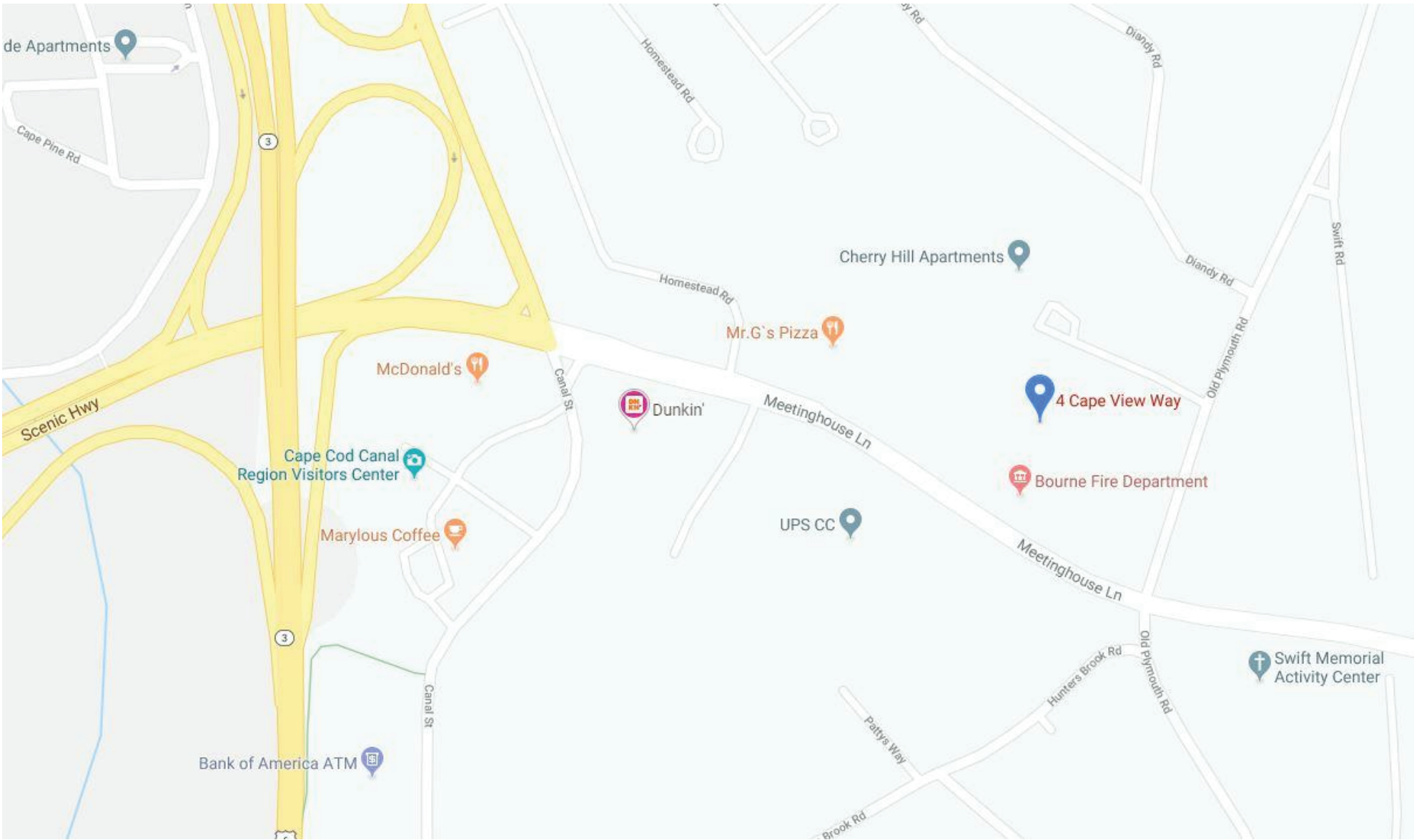


LOCUS MAP:



PROJECT TEAM:

OWNER/DEVELOPER:
Preservation of Affordable Housing
40 Court St, Boston, MA 02108

ARCHITECT:
ICON Architecture
101 Summer Street, Boston, MA 02110
617.451.3333

STRUCTURAL ENGINEER:
SOUZA, TRUE & PARTNERS, INC.
265 Winter Street, 3rd Floor, Waltham, MA 02451

LANDSCAPE ARCHITECT / CIVIL ENGINEER:
Horsley Witten Group, Inc.
90 Route 6A, Unit 1, Sandwich, MA 02563

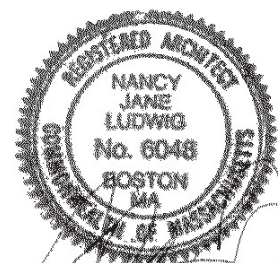
MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION ENGINEER:
Wozny/Barbar & Associates, Inc.
1076 Washington Street, Hanover, MA 02339

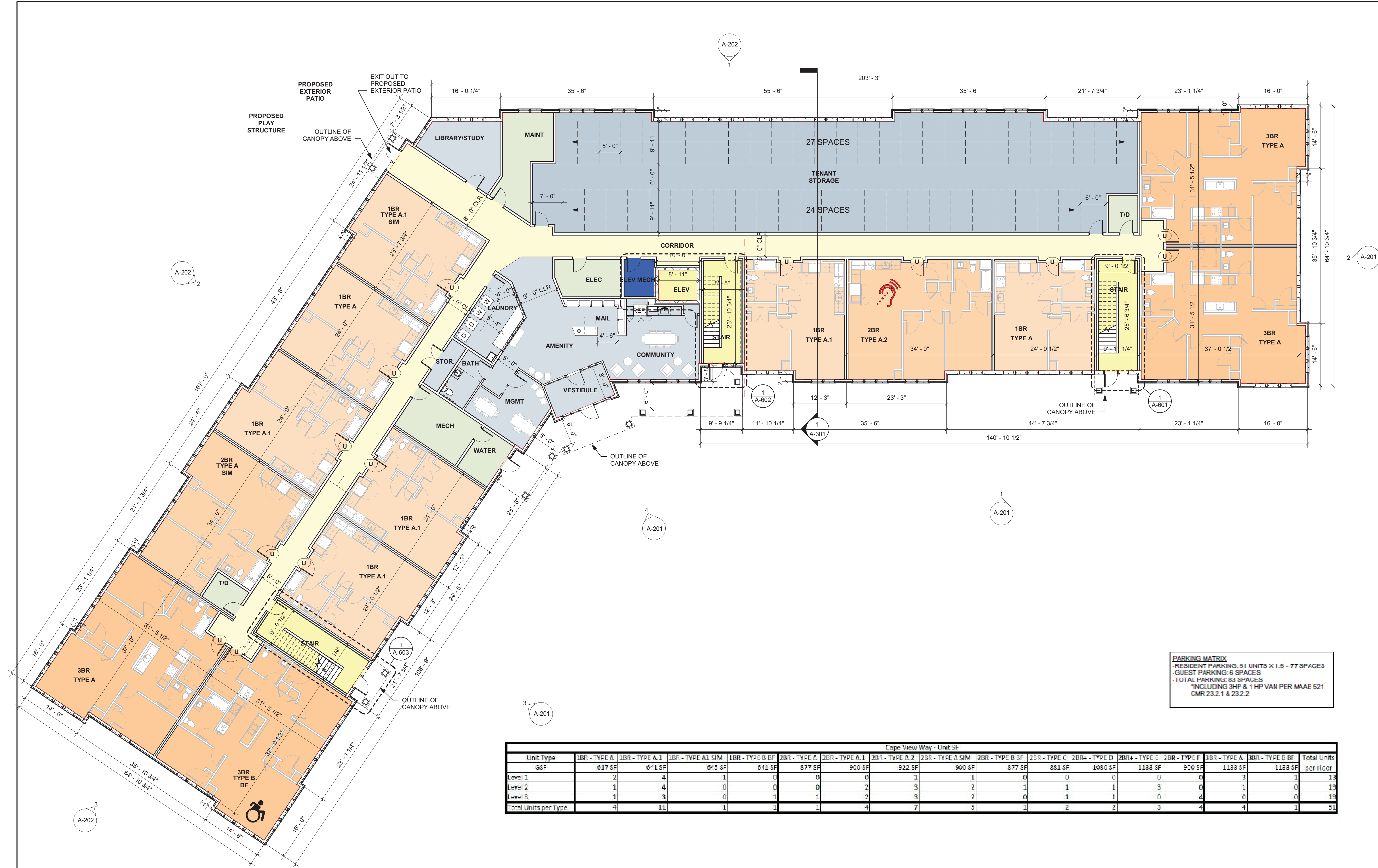


CAPE VIEW WAY

Bourne, MA

SCHEMATIC DESIGN





PARKING MATRIX
- RESIDENT PARKING: 51 UNITS X 1.5 = 77 SPACES
- GUEST PARKING: 6 SPACES
- TOTAL PARKING: 83 SPACES
* INCLUDING 3HP & 1 HP VAN PER MAAB 521
CMR 23.2.1 & 23.2.2

