\$24.99** ✓prime



Ad feedback

**\$815.49**

& **FREE Shipping**

Get it as soon as **Nov. 27** - **Dec. 9** when you choose **Arranged Freight Delivery** at checkout.

**In Stock.**

Qty: 1 ▾

**\$815.49** + Free Shipping

Add to Cart

Buy Now

Ships from and sold by Tech for Less.

Add a Protection Plan:

- 3-Year Protection for **\$57.99**
- 2-Year Protection for **\$42.99**

Deliver to Ashburn 20146

Add to List

New & Used (22) from **\$742.47** + FREE Shipping

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**Bretford Cube Cart for 32 Netbooks/Tablets Gray, Charcoal (TVC32PAC-CK)**

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by **Lenovo**  
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## Lenovo 500E Chromebook G2 11.6" Celeron N4100 4GB RAM 32GB Chrome

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# Tavares Design Associates, Inc.

Equipment Consultants • Facilities Planners

November 14, 2019

Mr. Joel G. Seeley, AIA, LEED AP BD+C  
COO / Executive Vice President  
Symmes Maini & McKee Associates  
1000 Massachusetts Avenue  
Cambridge, MA 02138

Project: Bourne Intermediate School  
Bourne, Massachusetts  
Additional Requests

Dear Mr. Seeley:

Enclosed is a new PO for the Bourne Intermediate School.

This items is based on the request from the Principal which were emailed to this office on November 12, 2019.

This additional furniture includes two additional cafeteria tables.

We have prepared a PO to the following bidder, should the Owner approve our recommendations:

FEE-039 Robert H Lord	\$5,205.40
Total PO Cost	\$5,205.40

Per previous Committee meeting, the overall expenditure is **\$723,542.91**. Including this added PO, the overall expenditure would be **\$728,748.31**. The overall FF&E budget is \$690,000.00.

The Principal asked for three additional items which this office was not able to get the quote for before this was sent. Those items included 60 more file adaptors for the classroom two drawer file cabinets, 15 music stands and two movable room divider partitions. The estimated cost for these items would be \$5,460.00.

If you have any questions, please do not hesitate to contact this office. Thank you.

Sincerely,

TAVARES DESIGN ASSOCIATES, INC.

Robert T. Fogarty

RTF/hp

Enclosures

cc: Mr. Bill Beatrice, FA  
Mr. Antone J. Dias, SMMA  
Ms. Sarah A. Traniello, SMMA

**BOURNE INTERMEDIATE SCHOOL - NOVEMBER 14, 2019**  
**BOURNE, MASSACHUSETTS - PAGE 1 OF 2**

SUMMARY OF PURCHASE ORDERS ISSUED UNDER TDA SCOPE OF WORK:											
P.O. NUMBER	EQUIPMENT SUPPLIER	ORIG. P.O. AMOUNT	ADJUST. AMOUNT	REV. P.O. AMOUNT	PAYMENT #1	PAYMENT #2	PAYMENT #3	PAYMENT #4	PAYMENT #5	TOTAL	REMARKS
FFE-001	W.B. MASON CO., INC.	\$371,525.37	\$8,527.07	\$380,052.44	\$750.00	\$172,937.90	\$5,297.08	\$201,131.47		\$379,366.45	\$685.99
FFE-002	WILLIAMS' PIANO SHOP	\$750.00		\$750.00						\$750.00	COMPLETE
FFE-003	HILLYARD, INC.	\$4,654.56		\$4,654.56		\$4,654.56				\$4,654.56	COMPLETE
FFE-004	SCHOOL HEALTH CORP.	\$2,409.74	-\$100.00	\$2,309.74	\$1,061.04		\$1,248.70			\$2,309.74	COMPLETE
FFE-005	WENGER CORPORATION	\$9,873.00		\$9,873.00			\$9,873.00			\$9,873.00	COMPLETE
FFE-006	SCHOOL SPECIALTY INC.	\$22,512.74	-\$846.48	\$31,666.26		\$31,326.36				\$31,326.36	\$339.90
FFE-007	DEMCO, INC.	\$2,514.88		\$2,514.88	\$1,257.44			\$1,257.44		\$2,514.88	COMPLETE
FFE-008	UNION OFFICE INTERIORS	\$37,956.00		\$37,956.00		\$32,262.60	\$5,693.40			\$37,956.00	COMPLETE
FFE-009	MONITOR EQUIPMENT CO.	\$26,347.68		\$26,347.68	\$22,395.53	\$3,952.15				\$26,347.68	COMPLETE
FFE-010	RED THREAD SPACES	\$2,507.12		\$2,507.12		\$2,507.12				\$2,507.12	COMPLETE
FFE-011	PRO-QUIP INC.	\$8,400.00		\$8,400.00	\$4,200.00	\$4,200.00				\$8,400.00	COMPLETE
FFE-012	ROBERT H. LORD CO.	\$77,927.34		\$77,927.34		\$28,664.70		\$49,262.64		\$77,927.34	COMPLETE
FFE-013	BSN SPORTS	\$11,383.40		\$11,383.40			\$11,383.40			\$11,383.40	COMPLETE
FFE-014	W.B. MASON CO., INC.	\$2,608.00	-\$154.20	\$2,453.80	\$944.00	\$1,664.00				\$2,608.00	-\$154.20
FFE-015	SOUTHPAW ENTERPRISES	\$1,546.98		\$1,546.98	\$773.49	\$773.49				\$1,546.98	COMPLETE
FFE-016	LAKESHORE LEARN. MATERIALS	\$421.32		\$421.32	\$421.32					\$421.32	COMPLETE
FFE-017	SCHOOL SPECIALTY INC.	\$6,158.41		\$6,158.41	\$3,482.35	\$2,676.06				\$6,158.41	COMPLETE
FFE-018	BLICK ART MATERIALS	\$1,325.20		\$1,325.20		\$1,109.24	\$40.77			\$1,150.01	\$175.19
FFE-019	M.D. STETSON COMPANY	\$12,714.74		\$12,714.74		\$12,714.74				\$12,714.74	COMPLETE
FFE-020	HILLYARD, INC.	\$4,179.80		\$4,179.80		\$4,179.80				\$4,179.80	COMPLETE
	TOTALS #1	\$617,716.28	\$7,426.39	\$625,142.67	\$35,285.17	\$303,622.72	\$33,536.35	\$251,651.55	\$0.00	\$624,095.79	\$1,046.88
ADDITIONAL AWARDS - BIDS OF 4/22/19:											
FFE-021	LAKESHORE LEARN. MATERIALS	\$7,515.48		\$7,515.48	\$6,388.16	\$1,127.32				\$7,515.48	COMPLETE
FFE-022	RDC HOLDINGS: SCHOOL FURN.	\$26,494.49		\$26,494.49		\$7,290.54		\$19,203.95		\$26,494.49	COMPLETE
FFE-023	W.B. MASON CO., INC.	\$15,805.50	\$1,645.00	\$17,450.50		\$5,268.00				\$5,268.00	\$12,182.50
FFE-024	MIDWEST TECHNOLOGY	\$5,374.54		\$5,374.54		\$5,374.54				\$5,374.54	COMPLETE
FFE-025	NO AWARD OF THIS CONTRACT	\$0.00		\$0.00						\$0.00	\$0.00
FFE-026	NO AWARD OF THIS CONTRACT	\$0.00		\$0.00						\$0.00	\$0.00
FFE-027	BOSS LASER	\$4,209.30	\$120.10	\$4,329.40			\$4,329.40			\$4,329.40	COMPLETE
FFE-028	W.B. MASON CO., INC.	\$1,821.12		\$1,821.12						\$0.00	\$1,821.12
	TOTALS #2	\$61,220.43	\$1,765.10	\$62,985.53	\$6,388.16	\$19,060.40	\$4,329.40	\$19,203.95	\$0.00	\$29,777.96	\$33,207.57
BOURNE INTERMEDIATE SCHOOL - NOVEMBER 14, 2019											
BOURNE, MASSACHUSETTS - PAGE 2 OF 2											

ADDITIONAL AWARDS - (QUOTES):											
FFE-029	W.B. MASON CO., INC.	\$5,889.92					\$5,889.92			\$5,889.92	COMPLETE
FFE-030	UNION OFFICE INTERIORS	\$682.60					\$682.60			\$682.60	COMPLETE
FFE-031	FOLLETT SCHOOL SOLUTIONS	\$933.74					\$933.74			\$0.00	\$933.74
FFE-032	SCHOOL SPECIALTY INC.	\$1,627.18					\$1,627.18			\$0.00	\$1,627.18
FFE-033	W.B. MASON CO., INC.	\$4,924.97					\$4,924.97		\$3,290.57	\$3,290.57	\$1,634.40
FFE-034	SCHOOL SPECIALTY INC.	\$2,634.64					\$2,634.64		\$172.70	\$172.70	\$2,461.94
FFE-035	ORDER DELETED									\$0.00	\$0.00
FFE-036	FOLLETT SCHOOL SOLUTIONS	\$1,010.57					\$1,010.57			\$0.00	\$1,010.57
FFE-037	W.B. MASON CO., INC.	\$17,057.09					\$17,057.09			\$0.00	\$17,057.09
FFE-038	UNION OFFICE INTERIORS	\$654.00					\$654.00			\$0.00	\$654.00
FFE-039	ROBERT H. LORD CO., INC.	\$5,205.40					\$5,205.40			\$0.00	\$5,205.40
	TOTALS #3	\$40,620.11	\$0.00	\$0.00	\$0.00	\$0.00	\$40,620.11	\$0.00	\$3,290.57	\$6,745.22	\$30,584.32
TOTALS #1 - PURCHASE ORDERS											
		\$617,716.28	\$7,426.39	\$625,142.67	\$35,285.17	\$303,622.72	\$33,536.35	\$251,651.55	\$0.00	\$624,095.79	\$1,046.88
TOTALS #2 - ADDITIONAL AWARDS-BIDS											
		\$61,220.43	\$1,765.10	\$62,985.53	\$6,388.16	\$19,060.40	\$4,329.40	\$19,203.95	\$0.00	\$29,777.96	\$33,207.57
TOTALS #3-ADDITIONAL AWARDS-QUOTES											
		\$40,620.11	\$0.00	\$40,620.11	\$0.00	\$0.00	\$0.00	\$3,290.57	\$6,745.22	\$10,035.79	\$30,584.32
GRAND TOTALS											
		\$719,556.82	\$9,191.49	\$728,748.31	\$41,673.33	\$322,683.12	\$37,865.75	\$274,146.07	\$6,745.22	\$663,909.54	\$64,838.77
NOTES:											
W.B. MASON: CHANGE ORDER CO-1 TO FFE-001: INCREASED BY \$2,277.08 DUE TO INCREASE IN NUMBER OF BINS FOR ITEM CS2-01.											
W.B. MASON: CHANGE ORDER CO-2 TO FFE-001: INCREASED BY \$7,203.00 DUE TO INCREASE OF (21) ITEM OF9-01.											
W.B. MASON: CHANGE ORDER CO-3 TO FFE-001: DECREASED BY \$549.60 DUE TO DELETION OF ITEM OF1-01, HASKELL DESK, IN OFFICE #108.											
W.B. MASON: CHANGE ORDER CO-4 TO FFE-001: DECREASED BY \$2,865.20 DUE TO DELETION OF OTTOMANS FROM ITEM LC2-04, LOUNGE CHAIRS (5).											
W.B. MASON: CHANGE ORDER CO-5 TO FFE-001: INCREASED BY \$1,776.00 DUE TO ADDITION OF PILLAR LEGS TO ITEM CS3-12.											
W.B. MASON: CHANGE ORDER CO-6 TO FFE-001: INCREASED BY \$685.79 DUE TO INCREASE OF (12) ITEM CS4-01 AND (1) CS3-04.											
SCHOOL HEALTH: CHANGE ORDER CO-1 TO FFE-004: DECREASED BY \$100.00 DUE TO SHIPPING DATE DIRECTLY BY MANUFACTURER.											
SCHOOL SPECIALTY: CHANGE ORDER CO-1 TO FFE-006: DECREASED BY \$846.48. CREDIT TO OWNER.											
W.B. MASON: CHANGE ORDER CO-1 TO FFE-14: DECREASED BY \$154.20 AS PRINCIPAL DID NOT LIKE ORIGINAL MTA-10, DISPLAY RACK. CHANGED TO (2) NEW ONES.											
W.B. MASON: CHANGE ORDER CO-1 TO FFE-023: INCREASED BY \$1,645.00 DUE TO CHANGE IN HEIGHT OF ITEM CSZ-12, SENSORY CHAIRS (94)											
BOSS LASER: CHANGE ORDER CO-1 TO FFE-027: INCREASED BY \$120.10 DUE TO INCORRECT DISCOUNT APPLIED.											







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Fax # (860) 645-9100  
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**QUOTE**

Date	Quote ID
11/12/2019	33911



Name / Address	MB2464
Bourne Public Schools Accounts Payable 36 Sandwich Road Bourne, MA 02532	










Ship To	33911
Bourne Intermediate School Attn: Antone Dias 70 Trowbridge Road Bourne, MA 02532	

Estimator	Cust P.O.	Terms	Job Code	Sales Rep	Project Manager
J Stewart		Net 30 from Invoic...	4 - MHEC	PWL	J Stewart

Ref	Description	Qty	Cost	Total
1	Sico #TTQ61G, Communicator, 42 x 120 x 30"h, with 12 comfort stools - top: classic linen #4943.38 - edge: shadow grey - frame/legs: silver - stools: comfor - (6) berry blue (6) sky blue - casters: grey LP \$3440 - 22/3 delivered and installed  If installation is not required, discount would be 26/3 delivered only - \$2,469.23 each  Sico freight included  MHEC Contract #MC11.C07 - delivered and installed with delivered only pricing provided.  Sico leadtime: 7-9 weeks ARO ( due to holidays)	2	2,602.70	5,205.40
MHEC #MC11-C07 - Delivered and Installed		<b>Subtotal</b>		\$5,205.40
ACCEPTED BY: _____ DATE: _____		<b>Sales Tax (0.0%)</b>		\$0.00
CUSTOMER PO: _____		<b>Total</b>		\$5,205.40