Cape View Way - Unit SF																
Unit Type	1BR - TYPE A	1BR - TYPE A.1	1BR - TYPE A.1 SIM	1BR - TYPE B BF	2BR - TYPE A	2BR - TYPE A.1	2BR - TYPE A.2	2BR - TYPE A SIM	2BR - TYPE B BF	2BR - TYPE C	2BR+ - TYPE D	2BR+ - TYPE E	2BR - TYPE F	3BR - TYPE A	3BR - TYPE B BF	Total Units per Floor
GSF	617 SF	641 SF	645 SF	641 SF	877 SF	900 SF	922 SF	900 SF	877 SF	881 SF	1080 SF	1133 SF	900 SF	1133 SF	1133 SF	
Level 1	2	4	1	0	0	0	1	1	0	0	0	0	0	3	1	13
Level 2	1	4	0	0	0	2	3	2	1	1	1	3	0	1	0	19
Level 3	1	3	0	1	1	2	3	2	0	1	1	0	4	0	0	19
Total Units per Type	4	11	1	1	1	4	7	5	1	2	2	3	4	4	1	53

1 LEVEL 1 PLAN
3/32" = 1'-0"

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

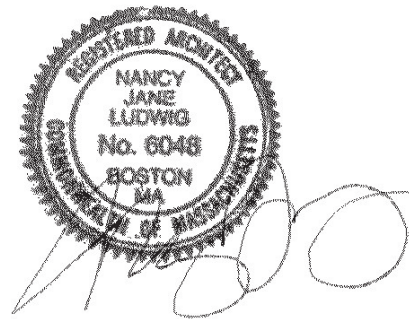
ARCHITECT



101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

LEVEL 1 PLAN

A-102

CAPE VIEW
WAY

Bourne, MA

Preservation of Affordable
Housing

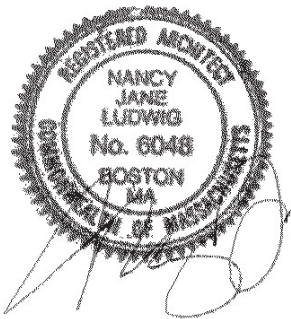
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101 SUMMER ST BOSTON MA 02110

CONSULTANT

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

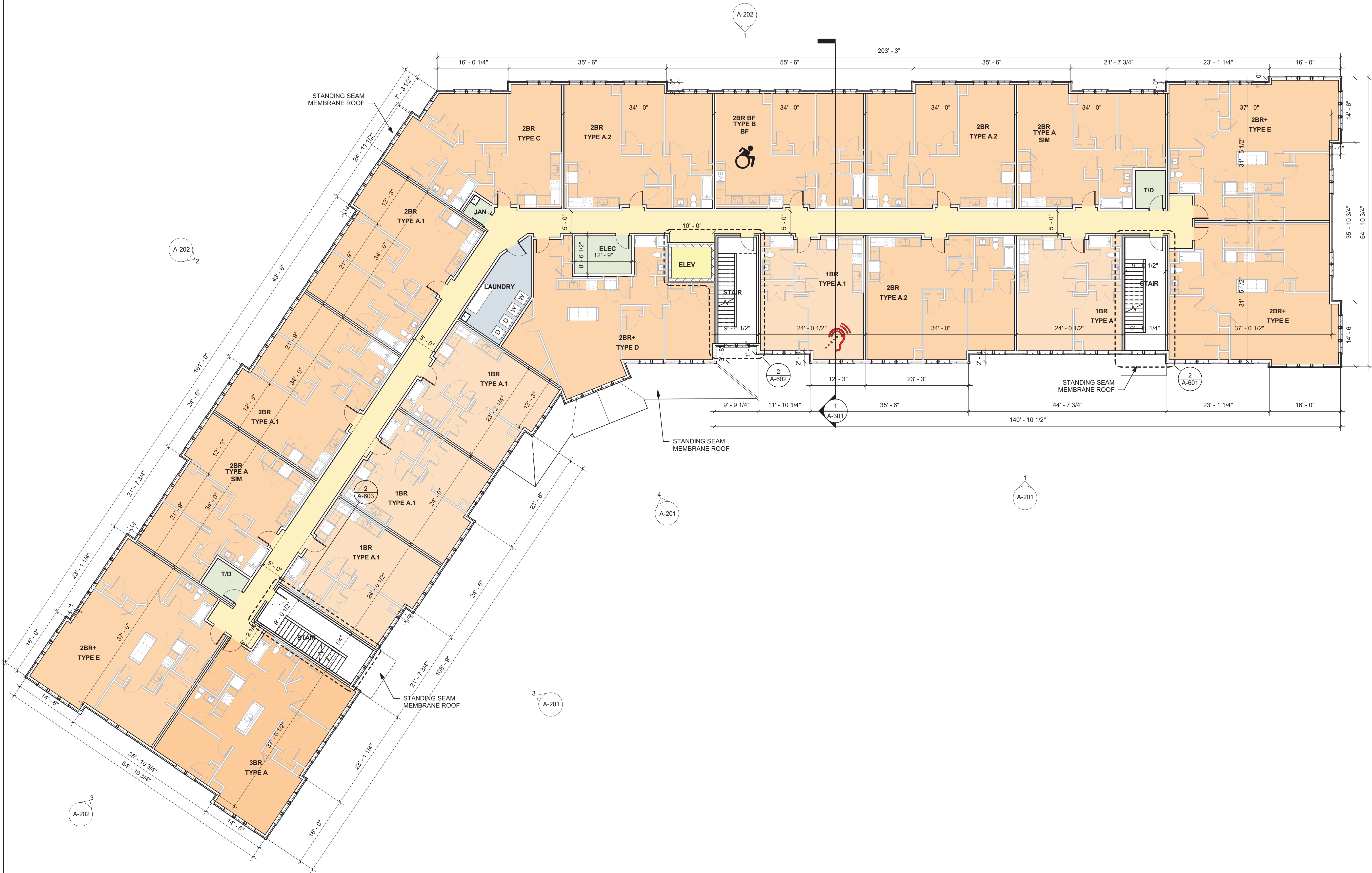
DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

LEVEL 2 PLAN

A-103



1 LEVEL 2 PLAN
3/32" = 1'-0"

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

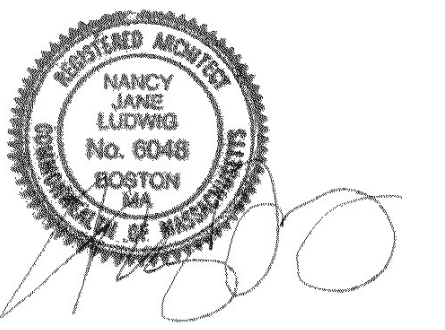
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101 SUMMER ST BOSTON MA 02110