ITEM #	ZONE	ROOM #	ROOM NAME	DEFICIENCY	TRADE (per Brait)	REVIEW DATE	REVIEW BY	COMPLETE	Comments	Value	
1				008 - Repair crack in stair tread at northwest building entrance. Note: The crack was mostly filled, but a small depression in the tread remains. The crack should be completely filled. 11/8/19 - The crack has been sealed sufficiently, and no further action is required. We consider this item closed.		11/4/19	WDA	Complete		\$0	
2				009 - Site Furnishings - Waste receptacle relocated to match location shown on plans. Some joints between bike rack mounting posts and adjacent concrete pavement have not been adequately filled flush with finished grade and are holding water. Benches located along southern edge of playground have not been set on concrete pads per the plans. 11/8/19 - The benches in the playground appear to be adequately secured to the ground and no further action is required. Filling of the bike rack mounting post joints is still necessary.		11/4/19	WDA			\$100	
3				022 - Extend walkway providing access to fire department connection to face of building.		11/4/19	WDA			\$500	
4				027 - Playground Surfacing - Update 10/17/2019: As discussed in the field, the Contractor reconstructed a portion of the playground. The reconstruction included a portion of the perimeter flush concrete edging, resetting the perimeter fence in the reconstructed edge, and re-grading a section of the playground surface. While WDA observed that the slopes within the playground surface were improved, we were unable to identify a contiguous 48-inch-wide path around the perimeter of the swing structure that conforms to the slope requirements for walkways as required by 521 CMR. It appears that cross slopes within this area still exceed 2%, with slopes observed up to 4%. In addition, the new eggshell colored surface is encroaching into the purple central ring which is not consistent with the design plans.		11/4/19	WDA			\$8,500	
5				032 - Address raised timber planter cap conditions (i.e. warping, gaps in joints, cracking, and knotting). It is WDA's understanding that the caps are to be replaced with composite caps. Update 7/2/2019: Composite caps installed. However, Contractor to review caps and address gaps and twisting at joints. Update 10/3/2019: WDA observed that the walls of the planters are beginning to separate at the joints between		11/4/19	WDA			\$2,000	
6				033 - Cross slopes of the interior courtyard pavement exceed the 2% maximum slope allowed by 521 CMR. Cross slopes ranging from 2.3% - 3.2% were observed. 11/8/19 - After further discussion with the Architect, the interior courtyard has been identified as a classroom that is an extension of the building rather than a plaza. Based on the requirements for classrooms, no further action is required. We consider this item closed.		11/4/19	WDA	Complete		\$0	
7				035 - Running slopes of stair treads at loading dock exceed the 2% maximum allowed by the Building Code. Slopes up to 5.5% were observed.		11/4/19	WDA			\$100	
8				041 - Installation and establishment of lawns is incomplete. Update 10/17/2019: Phase II lawn areas are not yet acceptable. Lawn has not been established in disturbed areas formerly occupied by erosion control barriers.		11/4/19	WDA			\$2,000	
9				042 - Installation and establishment of wildflower meadows is incomplete. Update 10/17/2019: Phase I wildflower meadow areas are not yet acceptable. It does not appear that the limits of the wildflower meadow at the front of the site between the existing retaining wall and Trowbridge Road has been modified to match the plans. The wildflower meadow area east of the playground was re-seeded as part of the reconstruction of the east corner of the playground. It is not yet visually apparent if wildflower seed mix was used.		11/4/19	WDA			\$5,000	
10				046 - Slopes of the bituminous concrete landings at some doorways exceed the 2% maximum slope allowed by 521 CMR and the MA Building Code. Slopes up to 5.8% were observed.		11/4/19	WDA			\$1,500	
11				047 - Running slopes of the accessible walkways extending from the parking area adjacent to the loading dock to the building and to the fire department connection exceed the 5% maximum slope allowed by 521 CMR in places. Running slopes ranging from 5.4% - 8.3% were observed. 11/8/19 - Refer to item No. 17 below. Subject to completion of the recommendations for item No. 17, no further action is required.		11/4/19	WDA			\$0	
12				048 - The cross slope of the accessible walkway extending from the loading dock to the fire department connection exceeds the 2% maximum slope allowed by 521 CMR in places. Cross slopes up to 3.5% were observed. 11/8/19 - Refer to item No. 17 below. Subject to completion of the recommendations for item No. 17, no further action is required.		11/4/19	WDA			\$500	
13				050 - A damaged fence panel was observed along the east side of the playground.		11/4/19	WDA			\$100	
14				051 - The ornamental metal pedestrian gate adjacent to the slide gate at the playground area does not close properly due to the latch striking the gate post. Update 8/7/2019: WDA observed on 8/6 that the gate now closes properly. However, it appears that a piece of the fork latch assembly was cut in order to facilitate proper closing of the gate. As a result, sharp edges under the fork latch were observed that must be removed.		11/4/19	WDA	Complete		\$100	
15				061 - The trees planted adjacent to the raised timber planters in the playground area do not match the species on the plans. Contractor to provide botanical name of species installed to determine if replacement is necessary. Update 10/28/2019: It is WDA's understanding that the species planted is <i>Carpinus betulus</i> 'Fastigiata' (Columnar European Hornbeam). While WDA considers this species acceptable for the location, we have had some hardness issues with this particular species in recent years. Since the trees have already been installed, they may remain in place. However, the Contractor should be advised that should one or more of them fail, we will suggest replacing them all with the species shown on the plans so that there is a consistent tree species in this area. 11/1/19 - Per conversations with WDA - should the European Hornbeam fail within the warranty period, it must be replaced with the same species (European Hornbeam) - to maintain a consistent line of the same types of tree. This item can be considered closed.		11/4/19	WDA				\$0
16				001 - It appears that slopes within some portions of the accessible parking spaces and striped loading zones in the main parking lot exceed the 2% maximum slope allowed by 521 CMR. Slopes up to 2.8% were observed.		11/4/19	WDA			\$12,000	
17				002 - It appears that slopes within some portions of the accessible parking space and striped loading zone adjacent to the loading dock exceed the 2% maximum slope allowed by 521 CMR. Slopes up to 4.7% were observed. 11/8/19 - After further review, the primary accessible route to the school is through the front (main) entrance. Thus, this parking space may be converted to a standard parking space (not reserved as accessible) in lieu of performing repairs to the pavement. In order to convert this to a standard parking space, the accessible parking sign and painted accessible parking symbol should be removed. Repair and reseed disturbed lawn areas. The existing painted striping within the parking area may remain as existing.		11/4/19	WDA			\$500	
18				003 - As previously indicated in Field Report 004, the high side curb cut and ramp at the intersection of the entrance and return loop driveways does not appear to be constructed per the plans. There appears to be a mounding of the pavement leading up to the sidewalk level landing area at the high side curb cut. The mounding appears to create an area within the crosswalk that exceeds the 5% maximum running slope and 2% maximum cross slope allowed by 521 CMR. The level landing also exceeds the 2% maximum cross slope allowed by 521 CMR. The expansion joint at the top of the curb cut ramp has not been properly sealed. The detectable warning panels were re-installed to follow the back of the flush curb, however significant gaps between the panels and the back of the flush curb were observed. Update 10/17/2019: The surface grading of the cross walk and sidewalk level landing area has not been addressed. The expansion joint at the top of the ramp has been sealed. The gaps between the detectable warning panels and the back of the flush curb have been sealed.		11/4/19	WDA			\$1,000	

ITEM #	ZONE	ROOM #	ROOM NAME	DEFICIENCY	TRADE (per Brait)	REVIEW DATE	REVIEW BY	COMPLETE	Comments	Value
19				005 - It appears that the cross slopes of the accessible sidewalk leading from the accessible parking space to the loading dock exceeds the 2% maximum slope allowed by 521 CMR. Slopes up to 2.4% were observed. <b>11/18/19 - Refer to Item No. 17 above. Subject to completion of the recommendations for item No. 17, no further action is required. We consider this item closed.</b>		11/4/19	WDA	Complete		\$0
20				006 - The accessible walkway leading from the accessible parking space to the western entrance of the tennis courts exceeds the 5% maximum running slope and 2% maximum cross slope allowed by 521 CMR. Running slopes up to 5.4% and cross slopes up to 2.8% were observed.		11/4/19	WDA			\$1,000
21				007 - Construction of the tennis courts is incomplete (i.e. surfacing, striping, nets/posts have not been installed). The Contractor should be aware that the slope of the court pavement adjacent to the nets/posts is inconsistent with the rest of the court area and far exceeds the design grades. Slopes of up to 4.9% were observed. In addition, puddling of water was observed at a low point in the court pavement near the maintenance gate. <b>Update 10/17/2019: Net posts and tennis court color coat/stripping have been installed. However, the inconsistent slope of the court pavement adjacent to the nets/posts along the centerline of the courts has not been addressed. No puddling of water was observed on the court surface. Nets are scheduled to be installed Friday, 11/18/19 - After further review, the change in grade occurs along the net line, and it does not appear that this will have an adverse impact on play. Tennis nets have been installed. No further action is required. We consider this item closed.</b>		11/4/19	WDA	Complete		\$0
22				008 - Locations of Fuel Efficient / Electric Vehicle charging spaces and Electric Vehicle chargers/charging stations in the main parking lot and in the parking area adjacent to the loading dock do not match the "Green Vehicles" LEED exhibit, dated August 30, 2018. <b>Update 10/28/2019: Check with FAI regarding LEED. Note - Per FAI review of LEED requirements - location of charging stations as installed in the field is compliant. This item can be closed.</b>		11/4/19	WDA	Complete		\$0
23				012 - The "Shared Pathway" sign adjacent to the bike racks at the front entrance of the school should be rotated so that it is clear that the shared pathway is the pathway that runs parallel to the bus drop off loop. <b>Update 10/28/2019: This item has not been addressed. JA suggested installing a small green arrow sign panel below main sign panel in lieu of rotating signpost. WDA finds this solution acceptable.</b>		11/4/19	WDA			\$100
24				013 - The painted one-way traffic directional pavement marking in the return loop driveway was not installed.		11/4/19	WDA			\$200
25				014 - The painted one-way traffic directional pavement marking just past the parent drop off in the egress driveway was not installed.		11/4/19	WDA			\$200
26				015 - The painted one-way traffic directional pavement marking at the end of the bus drop off driveway was not installed.		11/4/19	WDA			\$200
27				017 - The wood gates at the tennis court parking lot and tennis court maintenance drive have not been installed. The keeper posts for these gates also have not been installed.		11/4/19	WDA			\$1,000
28				018 - The trash receptacle at the tennis courts has not been secured to the concrete pad.		11/4/19	WDA			\$100
29				022 - Clean rust stains off entrance bollards.		11/4/19	WDA			\$500
30				024 - The grading and edge definition of the stone dust walking paths at the multi-use lawn area along the east side of the development appear unfinished. Ruts and hydroseed slurry were also observed on their surfaces. <b>Update 10/28/2019: The grading has been smoothed and the stone dust path has been graded up to the top of curb, thus eliminating the raised lip at the curb. However, vehicle traffic has caused ruts in the stone dust path surface in other areas that require repair.</b>		11/4/19	WDA			\$1,000
31				025 - Installation and establishment of lawns is incomplete. Some lawn areas have not yet been seeded and stabilized. Large stones, roots and other construction debris to be removed prior to seeding. <b>Update 10/28/2019: Lawn in this area is becoming established but is not yet acceptable. The boundary between the lawn grass and wildflower meadow still does not appear to match the plans.</b>		11/4/19	WDA			\$2,500
32				026 - Installation and establishment of wildflower meadows is incomplete. Some wildflower meadow areas have not yet been seeded and stabilized. Large stones, roots and other construction debris to be removed prior to seeding. <b>Update 10/28/2019: Phase two and three wildflower meadows are becoming well established but are not yet acceptable.</b>		11/4/19	WDA			\$1,000
33				027 - Contractor to review seeded areas to confirm that lawn seed mix and wildflower seed mix were installed in the proper locations. It appears that lawn seed mix may have been installed in some wildflower meadow areas, however there has not been sufficient growth for this to be visually conclusive. <b>Update 10/17/2019: This item has not been addressed. It is becoming more visually apparent that lawn/wildflower meadow areas were not installed fully per the plans.</b>		11/4/19	WDA			\$11,000
34				033 - While the installation of the trees generally looks appropriate, the layout of the plantings does not match the plans. Furthermore, it appears that alternative tree species have been used to substitute species shown on the plans. These alternatives were not approved by WDA prior to installation on. <b>11/18/19 - Landscape Contractor to provide WDA with a list of tree species planted on-site to determine if additional action is required on this item.</b>		11/4/19	WDA			\$5,000
35				034 - It appears that the condition of some plantings is declining. Contractor to review plantings and replace dead or dying plants as necessary. <b>11/18/19 - Project plantings are currently under warranty for the period of time outlined in the specifications. Contractor to review condition of plantings prior to expiration of warranty period. This item will be covered by warranty if applicable.</b>		11/4/19	WDA	Complete		\$0
36				036 - Hydroseed and mulch should be cleaned from surfaces not intended to be lawn. <b>Update 10/28/2019: This item has not been fully addressed. 11/18/19 - Hydroseed and mulch has been removed from such surfaces. No further action is required. We consider this item addressed.</b>		11/4/19	WDA	Complete		\$0
37				038 - It appears that a small area of damaged sidewalk along the entrance driveway that should be repaired. <b>Update 10/28/2019: This item has not been addressed.</b>		11/4/19	WDA			\$0
38				039 - Multiple small areas of settlement were observed within the landscaped areas. Some of these areas of settlement have occurred adjacent to paved surfaces and have exposed the area under the pavement. We recommend areas of settlement be filled and re-seeded. <b>Update 10/28/2019: Some settlement areas have been repaired. WDA observed one area of settlement that had not been repaired.</b>		11/4/19	WDA			\$500
										\$100

ITEM #	ZONE	ROOM #	ROOM NAME	DEFICIENCY	TRADE (per Brait)	REVIEW DATE	REVIEW BY	COMPLETE	Comments	Value
39				040 - A section of sidewalk adjacent to the Trowbridge Road entrance is cracked and appears to have settled below the top of the adjacent curb. Tire tracks were visible indicating this may have been caused by construction vehicles driving on the sidewalk.		11/4/19	WDA			\$1,000
40				041 - Portions of the multi-use play field adjacent to the softball field are currently under repair and must be reseeded once grading is complete.		11/4/19	WDA			\$2,000
41				1) Mr. Quetti observed that the 12-inch pipe from DCB 152 to DMH 253 was angled differently than shown on the Construction Documents, and that the pipe discharged on top of the outlet pipe in DMH 253, and it does not appear to have been installed with a sump (Figure 1). The pipe configuration may affect the hydraulics, so Nitsch recommends that the contractor cut back the outlet pipe at DMH 253 to allow water to better enter the recharge system. Without a sump, the system does not provide the approved pretreatment. The lack of a sump should not affect the hydraulics of the system, but the approved pretreatment has not been provided.		11/4/19	NEI			\$ 10,000.00
42				2) Mr. Quetti observed large amounts of sediment in OCS 202 and DMH 201. Mr. Young explained that a vac-truck would be coming to the site in the next week and would be vacuuming out the sediment at all of the catch basins. Mr. Young also explained that the structure was damaged during construction, and the frame was knocked loose. When the frame was loose, sediment entered the structure (Figures 2 & 3). The structure appears to have been reset adequately. Mr. Young also explained that the manufacturer was unable to ship a doghouse manhole due to the amount of void space, so a custom structure was used instead. This was not submitted to Nitsch as an RFI and was a field change that was not approved by the design team. The structure appears adequate based on general observation. Nitsch recommends that Recharge System #1 also be vacuumed and flushed due to the amount of sediment that may have potentially entered the system.		11/4/19	NEI			\$ 4,000.00
43				3) Mr. Quetti observed that OCS 254 had an abnormal concrete bump out in the frame. Mr. Young explained that due to the proximity of the curb, the frame was reconstructed with concrete to allow for the installation of the curb (Figures 4 & 5). This change was not approved by the design team, and the contractor shall get a letter from the manufacturer of the manholes or a structural engineer stating that the frames as installed is appropriate for vehicular loading.		11/4/19	NEI		New Custom Frame and Cover	\$4,000
44				4) Mr. Quetti observed that there was standing water in DMH 252. Mr. Young explained that inverts had been formed, but the concrete may have settled. The contractor shall confirm that the outlet pipe is below the inlet pipe and provide the inverts on the as-built (Figure 6).		11/4/19	NEI		Re-form Invert	\$1,000
45				5) Mr. Quetti observed that the frames for SMH 304, SMH 305 were not centered (Figures 7 & 8). However, both of the structures are accessible. The contractor shall get a letter from the manufacturer of the manholes or a structural engineer stating that the frames being offset as installed is appropriate for vehicular loading.		11/4/19	NEI		Frame and Cover Re-center	\$ 2,000.00
46				6) Mr. Quetti observed standing water in DMH 255 (Figure 9). Mr. Young stated that the inverts had been formed. When the DMH is cleaned, the contractor shall take a photo of DMH 255 to confirm that the inverts had been formed.		11/4/19	NEI		Re-form Invert	\$1,000
47				7) Mr. Quetti observed that there was standing water in DMH 262 (Figure 10). Mr. Young explained that the inverts had been formed, but the concrete may have settled. The contractor shall confirm the outlet pipe is below the inlet pipe and provide the inverts on the as-built.		11/4/19	NEI		Re-form Invert	\$1,000
48	ZONE 2	139	Toilet	Room identification sign incorrect. There is a sign installed labeled toilet - need further clarification	Intelligent Signage	4/12/19	FAI		carried over Ph 1	\$ 100.00
49	ZONE 3	169	Gym	Grommet at screen on left end of bleachers not aligned with bolts properly.	NEFS		FAI		carried over Ph 2	\$ 200.00
50	GENERAL			Completion of ongoing Commishing Items		9/4/19	FAI		carried over Ph 3	\$ 10,000.00
43	Open Items								Total	\$94,500



# BRAIT BUILDERS CORPORATION

Date: November 15, 2019

Mr. Joel Seeley  
Symmes Maini & McKee Associates  
1000 Massachusetts Avenue  
Cambridge, MA 02138

**Subject: Gym Floor Warranty (Brait)**

Dear Mr. Seeley,

Per the discussion at our 11-6-19 OAC Meeting, if the minor *Gymnasium & Stage Floor* cupping does not subside by the Summer of 2020, Brait Builders will bear the financial responsibility to remediate the apparent cupping by re-sanding the floors and re-applying the Urethane finish. In addition to remediating the floor cupping, Brait Builders will also repair the wood flooring that is currently mounded at the North and South Exterior Doors.

Please feel free to contact me with any further questions.

Sincerely,

Joseph Amara  
Project Manager

cc.  
Robert Brait  
Michael Brait  
Jordan Geist  
Bill Beatrice  
Perry Davis  
Jane Norton  
Jim Potter



November 12, 2019

Mr. Joe Amara [Jamara@braitbuilders.com]  
Brait Builders Corporation  
57 Rockwood Road, Suite #3  
Marshfield, Massachusetts 02050

Re: Evaluation of Water Leakage  
James F. Peebles Elementary School  
70 Trowbridge Road  
Bourne, Massachusetts

Dear Mr. Amara:

We report herewith the results of our visual inspection, vector mapping of the Sarnafil roofing membranes, and water testing to identify the sources of water leakage observed on the interior of the James F. Peebles Elementary School in Bourne, Massachusetts.

We were informed that eight leakage locations have been identified: Seven on ceilings on the first floor, and one in a second floor classroom below a combination of roof areas abutting second floor walls and light monitor walls. Repairs have been performed at all locations. However, water leakage continues at some of the locations.

The following sections of this report describe our interior and exterior observations, and the results of vector mapping and water penetration testing at the eight leakage locations:

- Art Room
- Second Floor Classroom
- Room 128
- Main Entryway Vestibule
- Studio Room
- Cafeteria/Auditorium
- Mechanical Room 166, and
- Bathroom Area Near Loading Dock



Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
November 13, 2019  
Page 2

## I. ART ROOM — ROOM 125

### A. INTERIOR OBSERVATIONS

1. Heavy water staining was observed on the ceiling around the roof drain on the green roof. See Photograph 1.
2. Small water stains were observed in spots on the ceiling on the north side of the classroom. See Photograph 2.