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

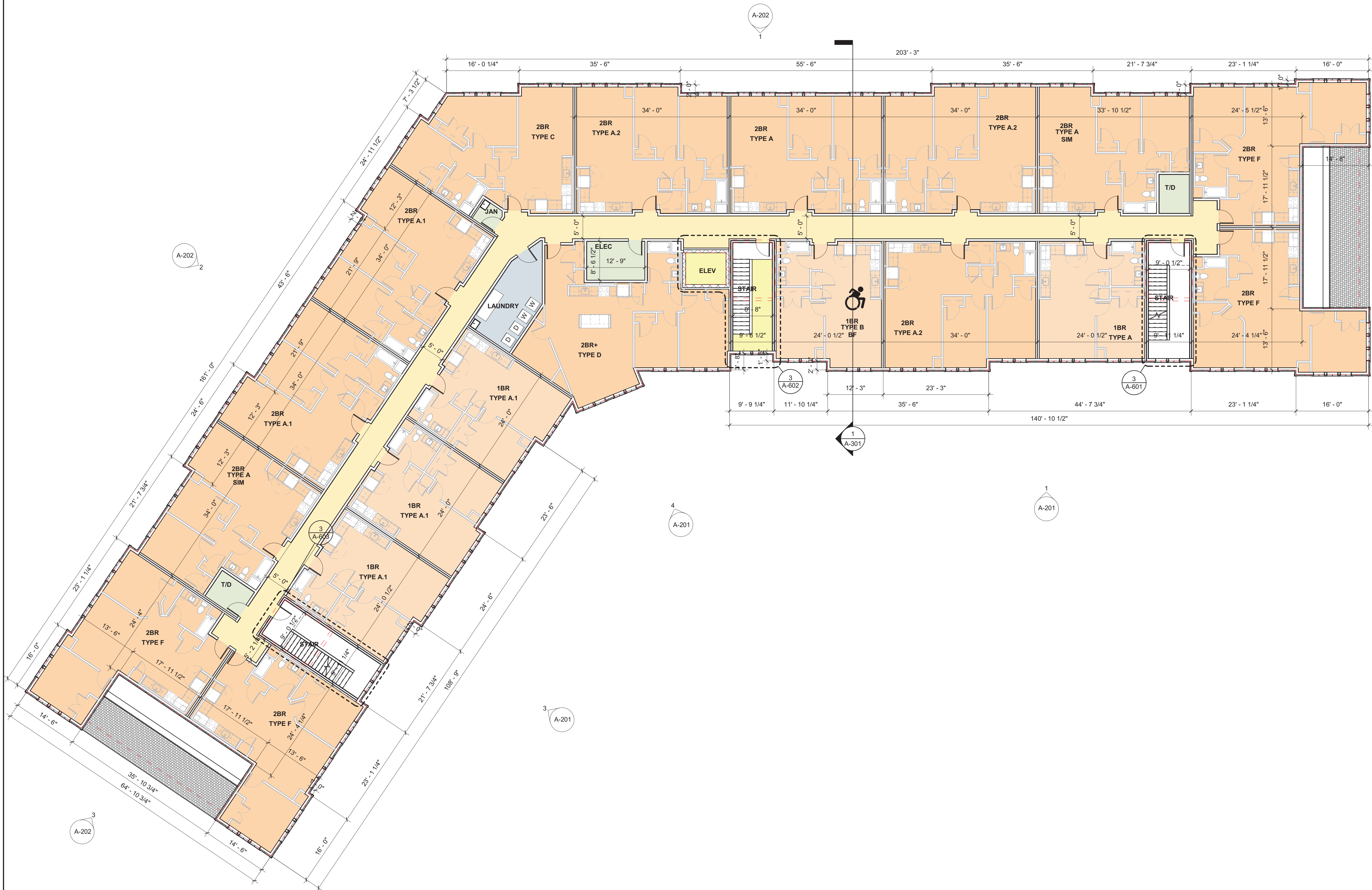
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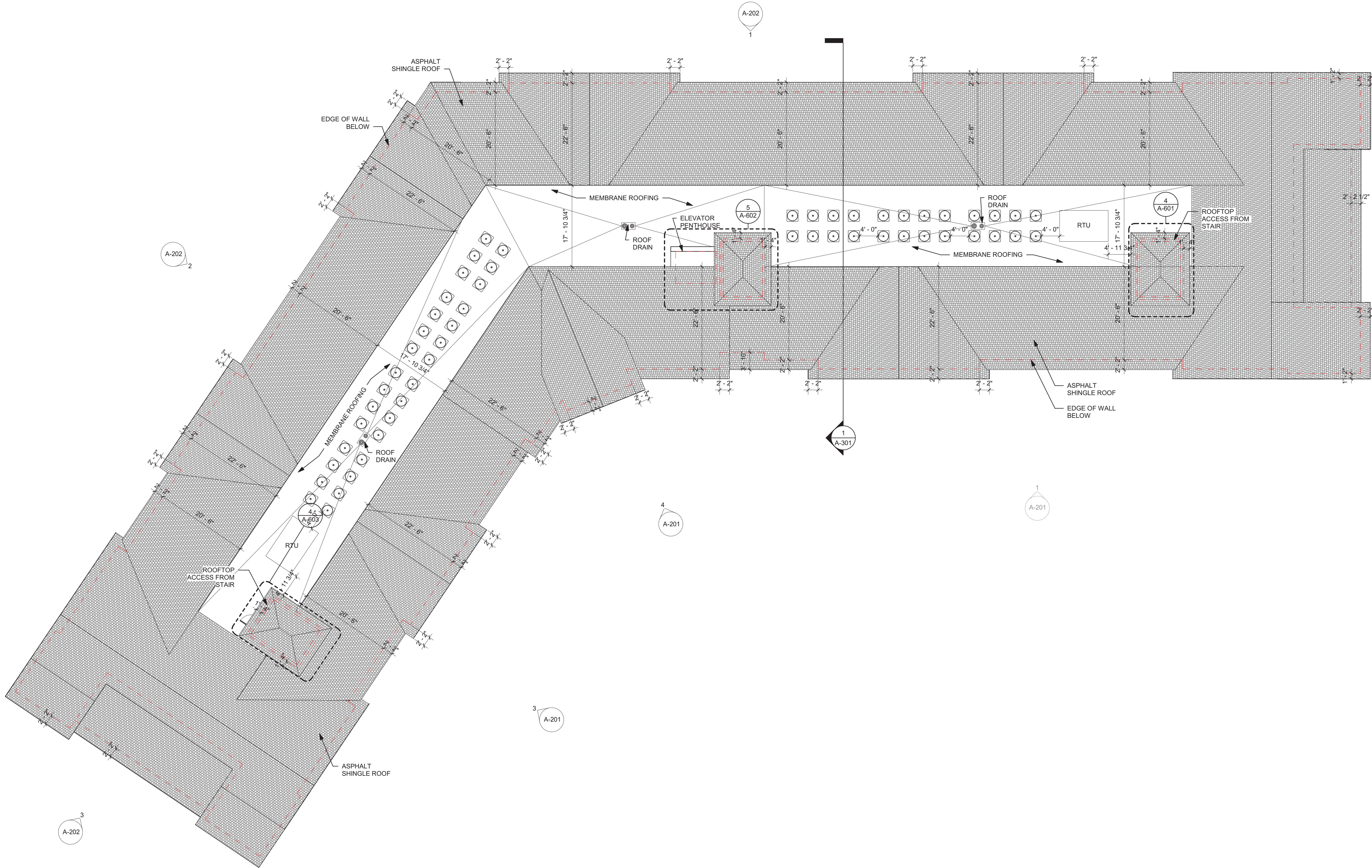
SHEET TITLE

LEVEL 3 PLAN

A-104



1 LEVEL 3 PLAN
3/32" = 1'-0"



1 ROOF PLAN
3/32" = 1'-0"

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

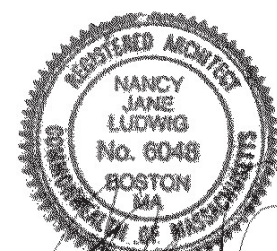
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KEY PLAN

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PROJECT NUMBER: 219001

DRAWN BY: Author

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SHEET TITLE

ROOF PLAN

A-105

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

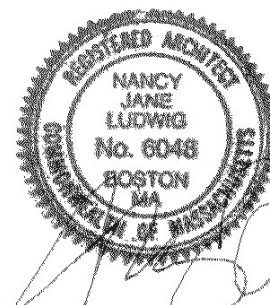
ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

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KEY PLAN

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PROJECT NUMBER: 219001

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

ELEVATIONS

A-201



4 Front Entrance Elevation
3/32" = 1'-0"

3 Front Elevation 2
3/32" = 1'-0"



2 Side Elevation 1
3/32" = 1'-0"

1 Front Elevation 1
3/32" = 1'-0"

- MATERIALS LEGEND
- 1. ROOF: ASPHALT SHINGLES
 - 2. FACADE: FIBER CEMENT PRE-FINISHED LAP SIDING
 - 3. FACADE: FIBER CEMENT PRE-FINISHED SHINGLES
 - 4. TRIM: CELLULAR PVC
 - 5. CORNERBOARD: PRE-FORMED 1" PVC
 - 6. WINDOWS: DOUBLE PANE ENERGY STAR SINGLE HUNG VINYL

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

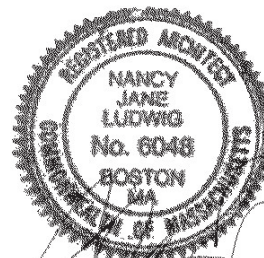
ARCHITECT

E-ICON
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

ELEVATIONS

A-202



3 Side Elevation 2
3/32" = 1'-0"

2 Back Elevation 2
3/32" = 1'-0"



1 Back Elevation 1
3/32" = 1'-0"

- MATERIALS LEGEND
- 1. ROOF: ASPHALT SHINGLES
 - 2. FACADE: FIBER CEMENT PRE-FINISHED LAP SIDING
 - 3. FACADE: FIBER CEMENT PRE-FINISHED SHINGLES
 - 4. TRIM: CELLULAR PVC
 - 5. CORNERBOARD: PRE-FORMED 1" PVC
 - 6. WINDOWS: DOUBLE PANE ENERGY STAR SINGLE HUNG VINYL

CAPE VIEW
WAY

Bourne, MA

Preservation of Affordable
Housing

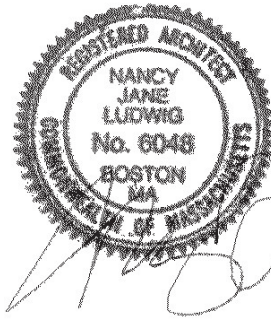
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PROJECT NUMBER: 219001

DRAWN BY: Author

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SHEET TITLE

BUILDING SECTIONS

A-301



1 BUILDING SECTION 1
1/8" = 1'-0"

CAPE VIEW
WAY

Bourne, MA

Preservation of Affordable
Housing

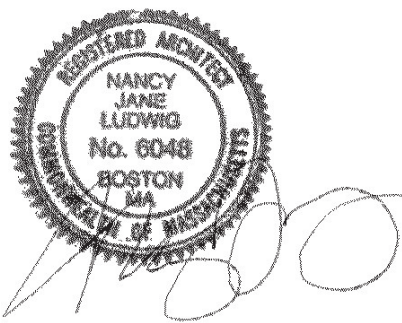
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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

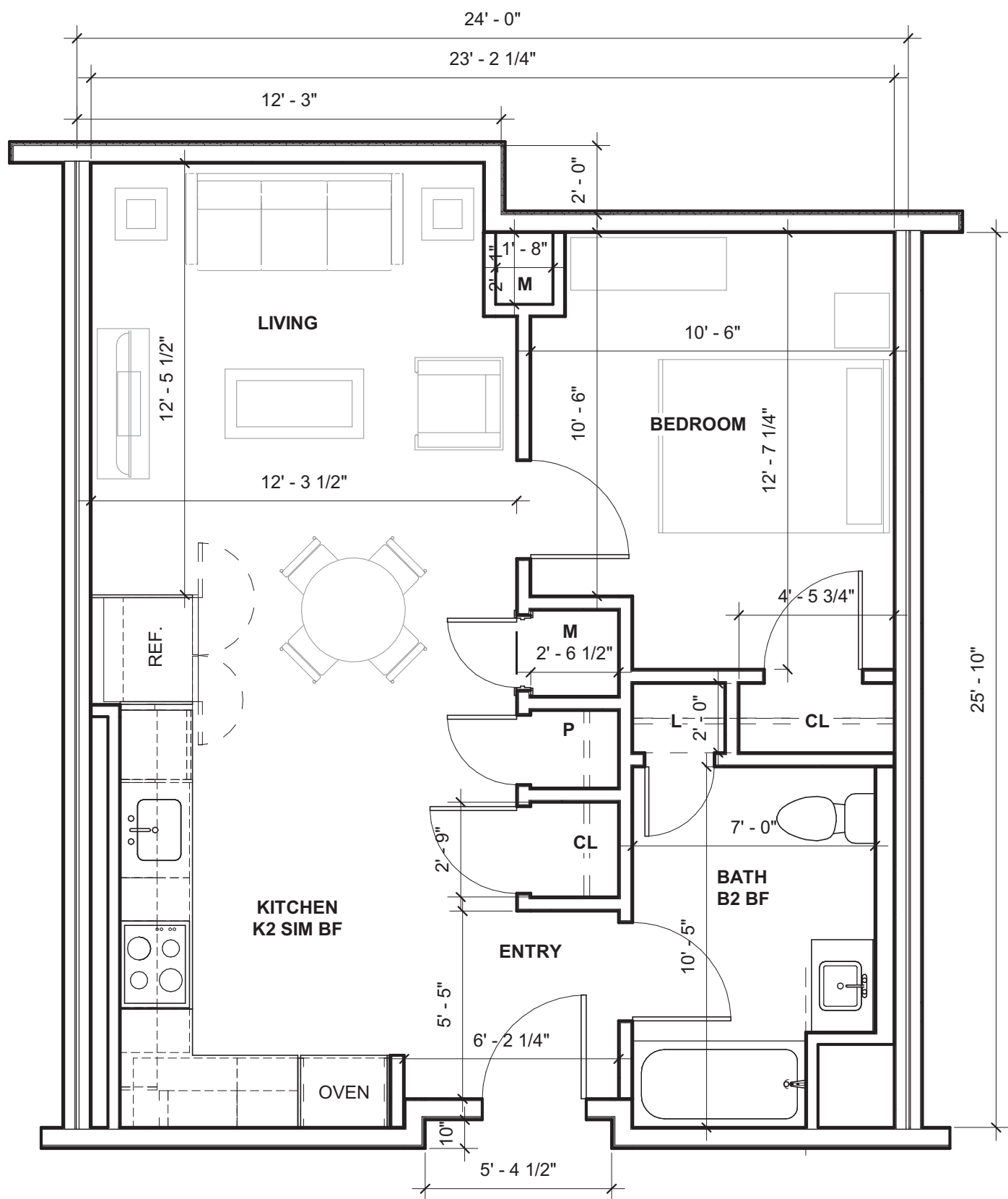
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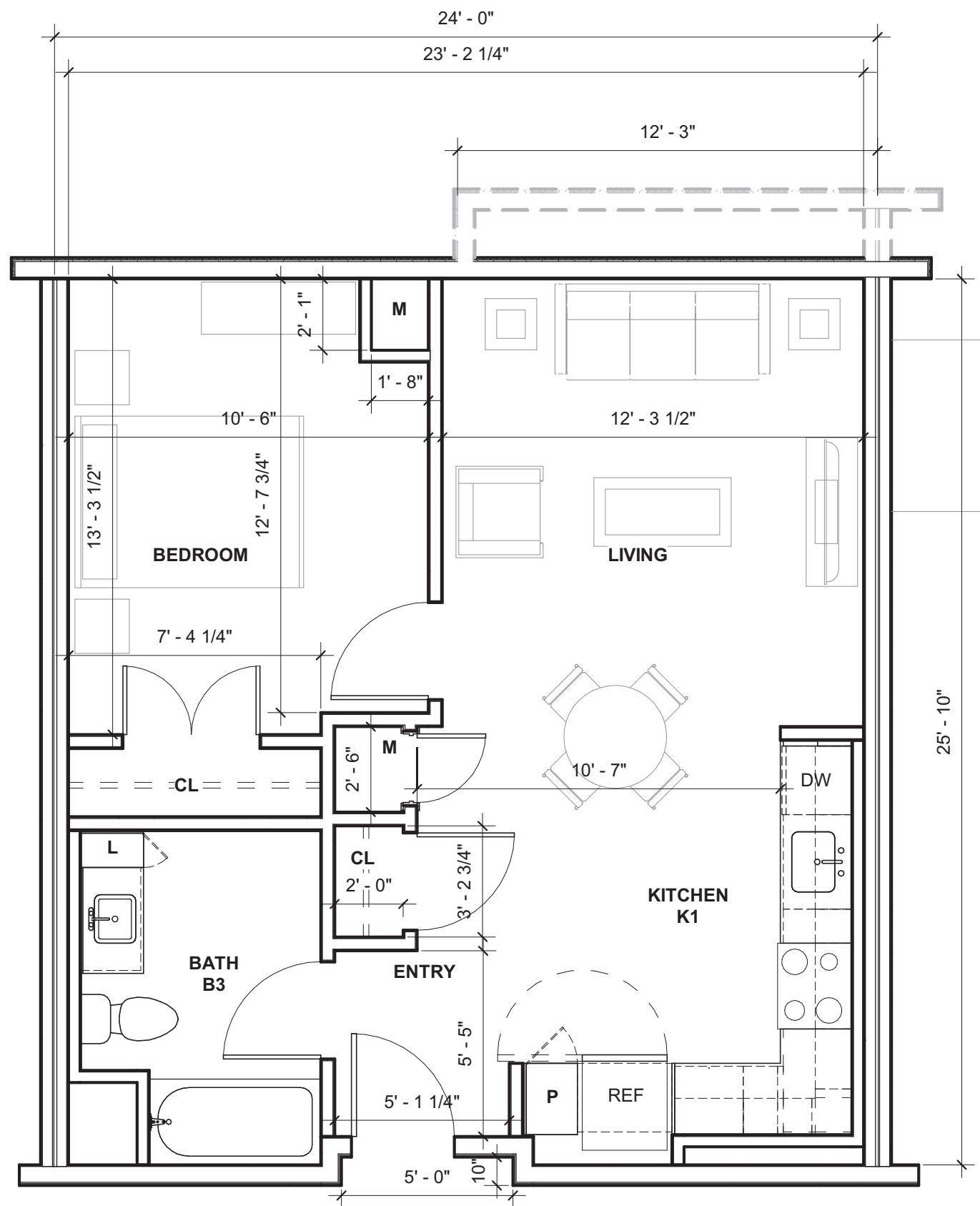
TYPICAL UNIT PLANS
- 1BR