### B. EXTERIOR OBSERVATIONS — GREEN ROOF

See Photographs 3 and 4

1. The vertical joint between the jambs of the storefront window/metal panel/wood trim and the brick wall are not sealed. The self-adhesive flashing on the back-up wall by the window jamb was visible where the angle closure metal installed on the window jamb is not in contact with the brick. See Photograph 5.
2. There is a step-up in the stainless steel counterflashing in the corners where the counterflashing beneath the cast stone units beneath the storefront window are located approximately 2 inches above the counterflashing in the brick walls. The counterflashing in the brick walls has a turned-up leg beneath the counterflashing beneath the cast stone return into the brick wall. See Photograph 6.
3. The stainless steel counterflashing in the brick walls does not have a turned-up leg where it intersects the flanged flashing installed on the sides of the front parapet walls. Stainless steel flashing is installed above the flanged flashing at the top of the parapet.
4. The sill flashing at the storefront window is sloped toward the window sill and holds water. See Photograph 7.

### C. TESTS

#### 1. VECTOR MAPPING

No vector mapping testing of the Sarnafil roofing membrane is possible without complete removal of the planters, pavers, and protection mats.

#### 2. WATER TESTING

Water testing was done by first flooding the roof, then performing isolation testing at areas where leakage was observed on the interior.





Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
November 13, 2019  
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### Test 1

A flood test of the green roof membrane was performed by sealing the main drain and allowing water to build up on the roof to the top of the rim of the overflow drain.

After one hour, water was observed in the Art Room, behind the exterior windows by the side of the room.

Approximately 30 minutes after allowing the water to drain from the roof, a wet spot was observed on the ceiling approximately 5 feet from the roof drain. See Photograph 8.

### Prior to the start of Test 2:

- a. The leakage at the windows stopped.
- b. The plantings around a post for the railing system were removed. The area was cleaned with water. No visible defects were observed in the Sarnafil membrane.

### Test 2

Water was applied for 15 minutes from a  $\frac{5}{8}$  inch diameter hose to the segmented weep slots in between the cast stone units below the storefront windows at the north side of the wall. No new leakage was observed on the ceiling in the Art Room.

### Test 3

Water was applied for 20 minutes from a  $\frac{5}{8}$  inch diameter hose to the vertical joint between the brick wall and the metal closure angle installed on the surface of the storefront jambs. No new leakage was observed in the Art Room. No leakage was observed on the second floor.

Water was observed flowing out of the weep slots between the cast stone units and in the brick wall at the stainless steel counterflashings.

### Test 4

Water was applied to the lights of glass and storefront frame using a hose and a Type B-25 #6.030 nozzle (used for AAMA 501.2 water testing), starting at the sill of the storefront and continuing 5 feet up the vertical mullions for a total test period of 20 minutes. No new leakage locations were observed in the Art Room.



Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
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Test 5

Water was applied for 20 minutes to the vertical joint between the panels/wood siding above the head of the storefront window and the brick wall using a hose and a Type B-25 #6.030 nozzle. No new leakage was observed in the Art Room. No leakage was observed on the second floor.

Note: An interior glazing gasket is out of position in the top light of glass at the storefront frame.



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Re: Water Leakage Investigation  
Pebbles Elementary School, Bourne  
November 13, 2019  
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## II. SECOND FLOOR CLASSROOM

### A. INTERIOR OBSERVATIONS

Water stains were observed on the ceiling tiles adjacent to the door to the ahll below the light monitor wall.

### B. EXTERIOR OBSERVATIONS

Areas of failed sealant were observed in the joint between the sill flashing and the storefront sill.

### C. TEST

See Photograph 9

#### VECTOR MAPPING

Low voltage vector mapping grid was set up on the Sarnafil membrane from the south parapet, along the base of the light monitor wall, and extending our past the first field-welded seam. The following breaches were found and marked with crayon:

1. A void in a field-welded seam in the membrane was marked at the parapet by the monitor wall. See Photograph 10.
2. Outside of the grid by the monitor wall, a cut approximately 2 inches long by  $\frac{1}{16}$  inch wide was marked. See Photograph 11.



Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
November 13, 2019  
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### III. ROOM 128

#### A. INTERIOR OBSERVATIONS

1. Rust and water stains were observed on the underside of the second floor metal deck. See Photograph 12.
2. Water damaged Sheetrock was observed at the head of the window opening. See Photograph 13.
3. Blistered paint was observed on the wall by the door leading to the Art Room.

#### B. EXTERIOR OBSERVATIONS – GREEN ROOF AND SECOND FLOOR

1. The stainless steel counterflashing in the north-facing wall did not have a turned-up leg where it intersects the flanged flashing installed on the sides of the parapet wall. See Photographs 14 and 15.
2. The stainless steel counterflashing in the base of the suspended brick wall located above the parapet of the green roof is terminated at the face of the brick wall.

#### C. TESTS

##### WATER TESTING

##### Test 1

Flood testing of the green roof resulted in no observed water leakage on the interior of Room 128.

##### Test 2

Water was applied from a  $\frac{5}{8}$  inch diameter hose to the weep slots in the base of the brick wall. After 9 minutes and 30 seconds, water was observed on the interior, dripping at the soffit above the window in Room 128.



#### IV. MAIN ENTRY VESTIBULE

##### A. INTERIOR OBSERVATIONS

Peeling paint and damaged Sheetrock tape were observed on the ceiling abutting the east wall. Stains were observed on the wall. See Photograph 16.

##### B. EXTERIOR OBSERVATIONS

See Photograph 17

1. A curb/wall is encapsulated in the Sarnafil roofing system, separating the entry canopy roof from the first floor roof.
2. The encapsulated curb/wall abuts the brick wall. The stainless steel counterflashing in the brick wall is on a line below the intersecting curb/wall. The stainless steel flashing does not have turned-up legs on either side of the curb/wall. No counterflashing was installed in the brick wall above the top of the curb/wall. The curb/wall is terminated with flanges and sealant against the brick wall.
3. Not all of the intersecting field seams in the Sarnafil membrane have been covered with seam patches in this area. See Photograph 18.

##### C. TESTS

###### 1. VECTOR MAPPING

Low voltage vector mapping of the Sarnafil roofing membrane was performed along the base of the wall and up and over the curb/wall, extending 60 square feet on the building roof and 60 square feet on the canopy roof. No breaches were found in the area tested.

###### 2. WATER TESTING

Water was applied from a  $\frac{5}{8}$  inch diameter hose to the weep slots to the south of the curb/wall.

Water was observed draining from the weep slots in the brick wall on both sides of the curb/wall attachment to the brick wall.

After 7 minutes, water was observed on the interior, running down the wall in the entryway. Water blisters were observed in the paint between the ceiling and wall.

See Photograph 19.



## V. STUDIO ROOM

### A. INTERIOR OBSERVATIONS

We were informed that water leakage has occurred around a square duct that penetrates the roof.

### B. EXTERIOR OBSERVATIONS

1. An open seam was observed in the Sarnafil flashing on the curb. See Photograph 20.
2. The fasteners at the hinges for the vent top have been covered with sealant where they are installed through the Sarnafil membrane on the curb.
3. No sealant was observed at the fastener on the wire tie-back installed through the Sarnafil membrane on the curb. See Photograph 21.
4. Holes were observed in the Sarnafil membrane located behind screw ports in the base flashing for the vent hood. See Photograph 22.
5. No gasket could be felt between the top of the curb and the hinged base of the vent.



Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
November 13, 2019  
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## VI. CAFETERIA/AUDITORIUM

### A. INTERIOR OBSERVATIONS

Water stains were observed on the suspended ceiling behind the window facing the courtyard.

### B. EXTERIOR OBSERVATIONS

1. Handrail posts are installed along the roof parapet.
2. The Sarnafil membrane is covered with walkway pads in the area between the wall and the handrail posts.

### C. TESTS

#### VECTOR MAPPING

Low voltage vector mapping was performed on the Sarnafil roofing membrane along the base of the wall to the handrail post in front of the second floor windows and 6 feet to the south of the window. No breaches were found in the area tested. See Photograph 23.

Note: The Sarnafil membrane covered by walkway pads cannot be accurately tested to identify breaches beneath the walkway pads.



## VII. MECHANICAL ROOM 166

### A. INTERIOR OBSERVATIONS

We were informed that water leakage was observed at the ducts penetrating the roof deck. See Photograph 24.

### B. EXTERIOR OBSERVATIONS

1. The rain caps on the ducts have a low slope from the collar at the duct. Sealant was observed at the joint between the collar and the duct.
2. An opening in a field seam on the side of a round duct was marked with crayon.
3. A hole on top of a curb next to the brick wall was marked with crayon. See Photograph 25.
4. At a vent with a hinged top: See Photograph 26 for a general view
  - a. The fasteners at the hinges for the vent top have not been sealed where they penetrate the Sarnafil membrane on the curb.
  - b. No sealant was observed at the fastener on the wire tie-back installed through the Sarnafil membrane on the curb.
  - c. Holes were observed in the Sarnafil membrane behind the screw ports in the vent hood base flashing. See Photograph 27.
  - d. No gasket could be felt between the top of the curb and the hinged base of the vent.
5. The sealant in the pourable sealer pockets around three pipe penetrations is recessed below the rim of the pocket. Water-staining was observed on top of the sealant. See Photograph 28.