A-501



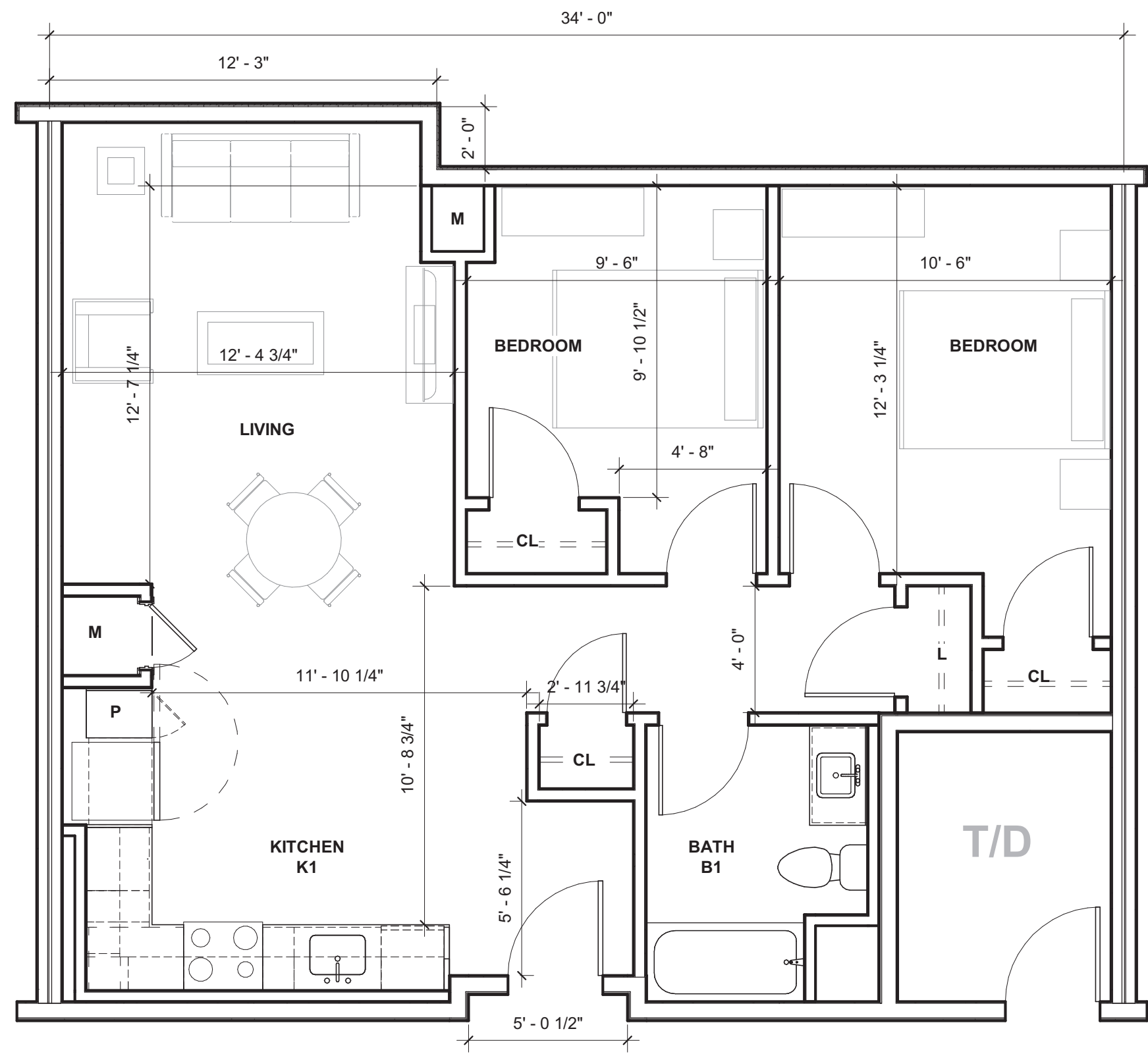
2 1BR - TYPE B BF
1/4" = 1'-0"

641 SF

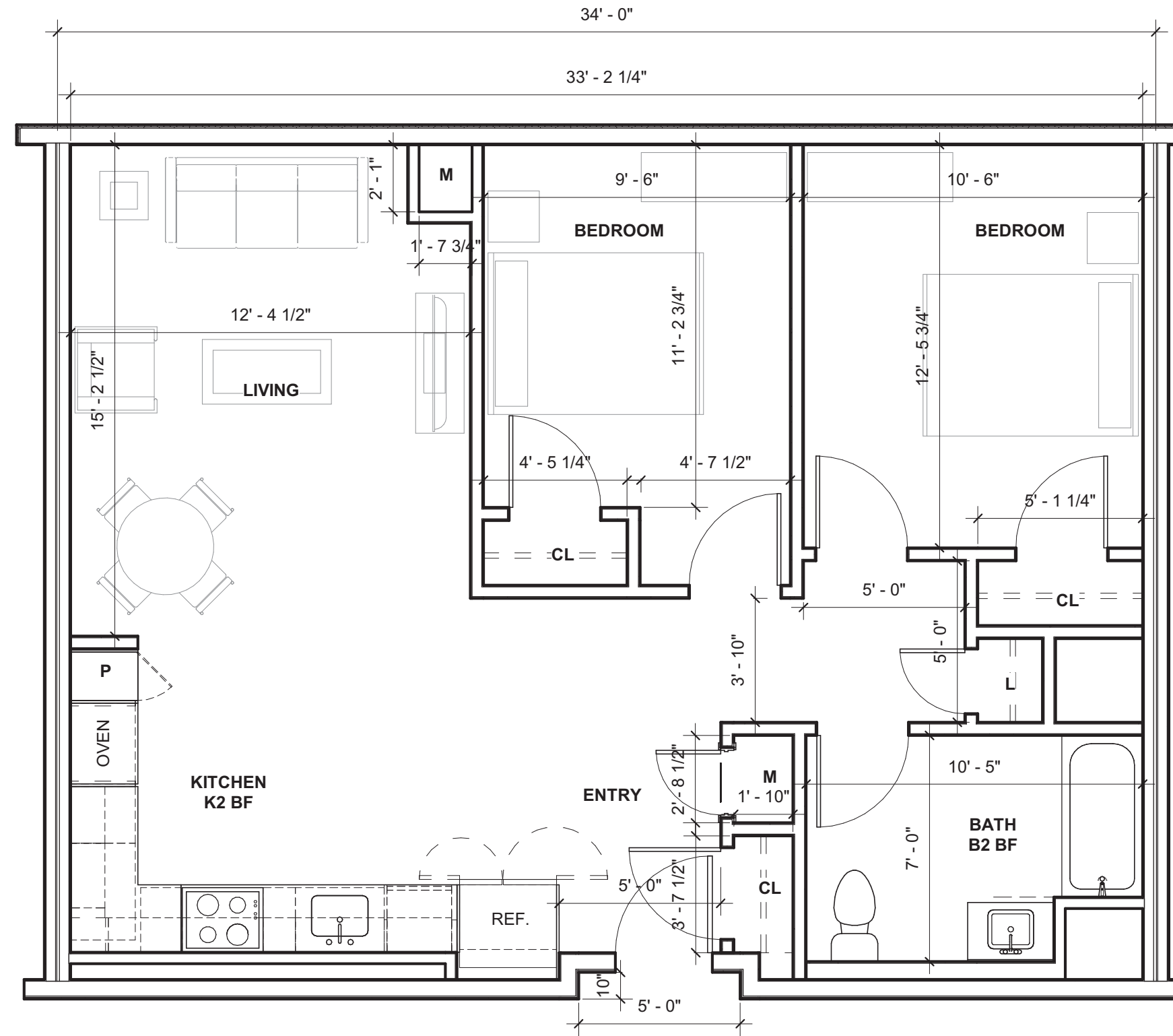


1 1BR - TYPE A & A.1 (SM BAY)
1/4" = 1'-0"

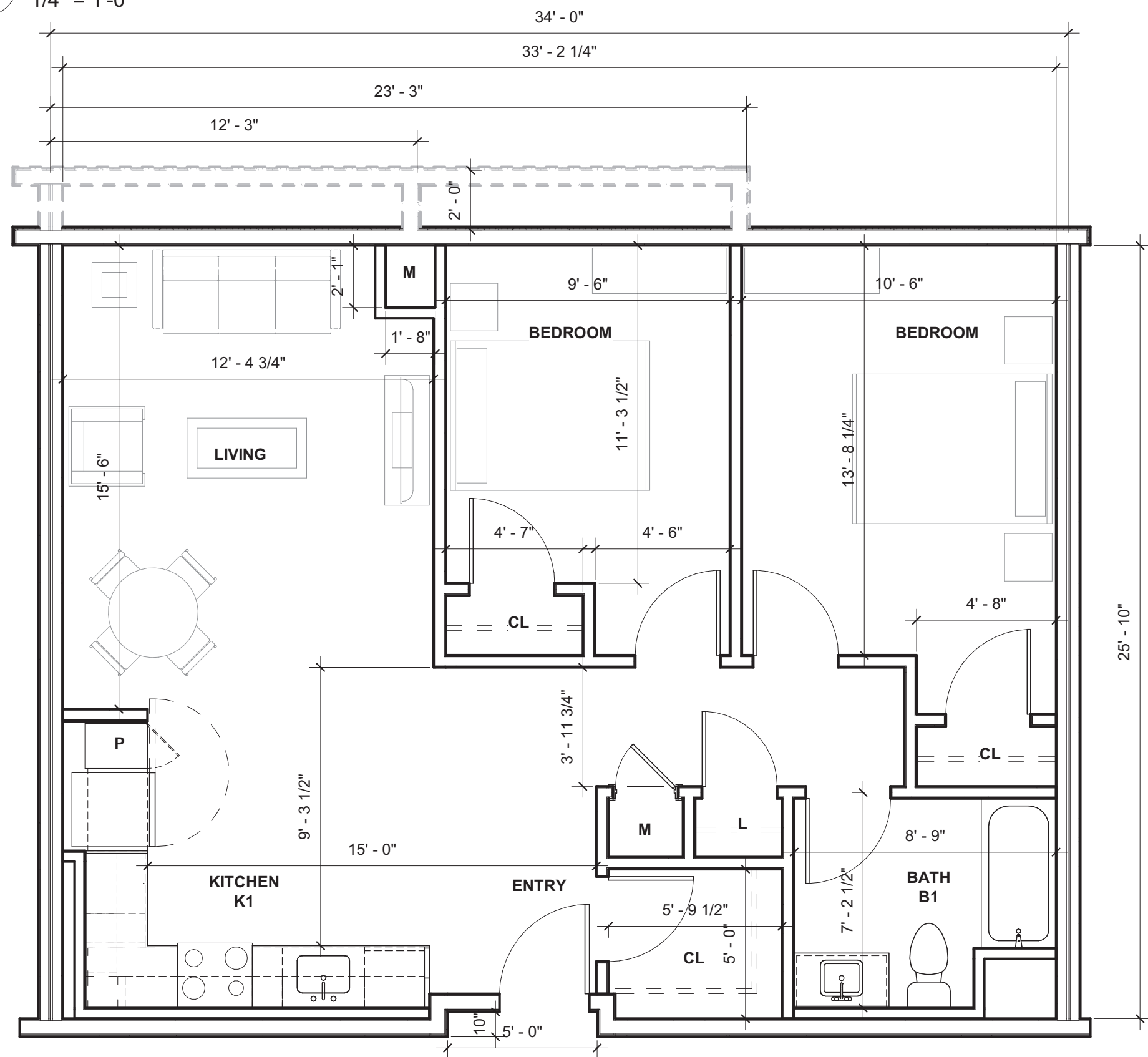
617 SF & 641 SF (SM BAY)



2 2BR - TYPE A SIM
1/4" = 1'-0" 900 SF



3 2BR - TYPE B BF
1/4" = 1'-0" 877 SF



1 2BR - TYPE A, A.1 (SM BAY) & A.2 (LG BAY)
1/4" = 1'-0" 877 SF, 900 SF (SM BAY) & 922 SF (LG BAY)

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

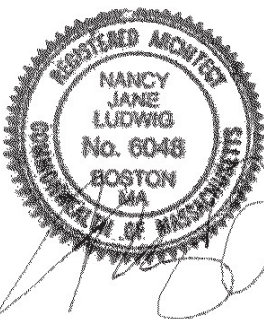
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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

TYPICAL UNIT PLANS
- 2BR

A-502

CAPE VIEW
WAY

Bourne, MA

Preservation of Affordable
Housing

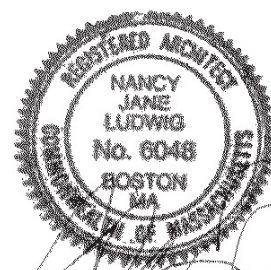
ARCHITECT



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CONSULTANT

STAMP



KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

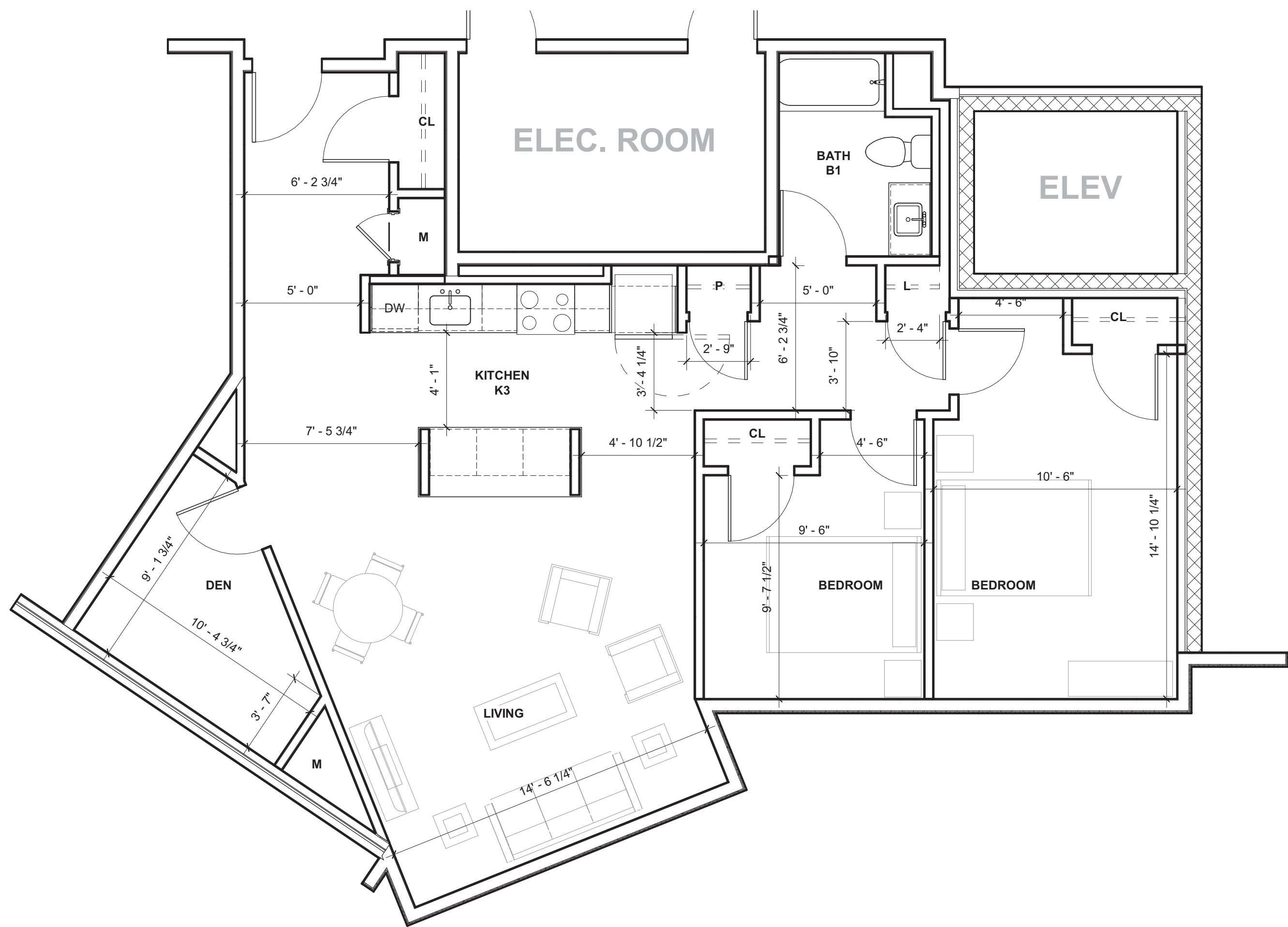
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SHEET TITLE

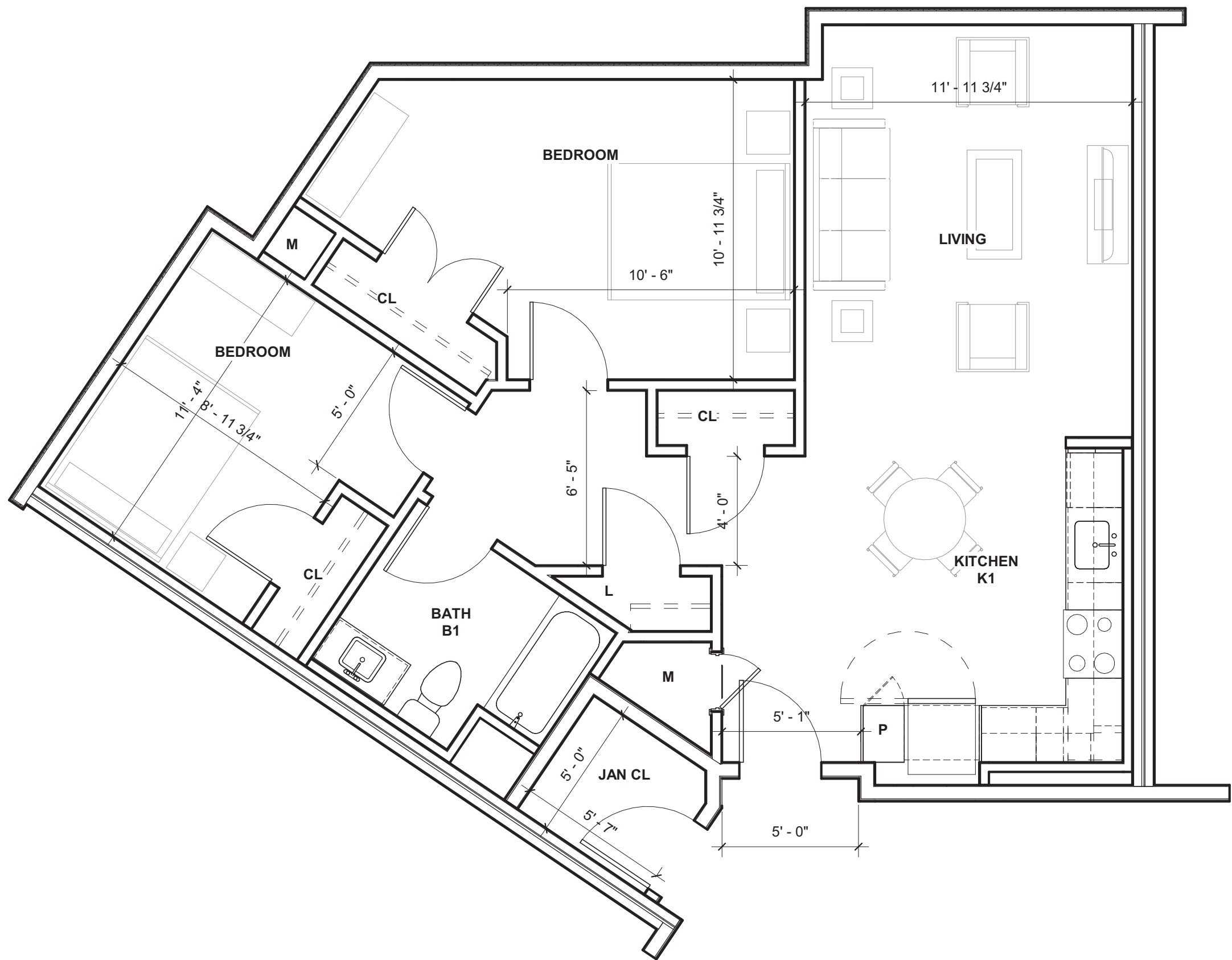
TYPICAL UNIT PLANS
- 2BR

A-503



1 2BR+ - TYPE D
1/4" = 1'-0"