## VIII. BATHROOM AREA NEAR LOADING DOCK

### A. INTERIOR OBSERVATIONS

1. Water stains were observed on the ceiling tiles. See Photograph 29.
2. Blistered paint was observed on the ceiling by the duct vent. See Photograph 30.

### B. EXTERIOR OBSERVATIONS

1. The metal feet of the frames for mechanical equipment are set directly on the Sarnafil membrane. See Photograph 31.
2. Additional sealant has been placed around pipe penetrations in one pourable sealer pocket. The surrounding sealant is recessed below the rim of the pocket. Standing water was observed covering the majority of the sealant in the pocket. See Photograph 32.
3. At a second pourable sealer pocket, the sealant is recessed below the rim of the pocket.
4. At a vent with a hinged top: See Photograph 33 for a general view
  - a. The fasteners at the hinges for the vent top have not been sealed where they penetrate the Sarnafil membrane on the curb.
  - b. No sealant was observed at the fastener on the wire tie-back installed through the Sarnafil membrane on the curb.
  - c. Holes were observed in the Sarnafil membrane behind the screw ports in the vent hood base flashing. See Photograph 34.
  - d. No gasket could be felt between the top of the curb and the hinged base of the vent.



Brait Builders Corporation  
Re: Water Leakage Investigation  
Peebles Elementary School, Bourne  
November 13, 2019  
Page 12

We appreciate the opportunity to be of service. If you have any questions or require additional information regarding the observations and test results reported above, please contact the undersigned.

Very truly yours,

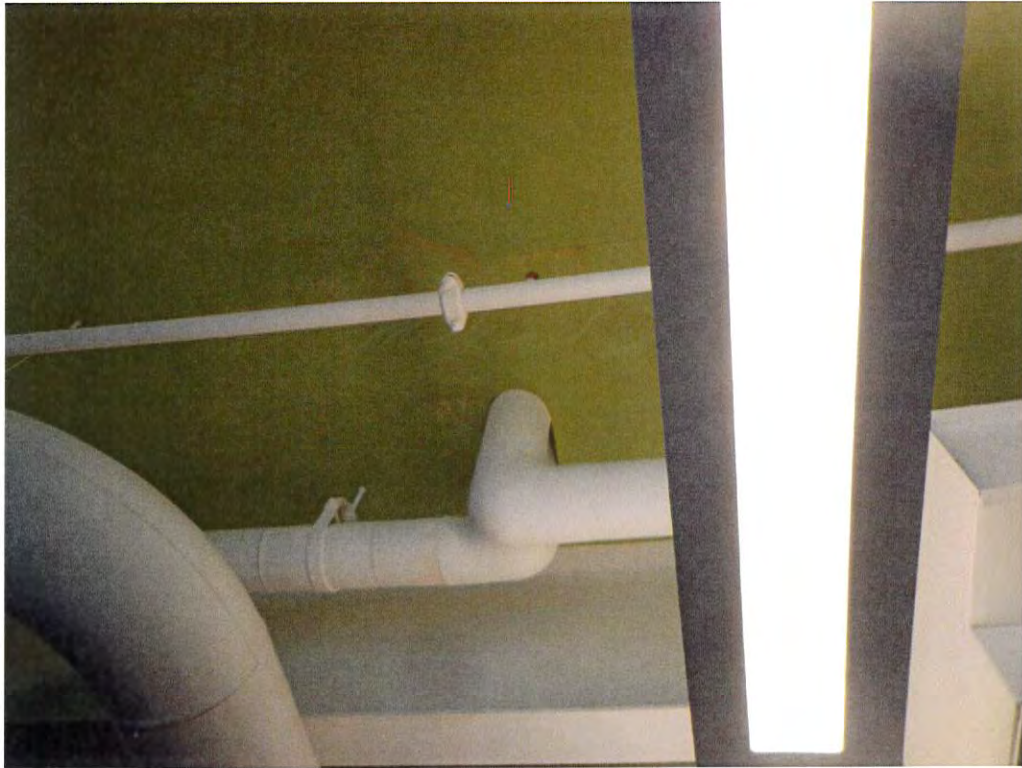
THE THOMPSON & LICHTNER COMPANY, INC.

A handwritten signature in black ink that reads 'Michael Vielmetti'.

Michael Vielmetti  
President

MV/hw

Photographs



**Photograph 1**

Water staining on ceiling of Art Room below drain on green roof



**Photograph 2**

Smaller water stains on ceiling on north side of Art Room



**Photograph 3**  
General view of green roof



**Photograph 4**  
General view of green roof



**Photograph 5**  
Storefront window in Art Room



**Photograph 6**  
Stainless steel counterflashing outside Art Room



**Photograph 7**  
Sill flashing at storefront window in Art Room



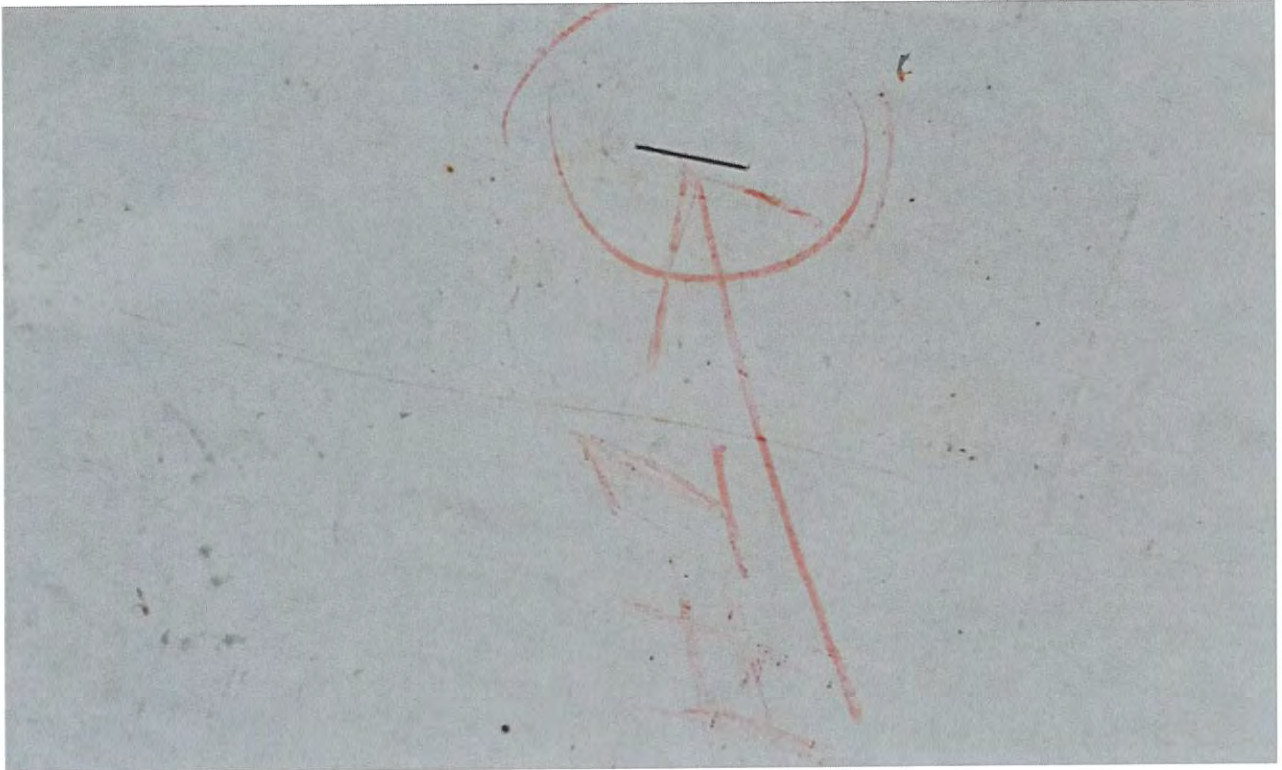
**Photograph 8**  
Flood testing of green roof