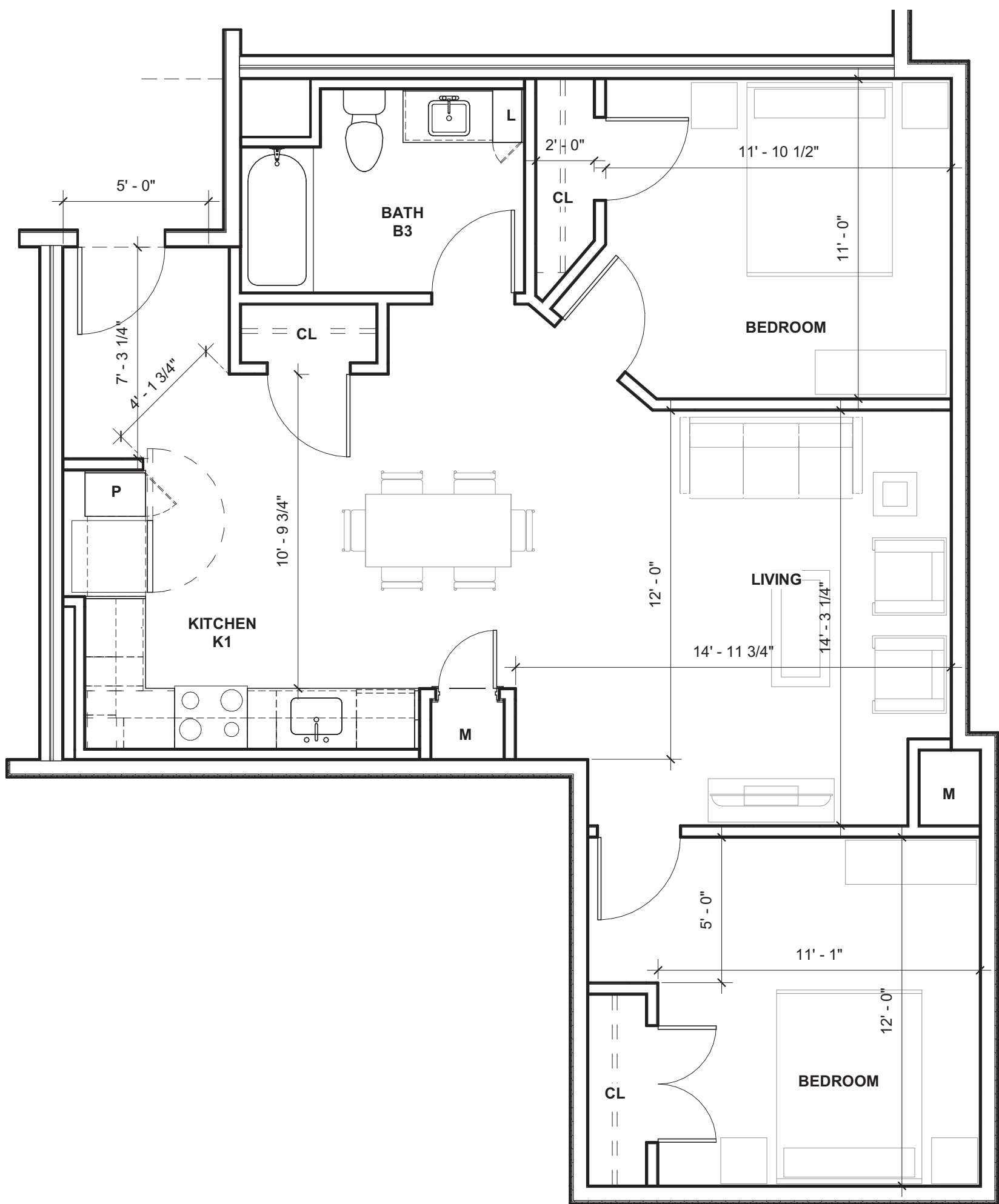
1080 SF



2 2BR - TYPE C
1/4" = 1'-0"

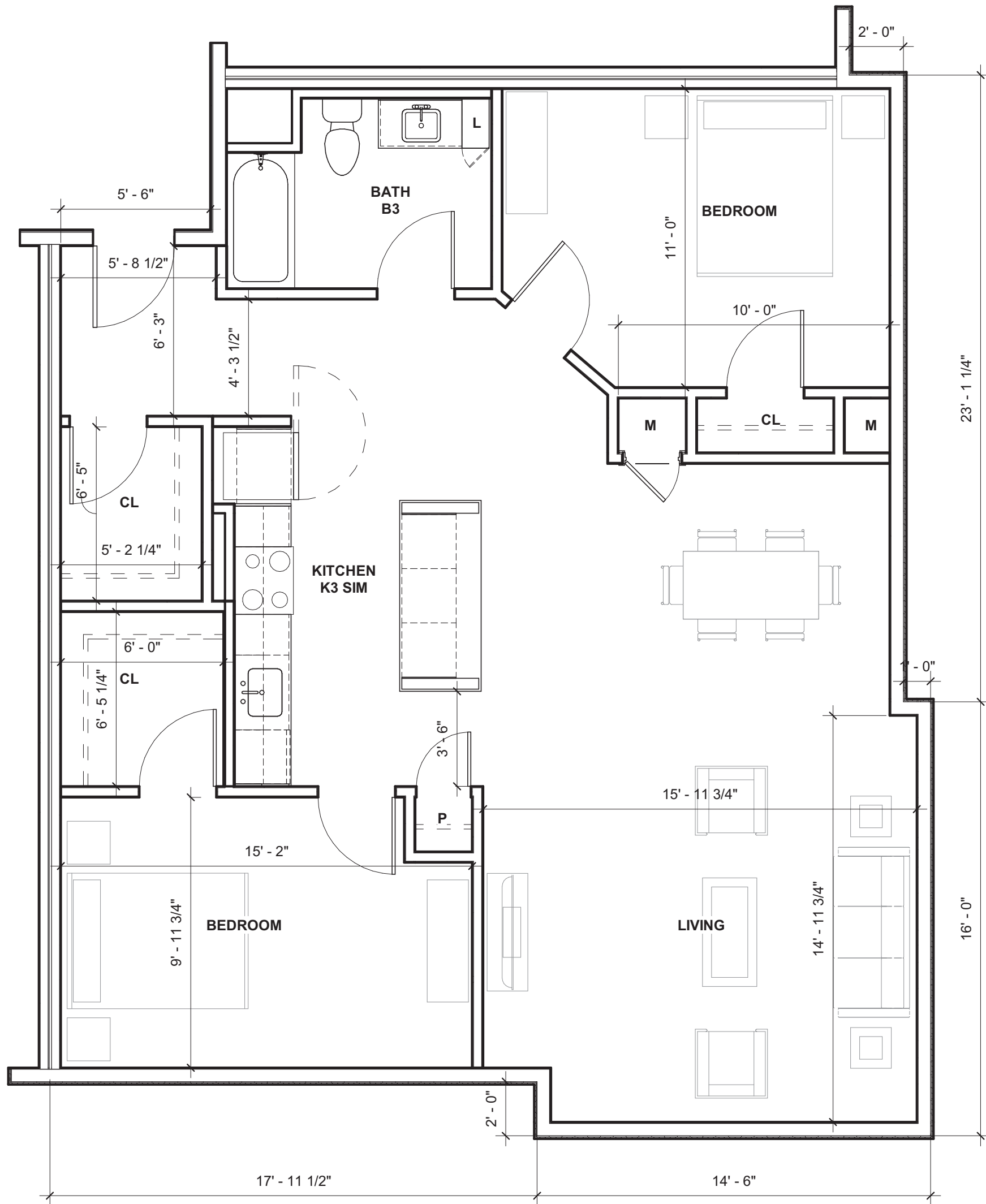
881 SF

12/19/2019 1:07:53 PM



2 2BR - TYPE F (THIRD FLOOR ONLY)
1/4" = 1'-0"

900 SF



1 2BR+ - TYPE E
1/4" = 1'-0"