**Photograph 9**  
Vector mapping at second floor classroom



**Photograph 10**  
Void in field-welded seam at parapet by monitor wall above second floor classroom



**Photograph 11**

Cut in roof outside of grid for vector mapping above second floor classroom



**Photograph 12**

Rust and water stains on underside of second floor metal deck at Room 128





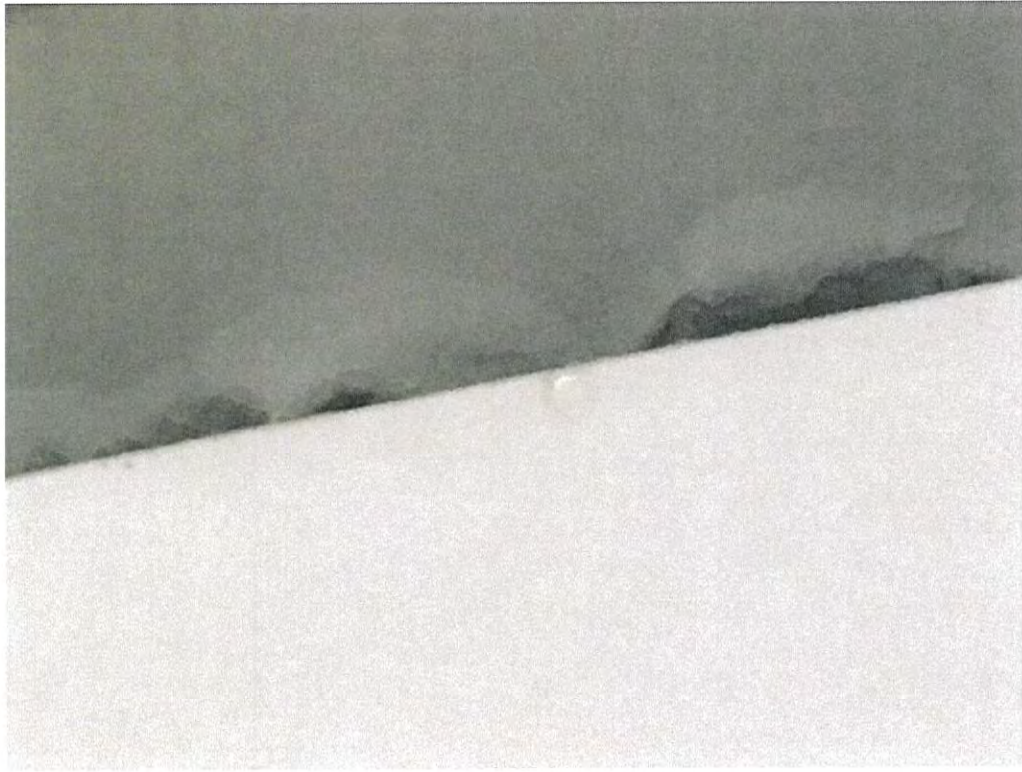
**Photograph 13**

Water-damaged Sheetrock at head of window opening in Room 128



**Photograph 14**

Stainless steel counterflashing in north-facing wall outside Room 128



**Photograph 15**

Peeling paint and damaged Sheetrock at Main Entry vestibule



**Photograph 16**

Encapsulated curb/wall above Main Entry vestibule



**Photograph 17**

Seams lacking seam patches above Main Entry vestibule



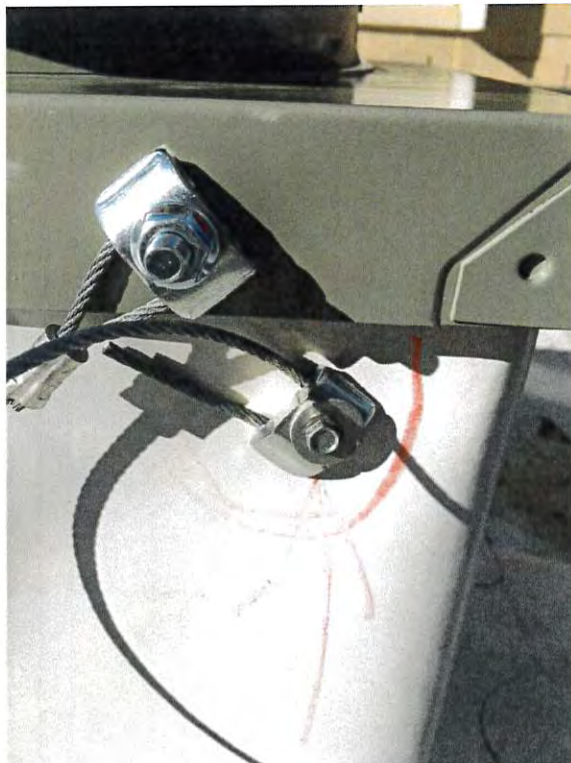
**Photograph 18**

Area where water applied to weep slots ran down the wall in the Main Entry vestibule



**Photograph 19**

Open seam in Sarnafil flashing on curb at Studio



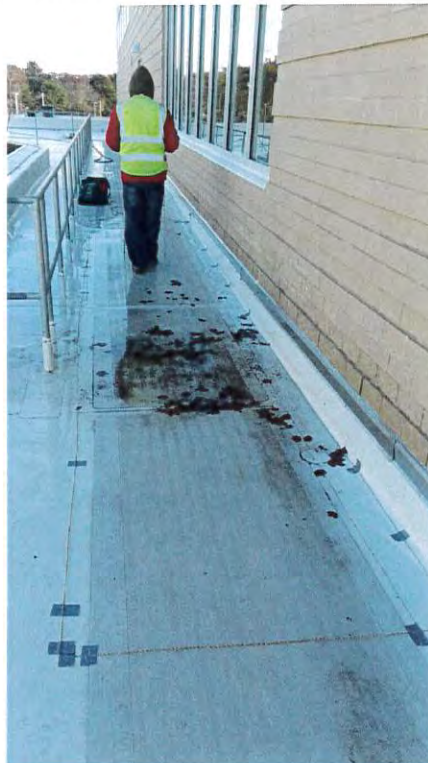
**Photograph 20**

No sealant on wire tie-back fastener at Studio



**Photograph 21**

Hole in Sarnafil membrane behind a screw port in vent hood base flashing at Studio



**Photograph 22**

Vector mapping of the Cafeteria/Auditorium roof



**Photograph 23**

Water leakage occurs at ducts penetrating Mechanical Room 166 roof



**Photograph 24**

Hole on top of a curb at Mechanical Room 166



**Photograph 25**

Vent with hinged top at Mechanical Room 166



**Photograph 26**

Holes in Sarnafil membrane behind screw ports in Mech. Room vent hood base flashing



**Photograph 27**

Sealant below rim of pourable sealer pocket at Mechanical Room 166



**Photograph 28**

Water stains on ceiling tiles in Bathroom Area near loading dock





**Photograph 29**  
Blistered paint on ceiling by Bathroom Area duct vent



**Photograph 30**  
Metal feet of equipment frames set directly on Sarnafil membrane



**Photograph 31**

Additional sealant at pipe penetrations above Bathroom Area



**Photograph 32**

Sealant recessed below rim of pourable sealer pocket above Bathroom Area



**Photograph 33**

Holes in Sarnafil membrane behind screw port in vent hood base flashing above Bathroom Area

# MARGUERITE CONCRETE, INC.

239 South St., 3rd Floor  
Hopkinton, MA 01748

(508) 381-0789  
Fax: (508) 482-0066

## Memorandum

**To:** 2019 Project Customers

**From:** Marguerite Concrete

**Date:** October 21, 2019

**Re:** Concrete Sidewalks – De-icing and Conformance Testing

---

Dear Customer:

This letter is to advise you against using de-icing chemicals on exterior sidewalks and pavement installed by Marguerite Concrete. Any application of de-icing chemicals will void our warranty for this portion of the work.

Each winter, we receive complaints regarding damage to our new concrete work which can be avoided by using proper maintenance procedures. Marguerite Concrete strongly recommends that snow be removed from concrete paving via plowing (with rubber blade), mechanical sweeping/blowing, or shoveling. Sand should be applied once snow is removed to mitigate potential slippage.

The American Concrete Institute's Section 318-14 (Building Code Requirements for Structural Concrete) designates concrete exposed to freeze-thaw cycles, and frequent exposure to de-icing chemicals as "Category F3", and specifies 5000psi concrete mix for these locations. In our recent experience however, not all concrete paving in New England is designed to this minimum standard, and is therefore highly susceptible to damage from de-icing products containing Urea, Ammonium Nitrate, or Ammonium Sulfate because they react chemically with concrete. Therefore, it is best to avoid them altogether.

Salt, in contrast, does not react chemically with concrete but it is no less damaging because it exacerbates the freeze thaw cycle. Salt application allows the concrete to readily become saturated with melted surface water, where it re-freezes inside the paving, creating spalling or delamination of the top surface of the concrete. Salt shortens the service life of all concrete.

In addition, with the impending freezing weather, it is important that all sidewalks be tested for conformance to applicable codes regarding maximum slope as soon as possible. Depending on the preparation of the subgrade and site drainage conditions during and after construction, ground frost can have a substantial effect on sidewalk elevations. Sidewalks are often designed just below maximum allowed slopes, so even small frost heaves or settlements can leave a sidewalk which was correctly placed in 2019 out of tolerance in the Spring of 2020. For this reason, Marguerite Concrete will not be responsible for such corrective work on sidewalks which are not tested before winter.

Please forward this information to the Project Owner. We will include the same information with our final warranty at the conclusion of the project, but with winter weather approaching it is critical for all Construction Managers and General Contractors to follow these procedures for conformance testing, and maintaining concrete sidewalks and pavement on project sites which have been completed by Marguerite Concrete but not yet turned over to Ownership.