1133 SF

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable
Housing

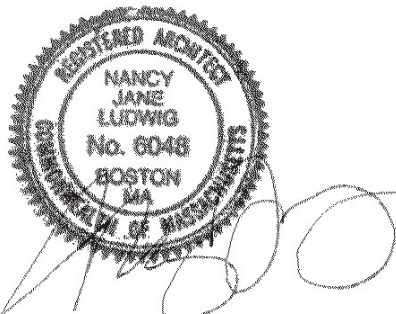
ARCHITECT



101 SUMMER ST BOSTON MA 02110

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KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

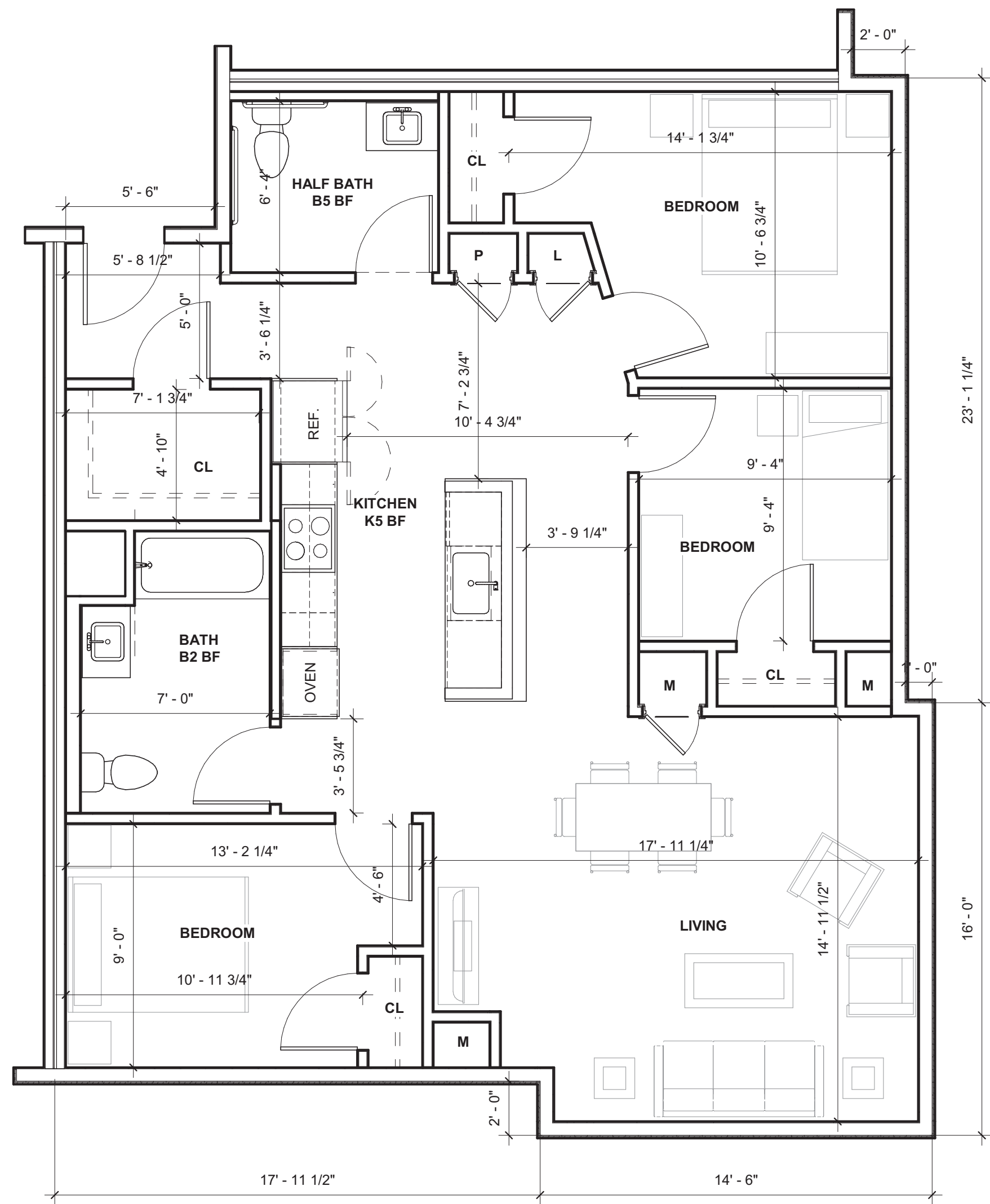
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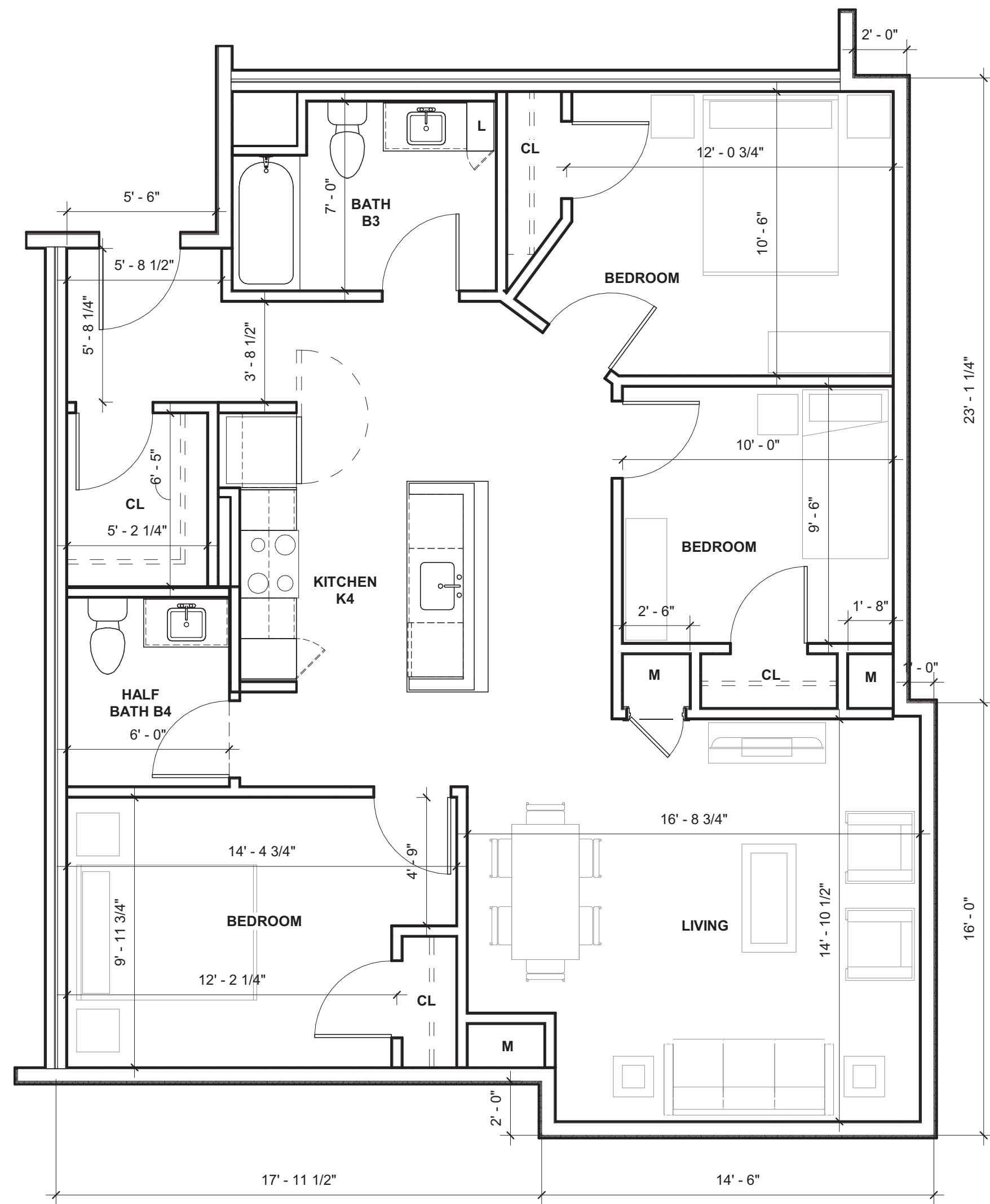
SHEET TITLE

TYPICAL UNIT PLANS
- 2BR & 2BR+

A-504



2 3BR - TYPE B BF
1/4" = 1'-0" 1133 SF



1 3BR - TYPE A
1/4" = 1'-0" 1133 SF

CAPE VIEW WAY

Bourne, MA

Preservation of Affordable Housing

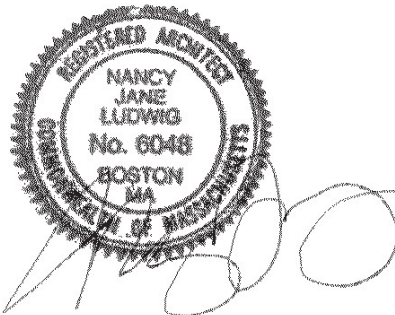
ARCHITECT



101 SUMMER ST BOSTON MA 02110

CONSULTANT

STAMP



KEY PLAN

MARK	DATE	DESCRIPTION
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PROJECT NUMBER: 219001

DRAWN BY: Author

CHECKED BY: Checker

SHEET TITLE

TYPICAL UNIT PLANS
- 3BR

A-505