**NEW BOURNE INTERMEDIATE SCHOOL**  
 FORMERLY THE PEEBLES ELEMENTARY SCHOOL  
 BOURNE, MASSACHUSETTS

**Change Order Budget Summary**

Change Order	Change Order Amount	Budget	
-	-	\$ 1,545,518.00	<b>Owner's Construction Contingency</b>
-		\$ 2,920,366.00	<b>PFA Amendment</b>
1	\$ 22,114.01		CR-001; CR-002R3
2	\$ 32,209.44		CR-003; CR-006; CR-008; CR-009; CR-011
3	\$ 13,561.47		CR-10R2; CR 12R1
4	\$ 28,669.16		CR-007A; CR014; CR-015
5	\$ 74,391.91		CR-016R1; CR-017; CR-018R1; CR-022R1
6	\$ 5,695.69		CR-020; CR-023; CR-027; CR-030; CR-032R1
7	\$ 31,541.76		CR-013R2; CR-026; CR-031
8	\$ 18,547.51		CR-029R2; CR-033; CR-037; CR-043; CR-044R1
9	\$ 31,574.09		CR-024; CR-036R1; CR-041; CR-045; CR-049; CR-051
10	\$ (42,944.82)		CR-005R1; CR-034R1; CR-055; CR-056
11	\$ 11,597.32		CR-054; CR-058; CR-062; CR-065
12	\$ 3,946.62		CR-063; CR-072
13	\$ 4,565.68		CR-061; CR-066; CR-073
14	\$ 23,205.40		CR-067; CR-068; CR-070; CR-074; CR-077R1; CR079
15	\$ (15,012.16)		CR-080; CR-086; CR-088
16	\$ 8,790.78		CR-083; CR-085
17	\$ 1,303.76		CR-081; CR-091; CR-092
<b>Change Order Total</b>		<b>Budget Total</b>	<b>Budget Balance</b>
<b>TOTAL</b>	\$ 253,757.62	\$ 4,465,884.00	\$ 4,212,126.38

# Change Order

PROJECT: New Pebbles Elementary School  
(Name,Address) 70 Trowbridge Road  
Bourne, MA 02532

CHANGE ORDER NUMBER: **17**  
INITIATION DATE: November 21, 2019  
ARCHITECTS PROJECT NO: 1514.00  
CONTRACT FOR: New Construction  
CONTRACT DATE: November 30, 2017

TO (Contractor): Brait Builders Corp.  
57 Rockwood Rd., Suite 3  
Marshfield, MA 02050

*You are directed to make the following changes in this Contract:*

PCO #	PR #	CCD #	Description	Time (days)	Amount
COR 81	PR 42		Artwork Modifications (credit)		<b>\$1,697.00 CR</b>
COR 91	PR 49		Added Receptacle in Room 173b		\$1,083.85
COR 92	PR 50		Additional Playground Signage		\$1,916.91

Total ADD **\$1,303.76**

Not valid until signed by both the Owner and Architect. Signature of the contractor indicates his agreement herewith, including any adjustment in the Contract Sum or Contract Time. Reservations of rights for additional time extensions, costs or damages indicated on the attached materials shall be void and superseded by the changes identified on this cover sheet to the Contract Sum and Contract Time for the items included in this Change Order.

The original (Contract Sum) ( <del>Guaranteed Maximum Cost</del> ) was	.....	\$27,990,000.00
Net change by previously authorized Change Orders	.....	\$252,453.86
The (Contract Sum) ( <del>Guaranteed Maximum Cost</del> ) prior to this Change Order Was	.....	\$28,242,453.86
The (Contract Sum) ( <del>Guaranteed Maximum Cost</del> ) Will be ( Increased ) by this Change Order	.....	\$1,303.76
The new (Contract Sum) ( <del>Guaranteed Maximum Cost</del> ) including this Change Order Will be	.....	<b>\$28,243,757.62</b>
The Contract Time will be ( Unchanged) by	..... ( 0 ) Days	
The Date of Substantial Completion as of the date of this Change Order therefore is:	Phase 1	May 20, 2019
	Phase 2	August 16, 2019
	Phase 3	November 18, 2019

Authorized:

Flansburgh Architects, Inc.  
**ARCHITECT**  
77 North Washington St.  
Boston, MA 02114

Brait Builders Corp.  
**CONTRACTOR**  
57 Rockwood Road  
Suite 3  
Marshfield, MA 02050

Town of Bourne  
**OWNER**  
Town of Bourne  
24 Perry Avenue  
Buzzards Bay, MA 02532

BY \_\_\_\_\_

BY \_\_\_\_\_

BY \_\_\_\_\_

DATE \_\_\_\_\_

DATE \_\_\_\_\_

DATE \_\_\_\_\_

**Change Order #17 Summary**  
**11/21/19**

**Change Proposal Number**

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COR 81	PR 42	Artwork Modifications (credit)	<b>-\$1,697.00</b>
COR 91	PR 49	Added Receptacle in Room 173b	\$1,083.85
COR 92	PR 50	Additional Playground Signage	\$1,916.91
<b>Total Change Order Value</b>			<b>\$1,303.76</b>

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<b>COR 81</b>	<b>PR 42</b>	<b>Artwork Modifications (credit)</b>	<b>-\$1,697.00</b>
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Artwork modifications involving a credit for the wood etching artwork (materials were delivered to the site) and vinyl lettering. There is a small add for the installation of the nautical sign in the lobby provided by the school.

<b>COR 91</b>	<b>PR 49</b>	<b>Added Receptacle in Room 173b</b>	<b>\$1,083.85</b>
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Added receptacle in room 173b (Teacher's Planning Room). Receptacle was needed for the small under cabinet refrigerator.

<b>COR 92</b>	<b>PR 50</b>	<b>Additional Playground Signage</b>	<b>\$1,916.91</b>
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Additional signage requested by the school for the playground area. Signs are "No Animals Allowed" and "No Skateboarding Allowed".



**Change Request**

**To:** Jay Williams  
Flansburgh Architects  
77 N. Washington Street  
Boston, MA 02114-1910  
Ph: (617) 367-3970

**Number:** 81  
**Date:** 8/13/19  
**Job:** PES-2017 Peebles ES  
**Phone:**

**Description:** COR#81 PR#42 Artwork Modifications

This COR is a net credit for PR#42 Artwork Modifications.

Work performed by subcontractors:

Description	Subcontractor	Price
Finish Carpentry	Continental Woodcraft LLC	\$-442.00
Finish Carpentry	Inter Build	\$-600.00
Signage	Intelligent Signage, Inc.	\$-880.00
Signage		\$225.00
	<b>Subtotal:</b>	<b>\$-1,697.00</b>
	<b>Subtotal:</b>	<b>\$-1,697.00</b>
	<b>Total:</b>	<b>\$-1,697.00</b>

If you have any questions, please contact me at (781)837-6400.

Submitted by: Robert A Brait  
Brait Builders Corp.

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_



*Change Request*

**To:** Bill Beatrice  
Flansburgh Architects  
77 N. Washington Street  
Boston, MA 02114-1910  
Ph: (617)367-3970 x227

**Number:** 91  
**Date:** 10/11/19  
**Job:** PES-2017 Peebles ES  
**Phone:**

**Description:** COR#91 PR#49 Added Receptacle Room 173b

This COR is for an added Receptacle in Room 173b per PR#49.

Work performed by subcontractors:				
Description	Subcontractor			Price
Electrical	Systems Contracting			\$1,012.00
			<b>Subtotal:</b>	\$1,012.00
			<b>Subtotal:</b>	<b>\$1,012.00</b>
		OH&P	\$1,012.00	5.00% \$50.60
		BOND	\$1,062.60	2.00% \$21.25
			<b>Total:</b>	<b>\$1,083.85</b>

If you have any questions, please contact me at (781)837-6400.

Submitted by: Robert A Brait  
Brait Builders Corp.

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_

*Change Request*

**To:** Bill Beatrice  
Flansburgh Architects  
77 N. Washington Street  
Boston, MA 02114-1910  
Ph: (617)367-3970 x227

**Number:** 92  
**Date:** 10/11/19  
**Job:** PES-2017 Peebles ES  
**Phone:**

**Description:** COR#92 PR#50 Added Playground Signage

This COR is for additional signage at the Playground per PR#50.

Work performed by subcontractors:

Description	Subcontractor	Price
Earthwork	J Read Corporation	\$1,789.83
		<b>Subtotal:</b> <u>\$1,789.83</u>
		<b>Subtotal:</b> <b>\$1,789.83</b>
	OH&P	\$1,789.83 5.00% \$89.49
	BOND	\$1,879.32 2.00% \$37.59
		<b>Total:</b> <u><u>\$1,916.91</u></u>

If you have any questions, please contact me at (781)837-6400.

Submitted by: Robert A Brait  
Brait Builders Corp.

Approved by: \_\_\_\_\_  
Date: \_\_\_\_\_